

**City of Stevens Point  
REGULAR COUNCIL MEETING**

**Council Chambers  
County-City Building**

**September 17, 2012  
7:00 P.M.**

1. Roll Call.
2. Salute to the Flag and Mayor's opening remarks.
3. Consideration and possible action of the minutes of the Common Council meeting of August 20, 2012 and the Special Common Council meeting of September 10, 2012.
4. \*Persons who wish to address the Mayor and Council on specific agenda items other than a "Public Hearing" must register their request at this time. Those who wish to address the Common Council during a "Public Hearing" are not required to identify themselves until the "Public Hearing" is declared open by the Mayor.
5. Persons who wish to address the Mayor and Council for up to three (3) minutes on a non-agenda item.

Consideration and Possible Action on the Following:

6. Minutes and actions of the Plan Commission meeting of September 4, 2012 and the Special Plan Commission meeting of August 28, 2012.
7. Public Hearing – Amend Conditional Use – 2124 Rice St. – to allow temporary premise expansion to the indoor sports area on October 20, 2012, November 9, 2012 and July 20, 2013.
8. Resolution on the above.
9. Public Hearing – Zoning – Rezone 5311 Old Highway 18 from "R-1" Suburban Single Family Residential District to "B-4" Commercial District.
10. Ordinance amendment on the above.
11. Public Hearing – Conditional Use – 5311 Old Highway 18 – to operate a gas station and convenience store within Groundwater (Wellhead) Protection Overlay District B.
12. Resolution on the above.
13. Public Hearing – Conditional Use – northeast quadrant of the intersection of Badger Ave. and Highway 10 (Parcel ID 2408-36-1100-01 (former County Parcel ID: 020240836-02.05)) – to operate a gas station and convenience store within Groundwater (Wellhead) Protection Overlay District B.
14. Resolution on the above.

15. Public Hearing – Official Street Map – Deletion of a portion of Fourth Avenue from the Official Street Map of the City of Stevens Point. Such area starts approximately 575 feet east of Minnesota Avenue (east of 2920 Fourth Avenue) to a point where Fourth Avenue and Maria Drive extended east would intersect.
16. Ordinance amendment on the above.
17. Minutes and actions of the Public Protection Committee meeting of September 10, 2012.
18. Minutes and actions of the Finance Committee meeting of September 10, 2012.
19. Minutes and actions of the Board of Public Works meeting of September 10, 2012.
20. Minutes and actions of the Personnel Committee meeting of September 10, 2012 and the Special Personnel Committee meeting of September 17, 2012.
21. Minutes and actions of the Board of Water & Sewage Commissioners meeting of September 10, 2012.
22. Minutes and actions of the Board of Park Commissioners meeting of September 5, 2012.
23. Minutes and actions of the Transportation Commission meeting of August 28, 2012.
24. Minutes and actions of the Police and Fire Commission meeting of August 23, 2012.
25. Resolution – Adoption of the Portage County All Hazards Mitigation Plan.
26. Statutory Monthly Financial Report of the Comptroller-Treasurer.
27. Mayoral Appointment:  
    Smongeski Health Fund – Appoint Marge Molski, 800 St. Paul St  
    – Reappoint Bill Zimdars, 3924 Doolittle Dr Apt. 6
28. Adjournment.

#### RMC – Revised Municipal Code

Persons who wish to address the Common Council may make a statement as long as it pertains to a **specific** agenda item. Persons who wish to speak on an agenda item will be limited to a five (5) minute presentation. Any person who wishes to address the Common Council on a matter which is not on the agenda will be given a maximum of three (3) minutes and the time strictly enforced under the item, "Persons who wish to address the mayor and council on non-agenda items." Individuals should not expect to engage in discussion with members of the City Council and City staff.

Any person who has special needs while attending this meeting or needing agenda materials for this meeting should contact the City Clerk as soon as possible to ensure a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715) 346-1569, TDD #346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

Copies of ordinances, resolutions, reports and minutes of the committee meetings are on file at the office of the City Clerk for inspection during the regular business hours from 7:30 A.M. to 4:00 P.M.

**City of Stevens Point  
SPECIAL COMMON COUNCIL MEETING**

Lincoln Center  
1519 Water Street

September 10, 2012  
6:20 P.M.

**Mayor Andrew Halverson, Presiding**

**Roll Call:** Alderpersons Beveridge, Suomi, O'Meara, Wiza, M. Stroik, Slowinski, Trzebiatowski, Patton, R. Stroik, Phillips and Moore.

**Also**

**Present:** C/T Schlice; City Attorney Molepske; Clerk Moe; Directors Lemke, Halverson, Ostrowski, McGinty; Assessor Siebers; Chief Ruder; Asst. Chief Skibba; Deputy C/T Freeberg; Kelley Pazdernik; Matthew Brown; Brian Kowalski; Barb Jacob; Corey Ladick; Dennis Laidlaw; Ron Ligman; George Hanson; Jason Glisczynski.

2. **Consideration and Possible Action on a Request for a Temporary Class "B" / "Class B" Retailer's License (Picnic License) from the Association of Downtown Businesses, 1245 Main Street, Stevens Point for the Dozynki Harvest Festival on September 14 and 15, 2012 at the downtown square. Licensed operator on the premise: Cassie DeGrogh (Beer Only).**

Ald. R. Stroik moved, Ald. O'Meara seconded, to approve the request for a Temporary Class "B" / "Class B" Retailer's License (Picnic License) for the Association of Downtown Businesses for the Dozynki Harvest Festival on September 14 and 15, 2012 at the downtown square. Licensed operator on the premise: Cassie DeGrogh.

Roll Call:       Ayes: All  
                      Nays: None; motion carried.

3. **Adjourned at 6:21 p.m.**

**RESOLUTION**

**[2124 RICE STREET]**

**BE IT RESOLVED** by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **2124 Rice Street, (Parcel ID 2308-04-2006-03)**, described as LOT 1 CSM#9633-41-113 BNG PRT NWNW; SUBJ TO ESMT & RC DES 721385 S4 T23 R8 721384, City of Stevens Point, Portage County, Wisconsin, is here by granted a Conditional Use Permit Amendment for the purpose of a temporary premise expansion to the indoor sports area on October 20, 2012 and November 9, 2012 as shown on the attached plans. The Conditional Use Permit is subject to the following condition(s):

1. Previous conditions still remain.
2. Event shall be monitored by staff, along with parking.
3. Any garbage or trash shall be removed from the property within 24 hours of the event.
4. Alcohol shall not be consumed outside of the allowable premise area.
5. DJ or band activity shall cease at 11:00 PM.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved: \_\_\_\_\_

Andrew J. Halverson, Mayor

Attest: \_\_\_\_\_

John Moe, City Clerk

Dated: September 17, 2012

Adopted: September 17, 2012

Drafted by: Michael Ostrowski

Return to: City Clerk

Since our last meeting Players' Lounge has taken steps to improve our operations and lessen the impact to our neighbors by performing the following:

1. We have installed an "Enter Here" sign at the driveway to prevent customers from missing the driveway and turning around in our neighbors driveway.
2. We have implemented our Neighborhood appreciation program, which includes discounts and specials exclusively for our neighbors, as well as a notification program so our neighbors are informed ahead of time of any events taking place in which they would not be notified by the city, such as smaller concerts, comedy events, and our home grown Pub Trivia contest. This notification also includes our contact information for Players' Lounge, as well as personal contact information for myself, and the onsite manager. We also met with the neighbors personally to discuss the impact of the business and have kept those communication lines open with them to foster a good working relationship. I'm happy to report that since our last extension was approved we have had the police department at Players' Lounge on only one occasion, and that was due to us calling them to remove a person who refused to leave after arriving intoxicated and we refused service. We have also implemented a parking strategy for our larger events, and have executed it flawlessly, to prevent cars from parking on the neighboring streets, containing all the customer parking to our lot. We have had 6 events to include a large outdoor event, as well as a number of concerts inside the building, all without incident.
3. There have been some comments from council members and the public regarding our operations straying from our original proposal. I want to set the record straight. Our original proposal included that we would have events and serve food and alcohol to cover the massive amount of overhead for this property. The property taxes alone are over \$25,000 per year, a 300% increase from before I purchased the building. Our primary focus is athletics to drive people to the building, and the ancillary events also help defray the costs. After 4 years of operation we are still under a lot of pressure each month just to make the expenses. These events are necessary to the business model, and were fully disclosed up front with the original proposal. Furthermore, the addition of outdoor volleyball courts only serves further to the original model of promoting athletics and activities in the city. Players' Lounge is very unique to the central Wisconsin area and Stevens Point, bringing in people from around the state, and even from out of state, to attend events that we hold, including sporting events. This once dilapidated building painted bright blue with a crumbling parking lot is now a center of activity, and a significant amount of well being for the city. Please keep these things in mind when considering these requests. Remember that it was under the cities direction to not have our permanent premise to include the sports center so you could monitor when we are serving in that area, that is the reason it seems that Players' Lounge pops up on the radar so much compared to other facilities.

With all of that said, Players' Lounge would like to request a permanent change to our defined premise, as well as a temporary extension of premise for the following dates for events to occur in the sports center portion of the building. These events are very similar to events that we have done in the past, all without incident or issues with the police department or neighbors.

**Saturday, October 20<sup>th</sup> – Magic and Mayham**

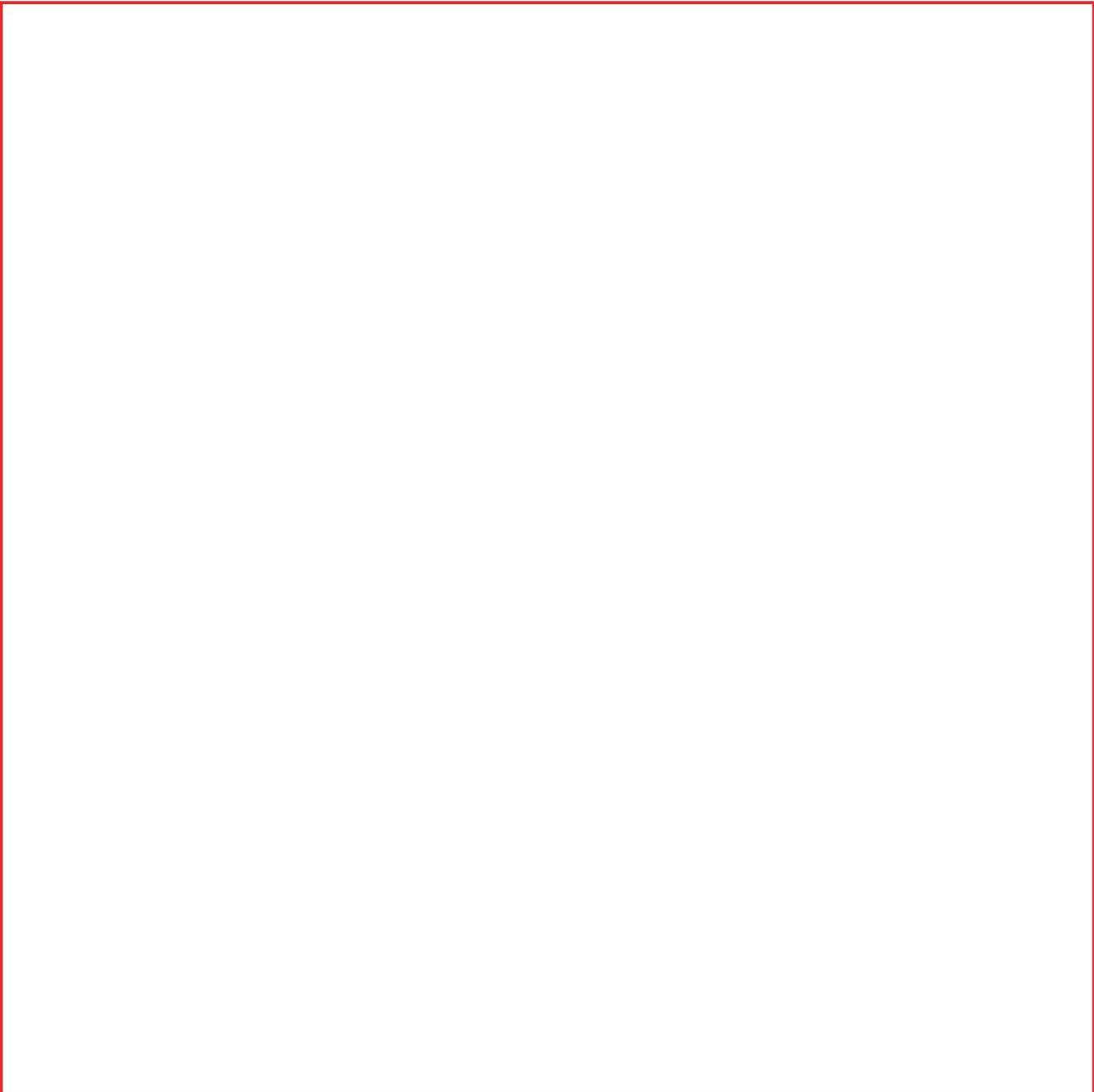
This is a live comedy and magic show to be held in the sports center. This show is similar to the "Juggle This" show we did in February. It draws a large crowd and requires a large stage so the sports center is the only viable area to hold the show. We are asking for the extension so we are able to serve our customers during the show. This is an age 21+ event. We would like to be able to serve in the sports center from 5pm to midnight.

**Friday, November 9<sup>th</sup> – Rhythm and Brews Beach Bash**

This is a fundraiser event for the Alzheimer's Association. We do a beer tasting along with multiple vendors showcasing their beer, wine, and food products. We have a blues band playing during the event, and require the extension to cover the beer tasting. This is an age 21+ event. We would like to be able to serve in the sports center from 4pm to midnight.

**Saturday, July 20, 2013 – SPASH 20<sup>th</sup> Class Reunion**

This is a class reunion for the class of 1993. This is an age 21+ event. They have requested we permit them to be served in the sports center so they can take their drinks out to the sports center while engaging in volleyball, basketball, and other "yard games" that we will have set up for them. We would like to be able to serve from 4pm - close.



**ORDINANCE AMENDING THE REVISED MUNICIPAL CODE  
OF THE CITY OF STEVENS POINT, WISCONSIN**

**[5311 OLD HIGHWAY 18]**

The Common Council of the City of Stevens Point, Portage County, Wisconsin, do ordain as follows:

**SECTION I:** That the Zoning Ordinance of the Revised Municipal Code of the City of Stevens Point shall be amended to reclassify the following described territory from "R-1" Suburban Single Family Residential District to "B-4" Commercial District:

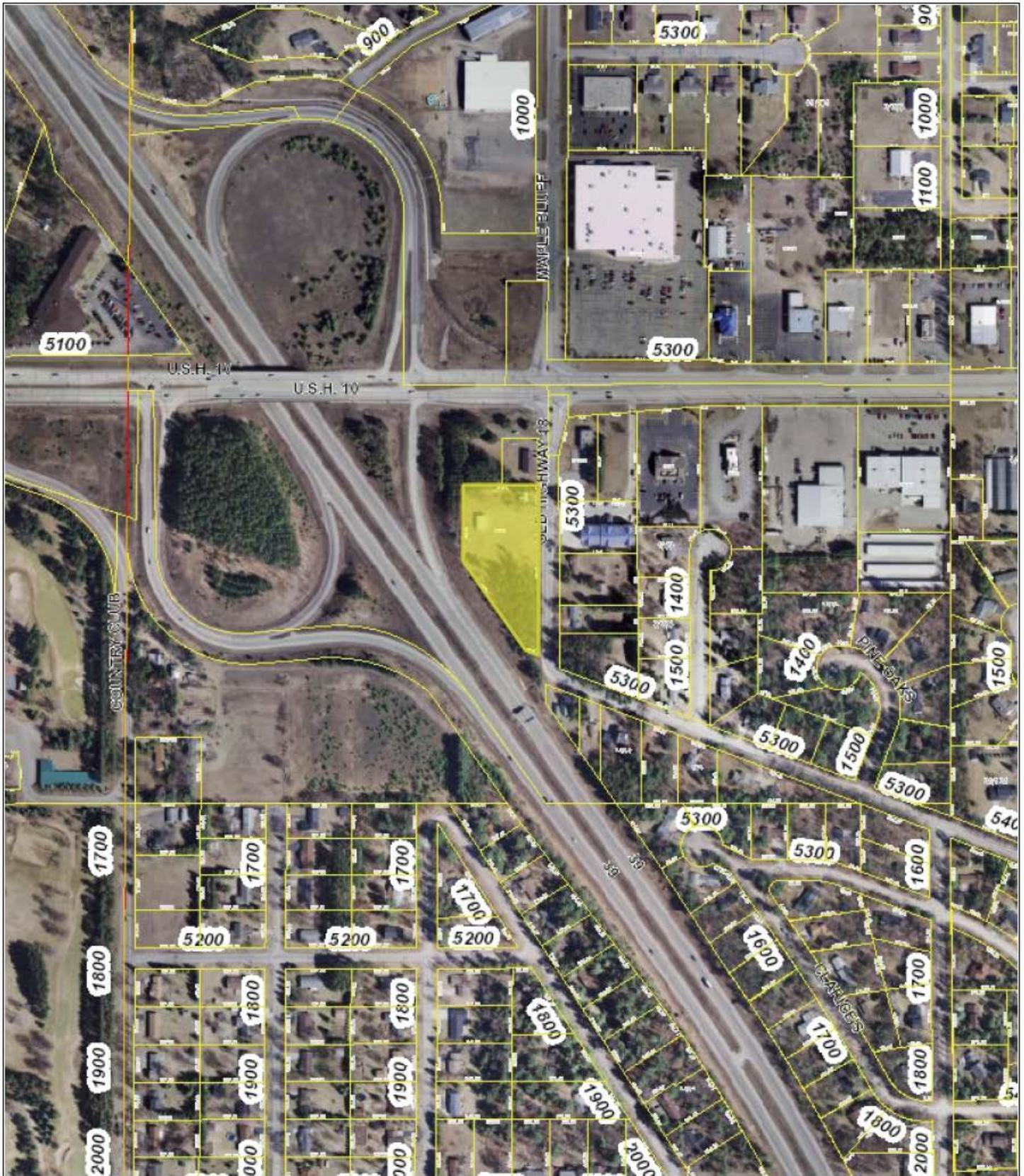
*5311 Old Highway 18 (Parcel ID 2408-35-2300-01), described as LOT 1 CSM#9138-38-68 BNG PRT SWNW  
S35 T24 R8 692558 693510-AFF 697211-ANNEX, City of Stevens Point, Portage County, Wisconsin.*

**SECTION II:** That this ordinance shall take effect upon passage and publication.

Approved: \_\_\_\_\_  
Andrew J. Halverson, Mayor

Attest: \_\_\_\_\_  
John Moe, City Clerk

Dated: September 17, 2012  
Adopted: September 17, 2012  
Published: September 21, 2012



City of Stevens Point GIS  
Rezoning 5311 Old Highway 18

DISCLAIMER: The City of Stevens Point Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



City of Stevens Point  
1515 Strongs Ave  
Stevens Point, WI 54481  
(715)346-1569

SCALE: 1" = 428'

Print Date: 9/12/2012

## RESOLUTION

### [5311 OLD HIGHWAY 18]

**BE IT RESOLVED** by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **5311 OLD HIGHWAY 18, (Parcel ID 2408-35-2300-01)**, described as LOT 1 CSM#9138-38-68 BNG PRT SWNW S35 T24 R8 692558 693510-AFF 697211-ANNEX, City of Stevens Point, Portage County, Wisconsin, is hereby granted a Conditional Use Permit for the purpose of operating a gas station and convenience store within Groundwater (Wellhead) Protection Overlay District B as shown on the attached plans. The Conditional Use Permit is subject to the following condition(s):

- 1. The northern most ingress/egress point shall be lined up with the ingress/egress point across Old Highway 18 (5317 Old Highway 18).**
- 2. All landscaping requirements shall be met and maintained as per Chapter 23 of the Revised Municipal Code. Additional screening is needed by the southern most ingress/egress point adjacent to Old Highway 18.**
- 3. The existing vegetation along Old Highway 18, south of the southern most ingress/egress point, shall remain to provide screening for the adjacent properties.**
- 4. All stormwater requirements shall be met as per Chapter 31 of the Revised Municipal Code.**
- 5. The maximum illumination levels shall be 0.5 footcandles at the property lines, except at the driveways, where it shall not exceed 1.0 footcandles. All light fixtures shall be cut-off fixtures that are pointed down.**
- 6. The screening for the refuse containers shall match the main exterior material of brick that is on the main building.**
- 7. All piping shall be double wall flexible piping, where if product is released from the primary pipe it would be contained in a liquid tight pipe. Other type of piping, that is not flexible if it can be proven that it provides similar protection. This shall be approved by the State of Wisconsin and City Staff prior to permit issuance.**
- 8. All piping shall be sloped to either a tank sump or a dispenser sump.**

9. Sumps shall be located at the submersible head on each tank and also under each product dispenser. All sumps shall be equipped with a liquid sensor that sounds an alarm immediately if any liquid enters the sump.
10. All tanks shall be at minimum double walled with a liquid sensor that sounds an alarm immediately if any liquid is detected.
11. Electronic line leak detection shall be installed in the pipe run for each product dispensed. These units shall shut down flow to the pipe if there is a loss of pressure to the product pipe.
12. Dispenser and tank sump containment and spill buckets shall be double walled.
13. All monitoring shall be continuous monitoring, meaning that an alarm shall sound and proper authorities shall be immediately notified if a leak is detected.
14. Overfill devices shall be required to be installed to prevent the overfilling of the underground tanks from a transport truck, including installing one in the fill pipe of each tank, as well as an audible alert at 90% and an auto shut-off at 95% capacity, to ensure that overfilling will not occur.
15. Catch basins shall be installed around every fill point to catch product that may drip from the loading hose during the product transfer process.
16. Functionality tests shall be done semi-annually on all line monitors to ensure proper operation.
17. A tank bed and line liner shall be placed in the underground storage tank bed and in excavation trenches for fuel lines. This requirement can be waived if equal or greater protection is provided. If a liner is installed, a hydro geologist shall approve such liner and its ability to function correctly without causing negative impacts to the piping and tanks.
18. Monitoring wells shall be installed throughout the property at locations determined, prior to any permit issuance, by the Director of Water and the City Engineer. Sampling and analyses shall be done quarterly, at the expense of the gas station operator. City staff shall be given unrestricted access for compliance purposes.
19. Dispensing pads shall be Portland cement. Cracks and joints that open on dispensing pads shall be filled and fixed immediately to avoid the infiltration of hazardous chemicals.
20. All downspouts from the building and canopies shall be directly connected into the stormwater piping and directed to the stormwater pond. **No surface drainage shall occur.**
21. The tank sump for each tank shall have the electrical conduit at the highest elevation practical above the transition points of the product piping.
22. Piping contractor shall install tracer wire on the outside of the product lines. **The tracer wire and grounding mechanism shall be terminated in one tracing terminal.**
23. A clay liner shall be installed in the stormwater pond to eliminate infiltration of hydrocarbons and other potential groundwater contaminants.
24. All state requirements outlined in Chapter SPS 310: Flammable, Combustible and Hazardous Liquids, pertaining to this request must be met.
25. A groundwater protection plan shall be submitted to, and approved by, City of Stevens Point personnel prior to permit issuance, and implemented prior to construction, and shall cover the following:

- a. A complete description of spill prevention and control measures for the facility. Spill prevention begins with the customer. Signs shall be posted at each dispenser instructing customers not to top off fuel tanks and to notify an employee in the event of a spill. Emergency shutoff switches shall be plainly labeled.
  - b. An estimate of the maximum quantity of fuel that could be spilled in the event of an equipment failure, along with an analysis of its fate and a plan for preventing it from reaching groundwater or surface water shall be created. The plan shall include descriptions of containment and/or diversionary structures or equipment needed in the event of a spill, and a demonstration that the needed equipment, personnel, and other resources would be available to respond to a spill.
  - c. A notification list, including the names and phone numbers of local management, remote management, fire and police, local and state agencies needing to be notified, and spill response contractors shall be created and kept readily available to gas station personnel.
  - d. Routine spot cleaning of small spills at fueling areas with dry methods. Dry methods include using rags or absorbents. Fueling areas shall never be washed down unless the water is collected and disposed of properly. The plan must specify that an adequate supply of absorbent materials be kept readily available.
  - e. Proper storage and disposal of used sorbents and/or rags. Used sorbents must be picked up prior to contact with rainwater or snowmelt, and stored for proper disposal.
  - f. Maintenance of the stormwater management system, including best management practices (BMPs). **The maintenance agreement must be recorded with the Portage County Register of Deeds.**
  - g. Provisions to ensure that snow plowing and other maintenance will not interfere with the proper functioning of stormwater management, spill containment, and leak detection systems shall be provided to and approved by City of Stevens Point personnel prior to permit issuance.
  - h. Employee training: Employees must be trained (upon hiring and annually thereafter) in all aspects of routine operation and maintenance, including routine spill cleaning and containment of contaminated stormwater, as well as spill response and other emergency procedures.
26. The canopy shall meet the zoning district setback of 25 feet from Interstate 39 property line.
27. The City reserves the right to establish new conditions for the purpose of protecting the groundwater supply.
28. If any equal or superior alternative exists over any of the conditions, as determined by the Director of Water, the state, and the Director of Community Development, City Stevens Point personnel shall have the ability to modify such condition(s).
- 29. All costs associated with the conditions within this resolution shall be at the expense of the operator and/or owner. All required reports relating to sampling, analysis, and/or testing shall be provided to the City upon completion of such sampling, analysis, and/or testing.**
30. The conditional use permit shall expire within one year after final occupancy date.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved:

\_\_\_\_\_  
Andrew J. Halverson, Mayor

Attest:

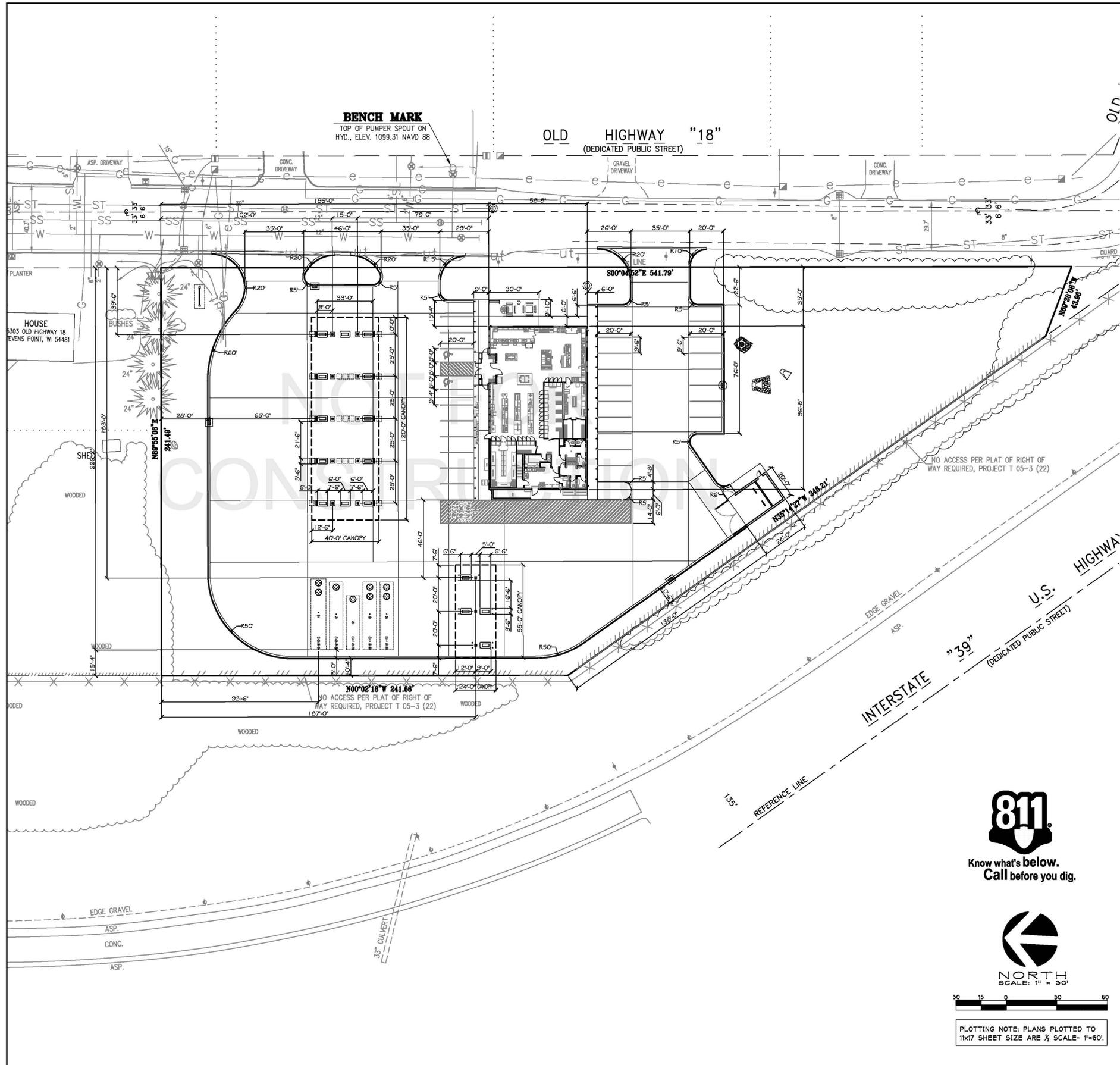
\_\_\_\_\_  
John Moe, City Clerk

Dated: September 17, 2012

Adopted: September 17, 2012

Drafted by: Michael Ostrowski

Return to: City Clerk



**CONSTRUCTION NOTE:**

Construction fencing to be installed around entire construction site. Coordinate with owner for fencing and gate locations and appropriate signage installation.

**LAYOUT NOTES:**

1. PLAN PREPARED FROM AN ALTA/VACSM LAND TITLE SURVEY BY:  
LAMPERT - LEE + ASSOCIATES  
715-424-3131  
DATED 7-30-12
2. CURBS ARE DIMENSIONED TO FACE OF CURB.
3. CONVENIENCE STORE AND ISLAND COMPLEXES ARE LOCATED FROM THE NORTHEAST PROPERTY CORNER AND ALIGNED PARALLEL/ PERPENDICULAR TO THE EAST PROPERTY LINE UNLESS OTHERWISE INDICATED ON THIS PLAN.
4. UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES.  
CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 10' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS.  
EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24" O.C.
5. CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.
6. EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER:  
APR 15- OCT 31 USE: TK-26UV  
NOV 1- DEC 31 USE: TK-290
7. EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SLI

**SITE DATA:**

ZONING DISTRICT:	B-4 (PROPOSED)	
TOTAL SITE AREA:	98,955 SF	
EX. IMPERVIOUS:	-	
EX. PERVIOUS:	-	
PARKING REQUIREMENTS		
PARKING REQUIRED	1/200 = 16 STALLS	
PARKING PROVIDED	31 STALLS	20 SRV. PNTS+ 2 DIESEL
BUILDING HEIGHTS		
CONVENIENCE STORE	23.5'	
CAR WASH	14'	
CANOPY	20.0'	
BUILDING SETBACKS		
RW	25'	
REAR	10'	
SIDE YARD	5'	
PROPOSED GREEN AREA:	35,116 SF	35%
PROPOSED HARD COVER:	63,839 SF	65%
PAVED AREA:	58,073 SF	59%
BUILDING AREA:	5766 SF	6%
(FLOOR AREA) =	3100 SF	

**UTILITY PROVIDERS**

WATER, WASTE WATER,-  
City of Steven's Point 715-345-5260

GAS, ELECTRIC -  
WI PUBLIC SERVICE CORP  
877-444-0888

TELECOMMUNICATIONS -  
WISCONSIN BELL 800-324-8622

**811**  
Know what's below.  
Call before you dig.

**NORTH**  
SCALE: 1" = 30'

30 15 0 15 30 60

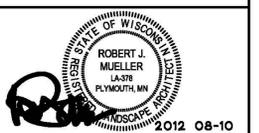
PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE- 1"=60'.

**KWIK TRIP**  
**STORES**

**KWIK STAR**  
**STORES**

**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**INSITES**  
SITE PLANNING LANDSCAPE ARCHITECTURE  
9300 Harbor Lane North, STE 131  
Plymouth, Minnesota 55447  
763.383.8400  
fax 763.383.8400



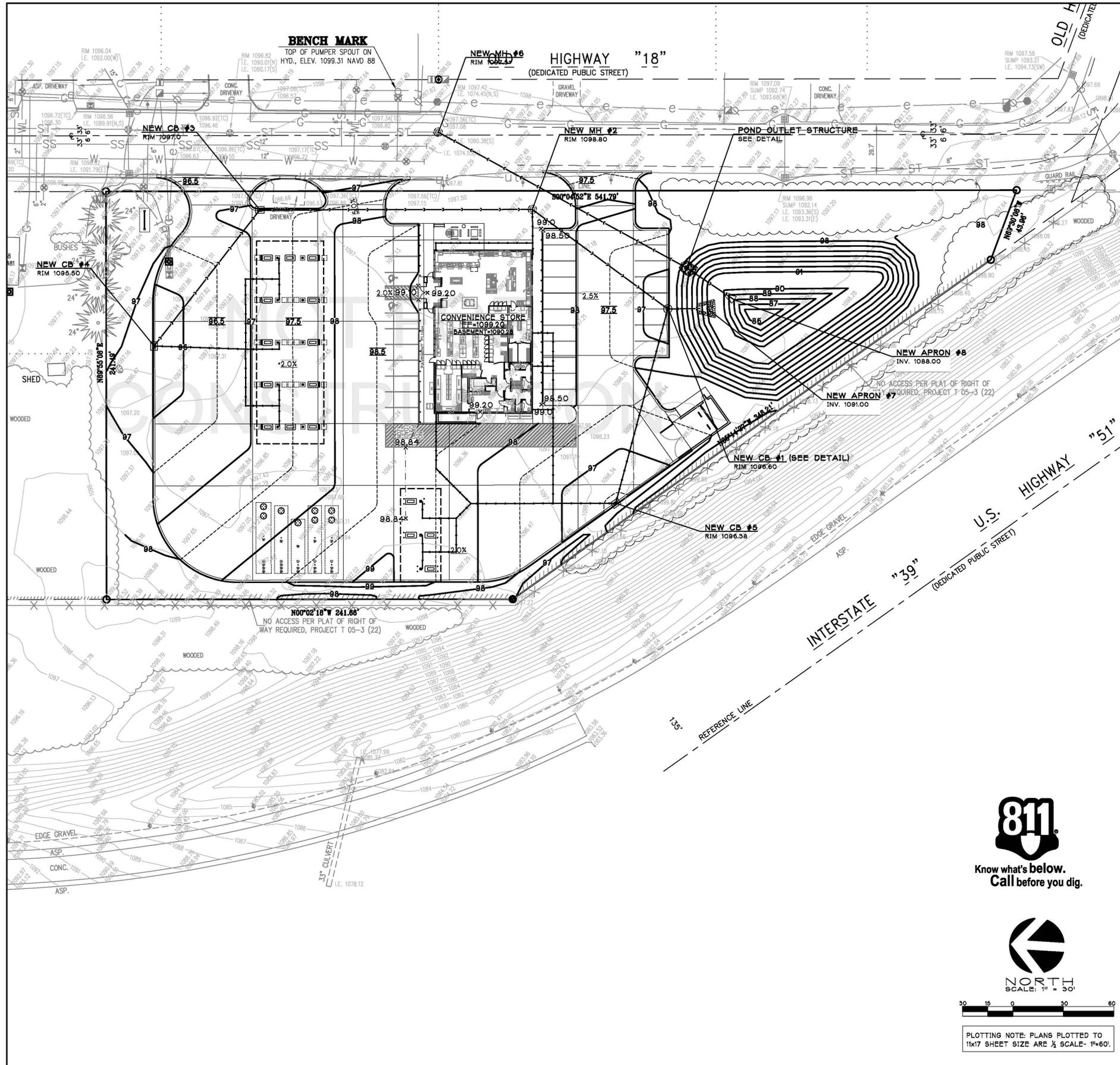
**SITE PLAN**  
**CONVENIENCE STORE 863**  
**OLD HIGHWAY 18**  
**STEVEN'S POINT, WISCONSIN**

NO.	DATE	DESCRIPTION

DRAWN BY \_\_\_\_\_  
SCALE \_\_\_\_\_ GRAPHIC \_\_\_\_\_  
PROJ. NO. 12863  
DATE 2012 08-10  
SHEET **SP1**

insites 12-036





**NOTE:** CONTRACTOR TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

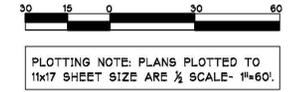
**CONSTRUCTION NOTE:**  
CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

**NOTE:**

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.
- PLAN PREPARED FROM ALTA/ACSM LAND TITLE SURVEY BY: LAMPERT - LEE + ASSOCIATES 715-424-3131 DATED 7-30-12
- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.
- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.
- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.
- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

**FINISHED FLOOR ELEV.**  
PROPOSED KWIK TRIP CONVENIENCE STORE  
FINISHED ELEVATION - 1ST FLOOR= 1099.20 FEET

**NOTE GRADING CONTRACTOR:**  
ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.



**KWIK TRIP STORES**

**KWIK STAR STORES**

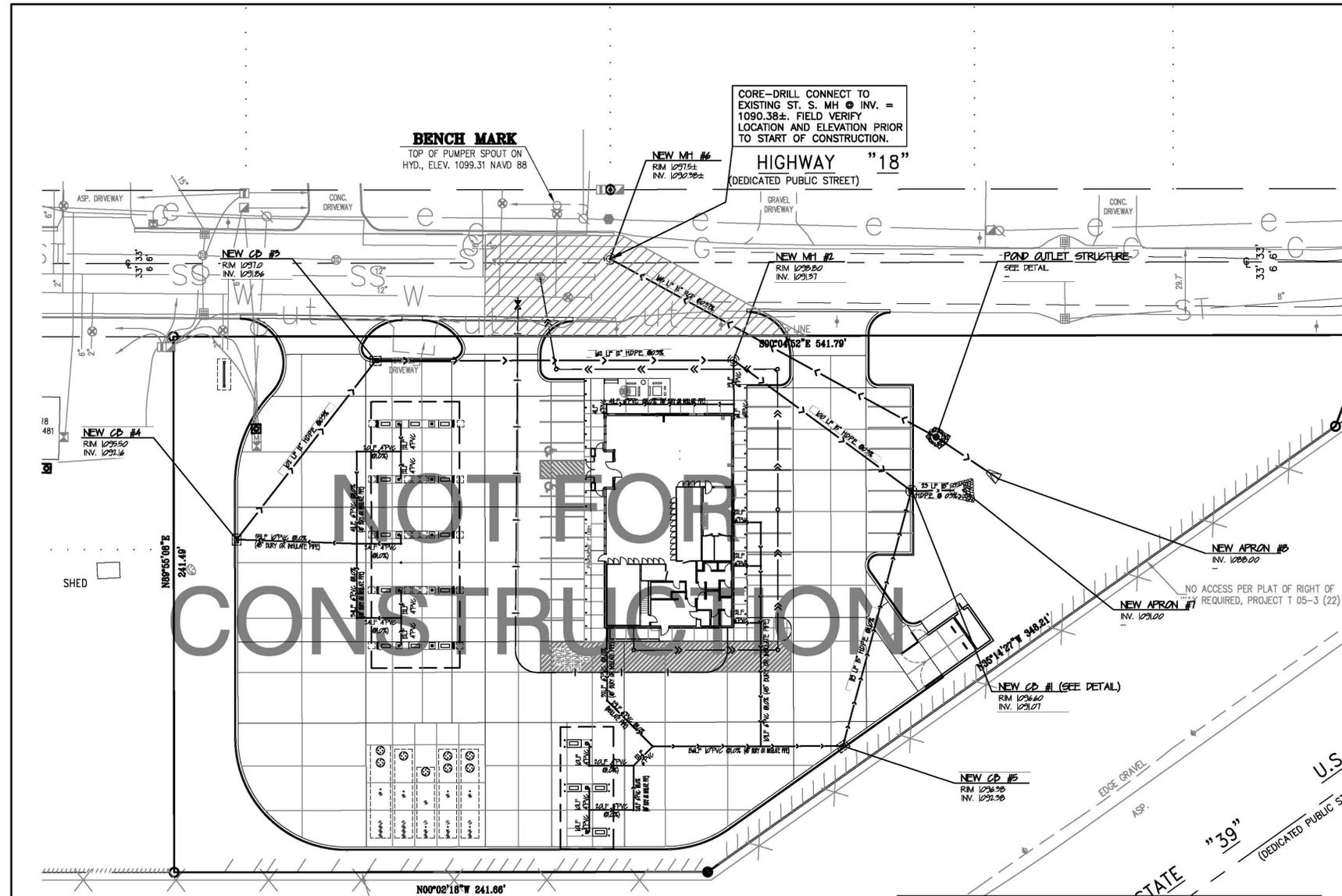
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LACROSSE, WI 54602-2107  
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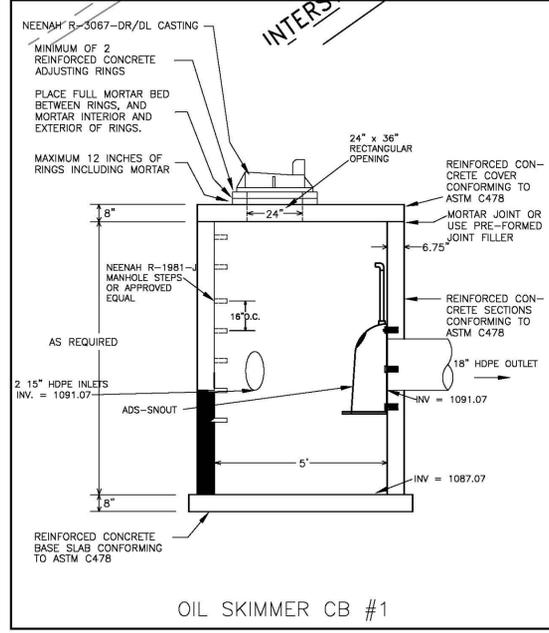
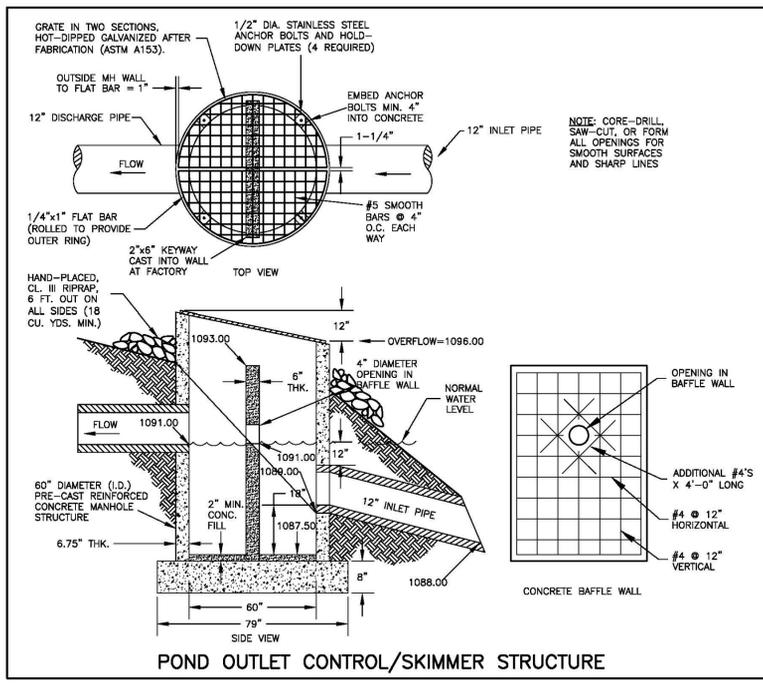
<b>GRADE PLAN</b>	<b>CONVENIENCE STORE 863</b>		<b>OLD HIGHWAY 18 STEVEN'S POINT, WISCONSIN</b>	
	NO.	DATE	DESCRIPTION	
DRAWN BY				
SCALE	GRAPHIC			
PROJ. NO.	12863			
DATE	2012 08-10			
SHEET	<b>SP2</b>			

insites 12-036



- STORM DRAINAGE:**
- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C923. The inside barrel diameter shall not be less than 48 inches.
  - All joints and connections to catchbasins or manholes shall be watertight. Use resilient rubber seals, waterstop gaskets, or approved equal. Cement mortar joints are not allowed.
  - Install catchbasin castings with specified top elevation at the front rim.
  - PVC Pipe: Use solid-core, SDR-35, ASTM D3034 Polyvinyl Chloride (PVC) Pipe for designated PVC storm sewer services 4 to 15-inches in diameter. Use solid-core, SDR-35, ASTM F679 Polyvinyl Chloride (PVC) pipe for designated PVC storm sewer services 18 to 27-inches in diameter. Joints for all storm sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.
  - RCP: Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C76, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Joints shall be Bureau of Reclamation type R-4, with confined rubber "O"-ring gaskets in accordance with ASTM C361.
  - RC Aprons: Install a reinforced concrete apron on the free end of all daylighted RCP storm sewer pipes. Tie the last three sections (including apron) of all daylighted RCP storm sewer with a minimum of two tie bolt fasteners per joint. This requirement applies to both upstream and downstream pipe inlets and outlets. For concrete culverts, tie all joints. Ties to be used only to hold the pipe sections together, not for pulling the sections tight. Nuts and washers are not required on inside of 675 mm (27 inch) or less diameter pipes. Install safety-trash racks on all concrete aprons.
  - Testing: Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
  - Drainage: Use perforated polyvinyl chloride PVC (ASTM D3034) or corrugated polyethylene PE (ASTM F405) on all drainline 3-inches to 6-inches in diameter. Install drainline with MnDOT 3733 Type 1 geotextile filter wrap or knit sock.
  - Use Neenah R-3067-DR/DL casting with curb box, or approved equal, on CB #1, CB #3, CB #4, and CB #5.
  - Use Neenah Foundry Co. R-1642 casting with self-sealing, solid, type B lid, or approved equal, on all storm sewer maintenance holes. Covers shall bear the "Storm Sewer" label.
  - Use Neenah Foundry Co. R-1642 casting with self-sealing, solid, type B bolted lid, or approved equal, on all storm sewer maintenance holes. Use tamper-proof bolts. Covers shall bear the "Storm Sewer" label.
  - Use a Neenah R-1733 frame with bolted, Type "C" radial grate, or approved equal, on the Tank Vents. Use tamper-proof bolts.
  - Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install blue Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.
  - TRACER WIRE: Locating requirements - a means to locate buried underground exterior non-metallic sewers/maines must be provided with tracer wire or other methods in order to be located in accord with the provisions of these code sections as per 182.0715(2) of the statutes.
  - The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.
  - Line pond with 2' thick clay liner per detail.

- HDPE REQUIREMENTS:**
- Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan.
  - Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter.
  - Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 for pipe sizes 12-inch to 60-inch diameter.
  - All fittings must comply with ASTM Standard D3212.
  - Water-tight joints must be used at all connections including structures.
  - Lay all HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water tight joints.
  - Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.



**811**  
Know what's below.  
Call before you dig.

**NORTH**  
SCALE: 1" = 30'

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2 SCALE - 1"=60'

**KWIK TRIP STORES**

**KWIK STAR STORES**

**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**Sunde Engineering, PLLC**  
CONSULTING CIVIL ENGINEERS

**Wisconsin Professional Engineers**

**STORM SEWER PLAN**

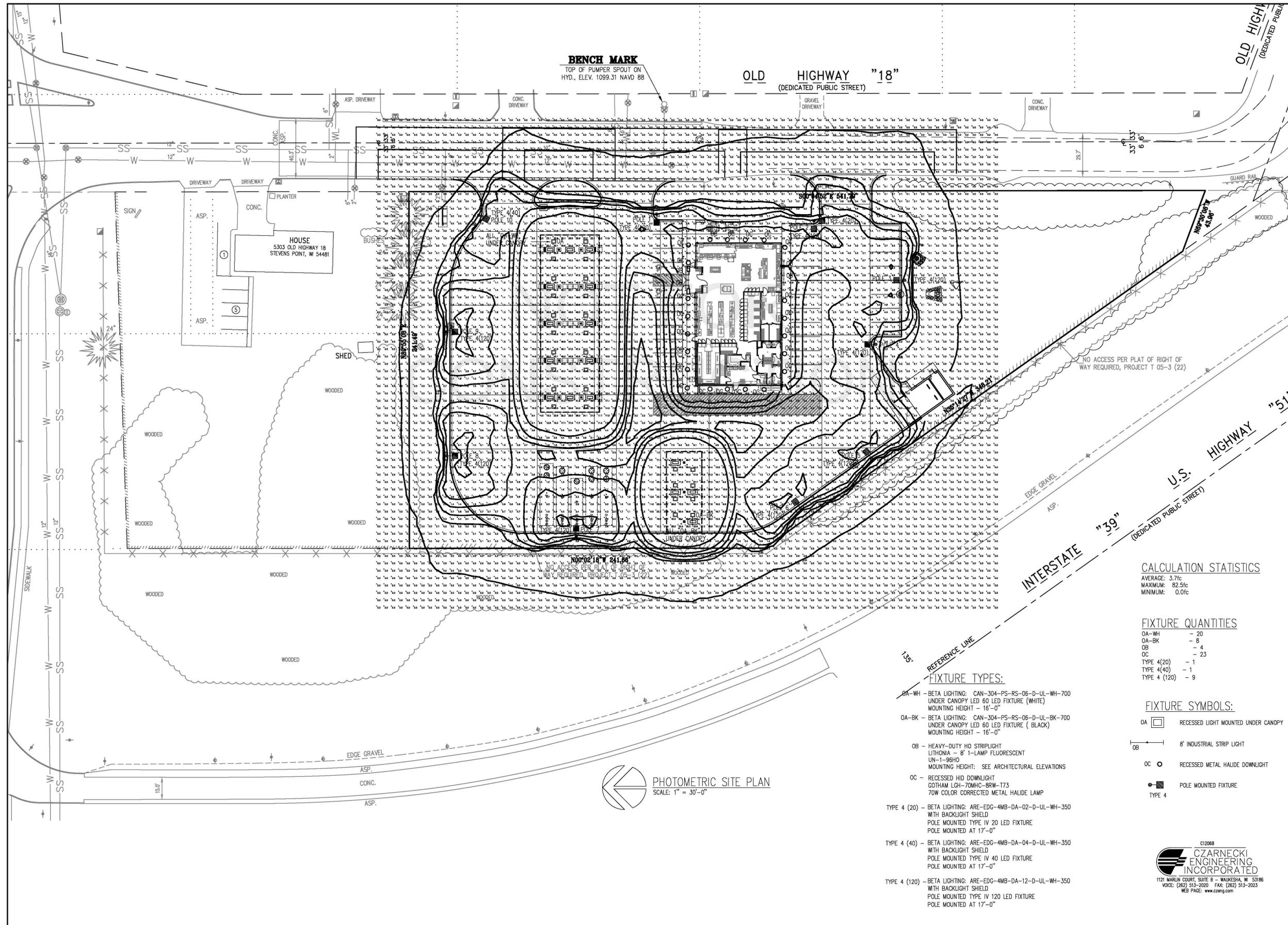
**CONVENIENCE STORE 863**

**OLD HIGHWAY 18 STEVEN'S POINT, WISCONSIN**

NO.	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_  
SCALE: GRAPHIC  
PROJ. NO.: 12863  
DATE: 10/28/12  
SHEET: \_\_\_\_\_

**SP3**



**BENCH MARK**  
TOP OF PUMPER SPOUT ON  
HYD., ELEV. 1099.31 NAVD 88

**OLD HIGHWAY "18"**  
(DEDICATED PUBLIC STREET)

**OLD HIGHWAY "18"**  
(DEDICATED PUBLIC STREET)

**HOUSE**  
5303 OLD HIGHWAY 18  
STEVENS POINT, WI 54481

**INTERSTATE "39"**  
**U.S. HIGHWAY "51"**  
(DEDICATED PUBLIC STREET)

**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'-0"

**CALCULATION STATISTICS**  
AVERAGE: 3.7fc  
MAXIMUM: 82.5fc  
MINIMUM: 0.0fc

**FIXTURE QUANTITIES**  
OA-WH - 20  
OA-BK - 8  
OB - 4  
OC - 23  
TYPE 4(20) - 1  
TYPE 4(40) - 1  
TYPE 4(120) - 9

**FIXTURE TYPES:**

- OA-WH - BETA LIGHTING: CAN-304-PS-RS-06-D-UL-WH-700 UNDER CANOPY LED 60 LED FIXTURE (WHITE) MOUNTING HEIGHT - 16'-0"
- OA-BK - BETA LIGHTING: CAN-304-PS-RS-06-D-UL-BK-700 UNDER CANOPY LED 60 LED FIXTURE (BLACK) MOUNTING HEIGHT - 16'-0"
- OB - HEAVY-DUTY HO STRIPLIGHT LITHONIA - 8' 1-LAMP FLUORESCENT UN-1-98HO MOUNTING HEIGHT: SEE ARCHITECTURAL ELEVATIONS
- OC - RECESSED HID DOWNLIGHT GOTHAM LCH-70MHC-BRW-T73 70W COLOR CORRECTED METAL HALIDE LAMP
- TYPE 4 (20) - BETA LIGHTING: ARE-EDG-4MB-DA-02-D-UL-WH-350 WITH BACKLIGHT SHIELD POLE MOUNTED TYPE IV 20 LED FIXTURE POLE MOUNTED AT 17'-0"
- TYPE 4 (40) - BETA LIGHTING: ARE-EDG-4MB-DA-04-D-UL-WH-350 WITH BACKLIGHT SHIELD POLE MOUNTED TYPE IV 40 LED FIXTURE POLE MOUNTED AT 17'-0"
- TYPE 4 (120) - BETA LIGHTING: ARE-EDG-4MB-DA-12-D-UL-WH-350 WITH BACKLIGHT SHIELD POLE MOUNTED TYPE IV 120 LED FIXTURE POLE MOUNTED AT 17'-0"

**FIXTURE SYMBOLS:**

- OA RECESSED LIGHT MOUNTED UNDER CANOPY
- OB 8' INDUSTRIAL STRIP LIGHT
- OC RECESSED METAL HALIDE DOWNLIGHT
- POLE MOUNTED FIXTURE
- TYPE 4 POLE MOUNTED FIXTURE

C12088  
**CZARNECKI ENGINEERING INCORPORATED**  
1121 MARLIN COURT, SUITE B - WAUKESHA, WI 53186  
VOICE: (262) 513-2020 FAX: (262) 513-2023  
WEB PAGE: www.cemg.com

**KWIK TRIP STORES**  
**KWIK STAR STORES**

**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**INSITES**  
SITE PLANNING LANDSCAPE ARCHITECTURE  
9030 Harbor Lane North, STE 131  
Plymouth, Minnesota 55447  
763.383.8400  
fax 763.383.8400

**PHOTOMETRIC LIGHTING PLAN**  
**CONVENIENCE STORE 863**  
**OLD HIGHWAY 18 STEVEN'S POINT, WISCONSIN**

NO.	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_  
SCALE: GRAPHIC  
PROJ. NO.: 12863  
DATE: 2012 08-10  
SHEET: **E1**

insites 12-036





**FRONT ELEVATION**

1/4" = 1'-0"

TAN STUCCO  
(2) TAN BRICK SOLDIER CRSES

TAN BRICK SOLDIER CRSE AT WINDOWS

TAN BRICK SOLDIER CRSE | RED BRICK | TAN BRICK ROWLOCK CRSE



300 N. 2ND. ST. #225  
La Crosse, WI 54601  
(608) 784 - 6808  
FAX (608) 784 - 6599



**RIGHT SIDE ELEVATION**

3/16" = 1'-0"

TAN BRICK SOLDIER CRSE

RED BRICK | TAN BRICK ROWLOCK CRSE



**LEFT SIDE ELEVATION**

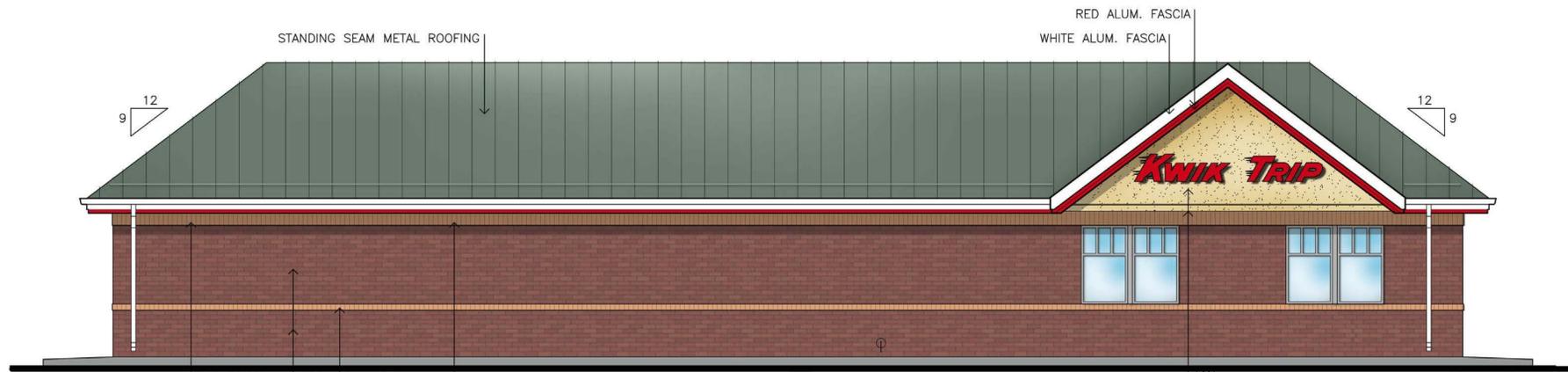
3/16" = 1'-0"

TAN BRICK SOLDIER CRSE | RED BRICK | TAN BRICK ROWLOCK CRSE

**96'x54' LH STANDARD**

**EXT. COLOR SCHED.**

MATERIAL	MANUF.	COLOR
TAN BRICK	SIoux CITY	CLEAR BUFF
RED BRICK	SIoux CITY	CABERNET BURGUNDY
MORTAR		GREY
METAL ROOF	UNI-CLAD	HEMLOCK GREEN
STUCCO	TOTAL WALL	MORNING MIST SWIRL TEXTURE
BOLLARDS		BLACK, GLOSS
FASCIA	UNA-CLAD 24 GA.	REGAL RED STONE WHITE

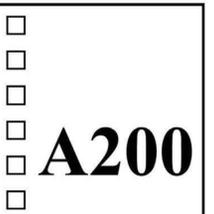


**BACK ELEVATION**

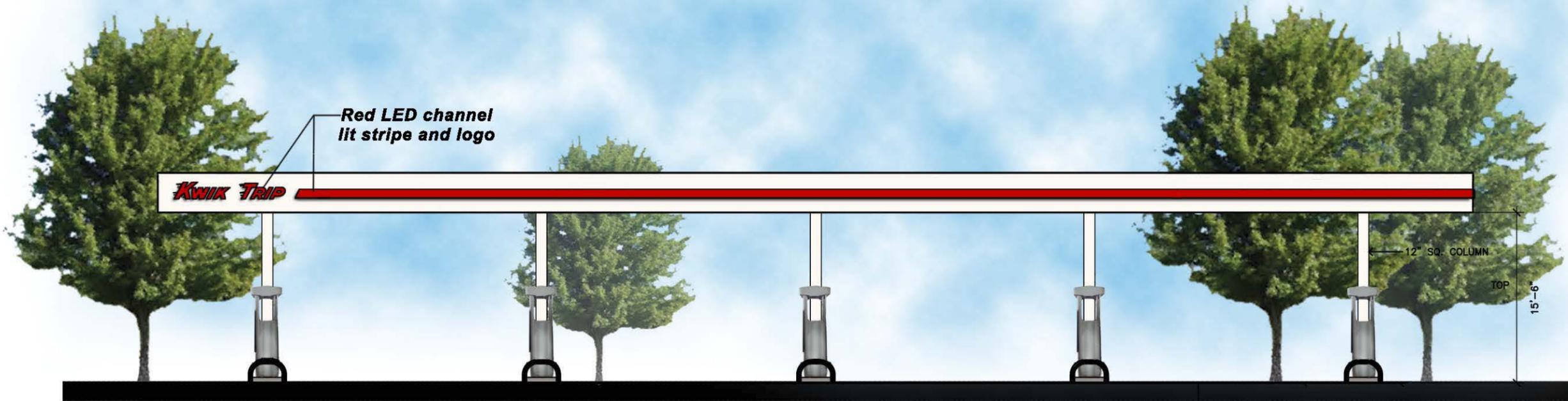
3/16" = 1'-0"

TAN BRICK SOLDIER CRSE | RED BRICK | TAN BRICK ROWLOCK CRSE | TAN BRICK SOLDIER CRSE AT WINDOWS

TAN STUCCO



Revised :  
Date : JAN 27, 09  
Checked : TPL  
Drawn : CAD  
Project # :



**FRONT ELEVATION**

SCALE: 3/32" = 1"



FUEL CANOPY



**SIDE ELEVATION**

SCALE: 3/32" = 1"

Revised :  
 Date :  
 Checked : TPL  
 Drawn : CAD  
 Project # :

## RESOLUTION

### [NORTHEAST QUADRANT OF THE INTERSECTION OF BADGER AVENUE AND HIGHWAY 10]

**BE IT RESOLVED** by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **NORTHEAST QUADRANT OF THE INTERSECTION OF BADGER AVENUE AND HIGHWAY 10, (Parcel ID 2408-36-1100-01 former County Parcel ID: 020240836-02.5)**, and described as a portion of LOT 1 CSM#8701-35-81 BNG PRT NWNE S36 T24 R8, City of Stevens Point, Portage County, Wisconsin, is here by granted a Conditional Use Permit for the purpose of operating a gas station and convenience store within Groundwater (Wellhead) Protection Overlay District B as shown on the attached plans. The Conditional Use Permit is subject to the following condition(s):

1. Wetlands shall be identified and preserved as natural areas.
2. All landscaping requirements shall be met and maintained as per Chapter 23 of the Revised Municipal Code, and the 1998 Intergovernmental Agreement.
3. All stormwater requirements shall be met as per Chapter 31 of the Revised Municipal Code.
4. There shall be no light spill over past the property line and that no lights shall be directed towards adjacent properties. All light fixtures shall be cut-off fixtures that are pointed down.
5. An illumination / lighting plan shall be submitted prior to construction. The maximum illumination levels shall be 0.5 footcandles at the property lines, except at the driveways, where it shall not exceed 1.0 footcandles. All light fixtures shall be cut-off fixtures that are pointed down.
6. The screening for the refuse containers match the main exterior material of brick that is on the main building. The access gates shall not face south.
7. The diesel canopy to the north will need to be at least 10 feet from the side property line. However, if a street is installed, the setback would be increased to 40 feet. In addition, the parking lot will need a 10 foot setback from the north property line. However, if a street is installed, the setback would be increase to 20 feet.
8. Sidewalks, at least 5 feet in width, shall be installed along the property on both Highway 10 and Badger Avenue. In addition, if the proposed drive to the north is installed, sidewalks shall be added within one year at the owner's expense.
9. A landscape base shall be provided per Chapter 25 of the Revised Municipal Code for the freestanding sign.

10. All piping shall be double wall flexible piping, where if product is released from the primary pipe it would be contained in a liquid tight pipe. Other type of piping, that is not flexible if it can be proven that it provides similar protection. This shall be approved by the State of Wisconsin and City Staff prior to permit issuance.
11. All piping shall be sloped to either a tank sump or a dispenser sump.
12. Sumps shall be located at the submersible head on each tank and also under each product dispenser. All sumps shall be equipped with a liquid sensor that sounds an alarm immediately if any liquid enters the sump.
13. All tanks shall be at minimum double walled with a liquid sensor that sounds an alarm immediately if any liquid is detected.
14. Electronic line leak detection shall be installed in the pipe run for each product dispensed. These units shall shut down flow to the pipe if there is a loss of pressure to the product pipe.
15. Dispenser and tank sump containment and spill buckets shall be double walled.
16. All monitoring shall be continuous monitoring, meaning that an alarm shall sound and proper authorities shall be immediately notified if a leak is detected.
17. Overfill devices shall be required to be installed to prevent the overfilling of the underground tanks from a transport truck, including installing one in the fill pipe of each tank, as well as an audible alert at 90% and an auto shut-off at 95% capacity, to ensure that overfilling will not occur.
18. Catch basins shall be installed around every fill point to catch product that may drip from the loading hose during the product transfer process.
19. Functionality tests shall be done semi-annually on all line monitors to ensure proper operation.
20. A tank bed and line liner shall be placed in the underground storage tank bed and in excavation trenches for fuel lines. This requirement can be waived if equal or greater protection is provided. If a liner is installed, a hydro geologist shall approve such liner and its ability to function correctly without causing negative impacts to the piping and tanks.
21. Monitoring wells shall be installed throughout the property at locations determined, prior to any permit issuance, by the Director of Water and the City Engineer. Sampling and analyses shall be done quarterly, at the expense of the gas station operator. City staff shall be given unrestricted access for compliance purposes.
22. Dispensing pads shall be Portland cement. Cracks and joints that open on dispensing pads shall be filled and fixed immediately to avoid the infiltration of hazardous chemicals.
23. All downspouts from the building and canopies shall be directly connected into the stormwater piping and directed to the stormwater pond. **No surface drainage shall occur.**
24. The tank sump for each tank shall have the electrical conduit at the highest elevation practical above the transition points of the product piping.
25. Piping contractor shall install tracer wire on the outside of the product lines. **The tracer wire and grounding mechanism shall be terminated in one tracing terminal.**
26. A clay liner shall be installed in the stormwater pond to eliminate infiltration of hydrocarbons, and other potential groundwater contaminants.

27. All state requirements outlined in Chapter SPS 310: Flammable, Combustible and Hazardous Liquids, pertaining to this request must be met.
28. A groundwater protection plan shall be submitted to, and approved by, City of Stevens Point personnel prior to permit issuance, and implemented prior to construction, and shall cover the following:
- a. A complete description of spill prevention and control measures for the facility. Spill prevention begins with the customer. Signs shall be posted at each dispenser instructing customers not to top off fuel tanks and to notify an employee in the event of a spill. Emergency shutoff switches shall be plainly labeled.
  - b. An estimate of the maximum quantity of fuel that could be spilled in the event of an equipment failure, along with an analysis of its fate and a plan for preventing it from reaching groundwater or surface water shall be created. The plan shall include descriptions of containment and/or diversionary structures or equipment needed in the event of a spill, and a demonstration that the needed equipment, personnel, and other resources would be available to respond to a spill.
  - c. A notification list, including the names and phone numbers of local management, remote management, fire and police, local and state agencies needing to be notified, and spill response contractors shall be created and kept readily available to gas station personnel.
  - d. Routine spot cleaning of small spills at fueling areas with dry methods. Dry methods include using rags or absorbents. Fueling areas shall never be washed down unless the water is collected and disposed of properly. The plan must specify that an adequate supply of absorbent materials be kept readily available.
  - e. Proper storage and disposal of used sorbents and/or rags. Used sorbents must be picked up prior to contact with rainwater or snowmelt, and stored for proper disposal.
  - f. Maintenance of the stormwater management system, including best management practices (BMPs). **The maintenance agreement must be recorded with the Portage County Register of Deeds.**
  - g. Provisions to ensure that snow plowing and other maintenance will not interfere with the proper functioning of stormwater management, spill containment, and leak detection systems shall be provided to and approved by City of Stevens Point personnel prior to permit issuance.
  - h. Employee training: Employees must be trained (upon hiring and annually thereafter) in all aspects of routine operation and maintenance, including routine spill cleaning and containment of contaminated stormwater, as well as spill response and other emergency procedures.
29. The City reserves the right to establish new conditions for the purpose of protecting the groundwater supply.
30. If any equal or superior alternative exists over any of the conditions, as determined by the Director of Water, the state, and the Director of Community Development, City Stevens Point personnel shall have the ability to modify such condition(s).

**31. All costs associated with the conditions within this resolution shall be at the expense of the operator and/or owner. All required reports relating to sampling, analysis, and/or testing shall be provided to the City upon completion of such sampling, analysis, and/or testing.**

**32. The conditional use permit shall expire within one year after final occupancy date.**

Such approval constitutes a Conditional Use under the City's ordinances.

Approved:

\_\_\_\_\_  
Andrew J. Halverson, Mayor

Attest:

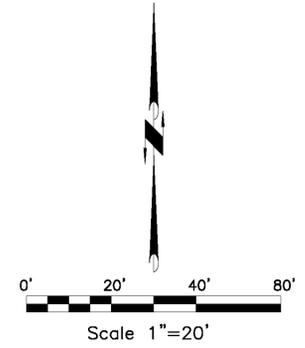
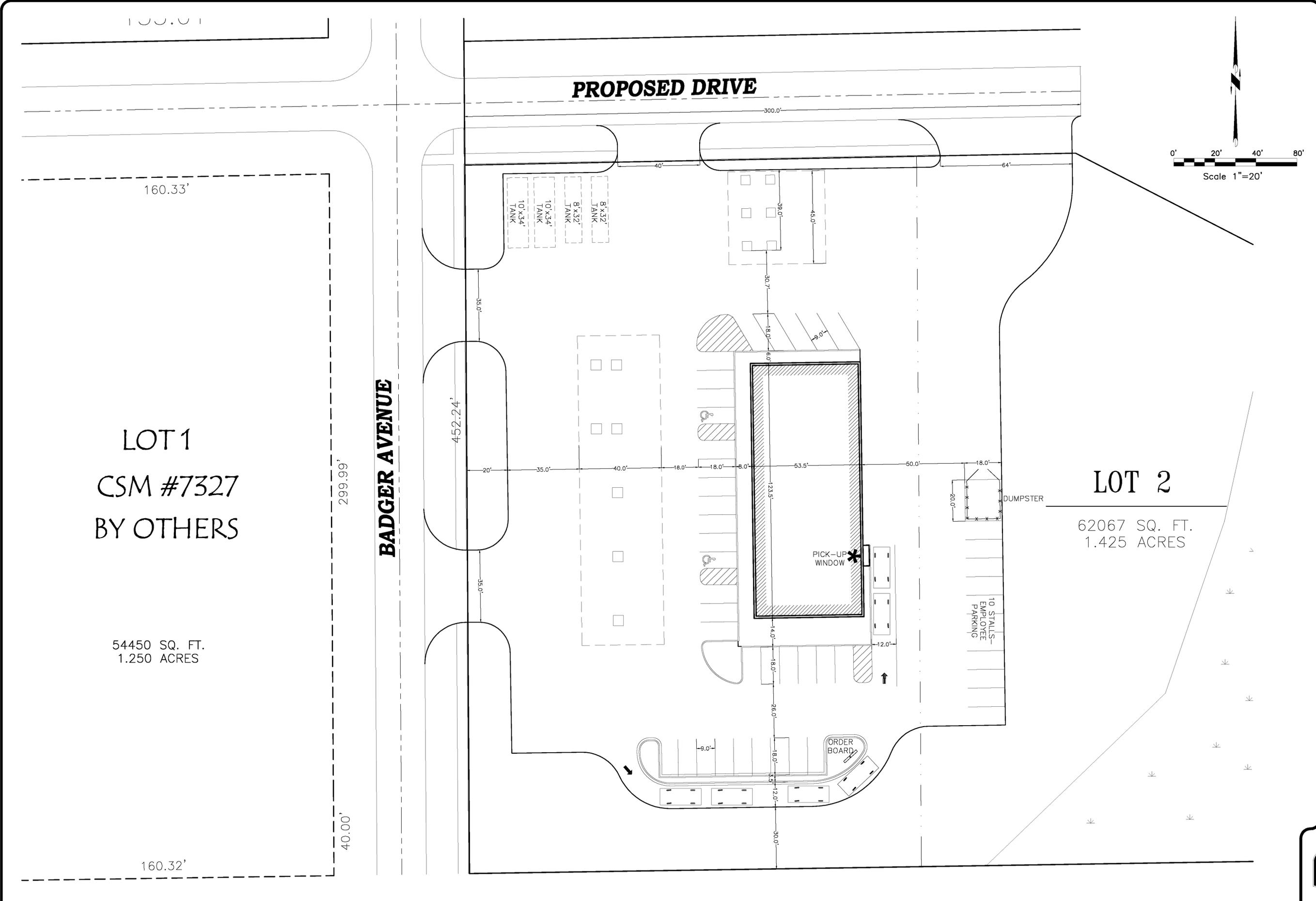
\_\_\_\_\_  
John Moe, City Clerk

Dated: September 17, 2012

Adopted: September 17, 2012

Drafted by: Michael Ostrowski

Return to: City Clerk



REVISIONS	
1.	M.A.K. 8/16/12
CHECKED: JIM LUNDBERG	
DRAWN: MELISSA KLUCK	
DATE: 7/25/12	
PROJECT NO. 00.000	

**CONCEPT PLAN**

**PARKDALE SUBDIVISION  
SCHIERL TIRE  
CITY OF STEVENS POINT  
PORTAGE COUNTY, WISCONSIN**

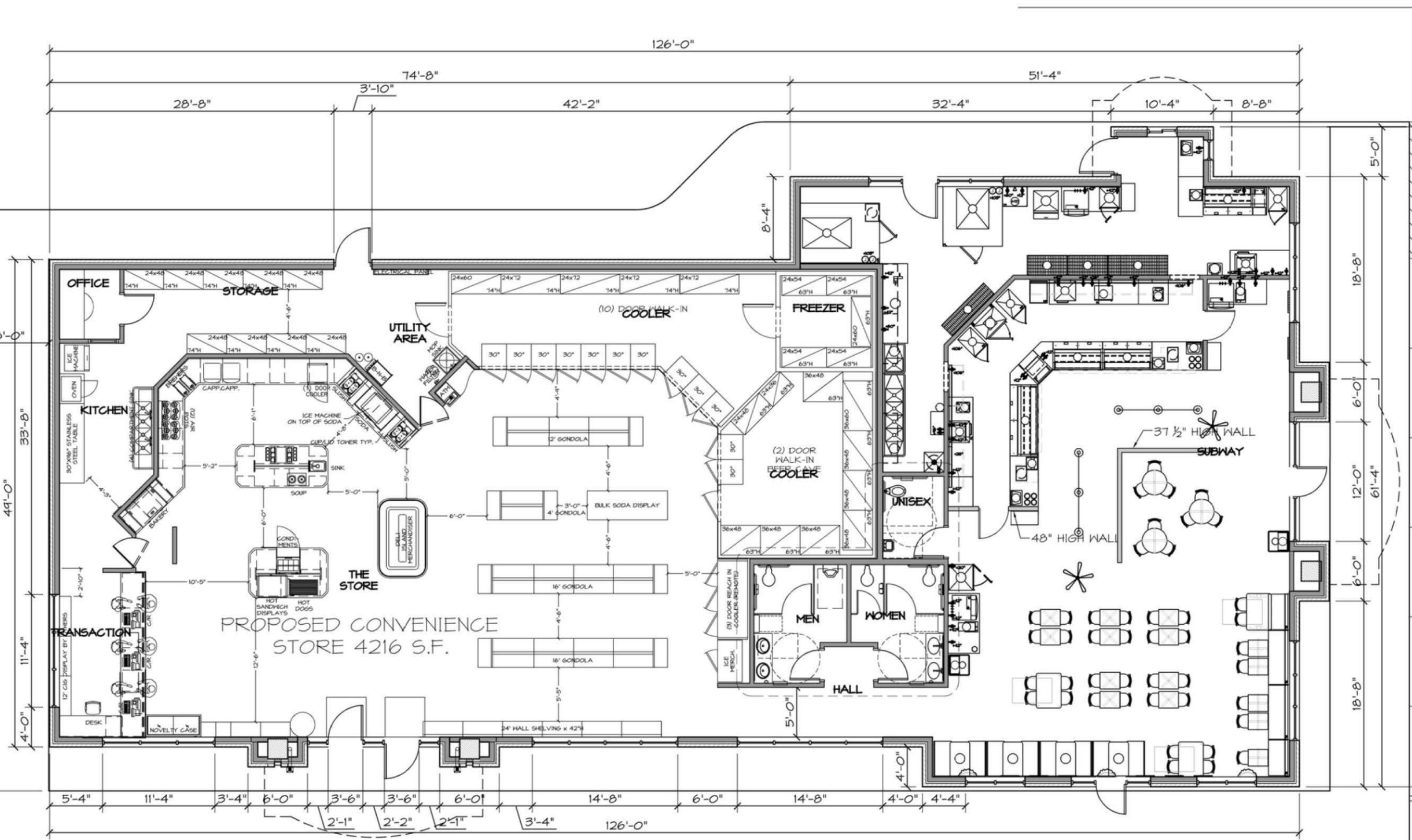
Land Surveying  
Engineering  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (Fx)



**CP-2**

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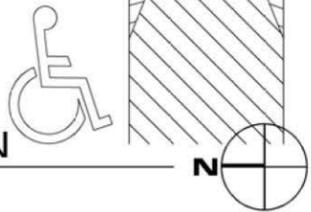
P:\21212 - THE STORE HWY 10 ST POINT\Drawings\21212-FP01.dwg, 8/14/2012 2:55:07 PM



PROPOSED CONVENIENCE STORE 4216 S.F.

**PROPOSED FLOOR PLAN**

3/32" = 1'-0"



**TEAM SCHIERL CO.**

HWY 10 EAST STEVENS POINT

AUGUST 14, 2012



**Mudrovich**  
architects

© copyright 2012



**UNDERGROUND UTILITIES**

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS - LOCATIONS ARE APPROXIMATE. PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON MAP. CONTACT DIGGERS HOTLINE FOR LOCATIONS.

FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE. (TICKET #20122614675)

**DESCRIPTION**

BEING LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 24 NORTH, RANGE 8 EAST, TOWN OF HULL, PORTAGE COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE**

I, DONALD J. BUZA, REGISTERED LAND SURVEYOR DO HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF A TOPOGRAPHICAL SURVEY AS DONE UNDER MY DIRECTION ON JULY 3, 2012.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_

DONALD J. BUZA, (# 2338)  
REGISTERED LAND SURVEYOR

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO THE CITY OF STEVENS POINT ENGINEERING DEPARTMENT AND THE NGS WEBSITE.

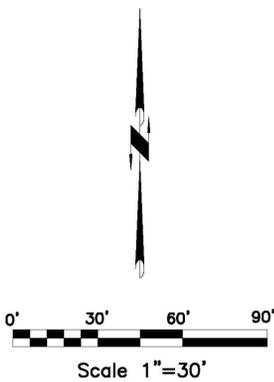
BENCHMARK #1 - PUMP SPOUT ON HYDRANT LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF BADGER AVENUE AND WINDY DRIVE.

**LEGEND**

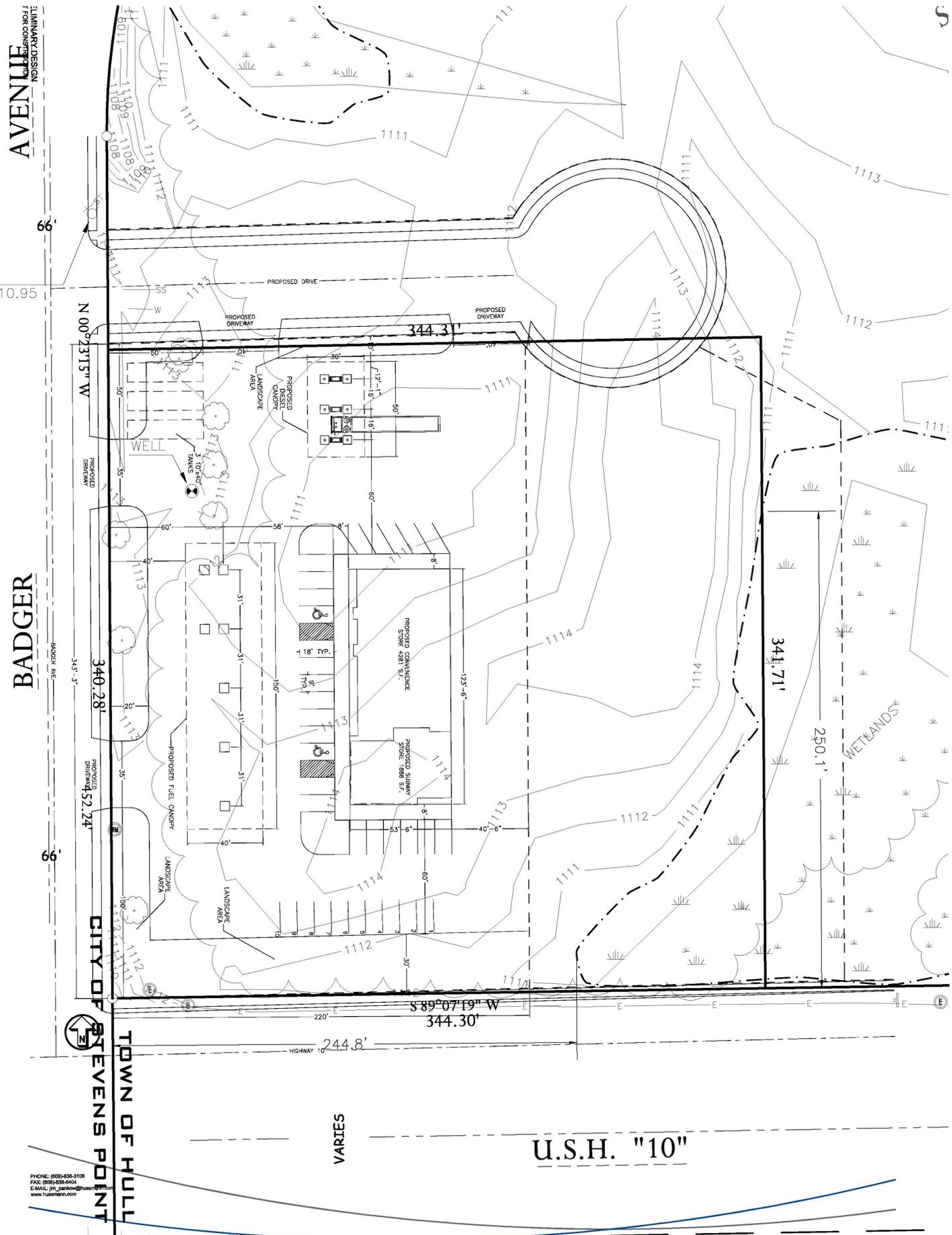
These standard symbols will be found in the drawing.

- SANITARY SEWER
- STORM SEWER
- BURIED ELECTRIC
- WATERMAIN
- CONTOUR LINE
- ELECTRIC MANHOLE
- HYDRANT
- UTILITY MANHOLE
- WELL
- TREE
- 1" O.D. IRON PIPE FOUND

109315 SQ. FT. HIGH GROUND AREA  
2.51 ACRES  
+  
8086 SQ. FT. WETLAND AREA  
0.19 ACRES  
-----  
117401 SQ. FT. TOTAL AREA  
2.70 ACRES



**CITY OF STEVENS POINT**



PHONE: 800-838-3108  
FAX: 800-838-3108  
E-MAIL: jrn\_gaskov@hussmann.com  
www.hussmann.com

Drawing No.	Date	Rev. Date	Revision Description	By	Project Name
1979	05-14-12	05-25-12	REVISE PLAN PER FRITZ MARKUPS	JPNAROW	THE STORE - STEVENS POINT EAST
SQ.FT.	Drawn By:	06-21-12	PLS LAYOUT AND ADD BORROW COOLER/REFRIGER	JPNAROW	

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REVISIONS

CHECKED: DONALD J. BUZA  
DRAWN: CYNTHIA MILLER  
DATE: 7/17/2012  
PROJECT NO. 12.636

**TOPOGRAPHIC MAP**

**PARKDALE GAS STATION  
TOWN OF HULL  
PORTAGE COUNTY  
WISCONSIN**

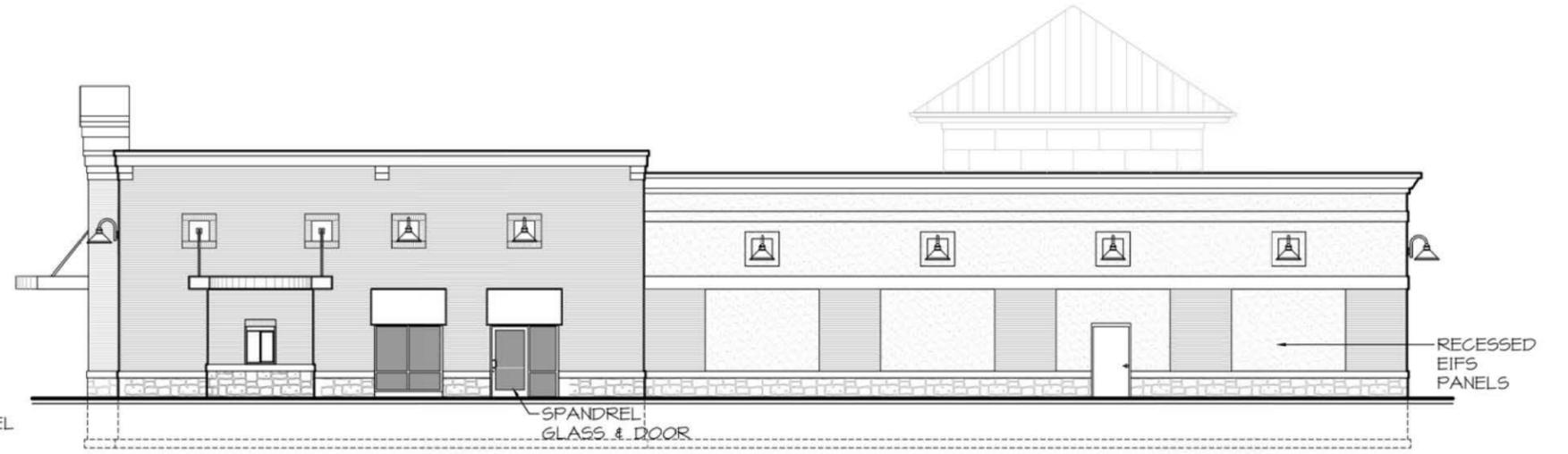
Land Surveying  
Engineering  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 [P] 715.344.9922 [F]



**TOPO**



**PROPOSED SOUTH ELEVATION**  
1/16" = 1'-0"



**PROPOSED EAST ELEVATION**  
1/16" = 1'-0"



**PROPOSED NORTH ELEVATION**  
1/16" = 1'-0"



**PROPOSED WEST ELEVATION**  
1/16" = 1'-0"

TEAM SCHIERL CO.  
HWY 10 EAST STEVENS POINT  
AUGUST 14, 2012



WEST ELEVATION

**TEAM SCHIERL CO.**  
HWY 10 EAST  
STEVENS POINT, WISCONSIN

 **Mudrovich**  
architects  
AUGUST 14, 2012 © COPYRIGHT 2012

**ORDINANCE AMENDING THE OFFICAL STREET MAP  
OF THE CITY OF STEVENS POINT, WISCONSIN**

**[DELETION OF A PORTION OF FOURTH AVENUE]**

The Common Council of the City of Stevens Point, Portage County, Wisconsin, do ordain as follows:

**SECTION I:** That the Official Street Map of the City of Stevens Point is hereby amended by:

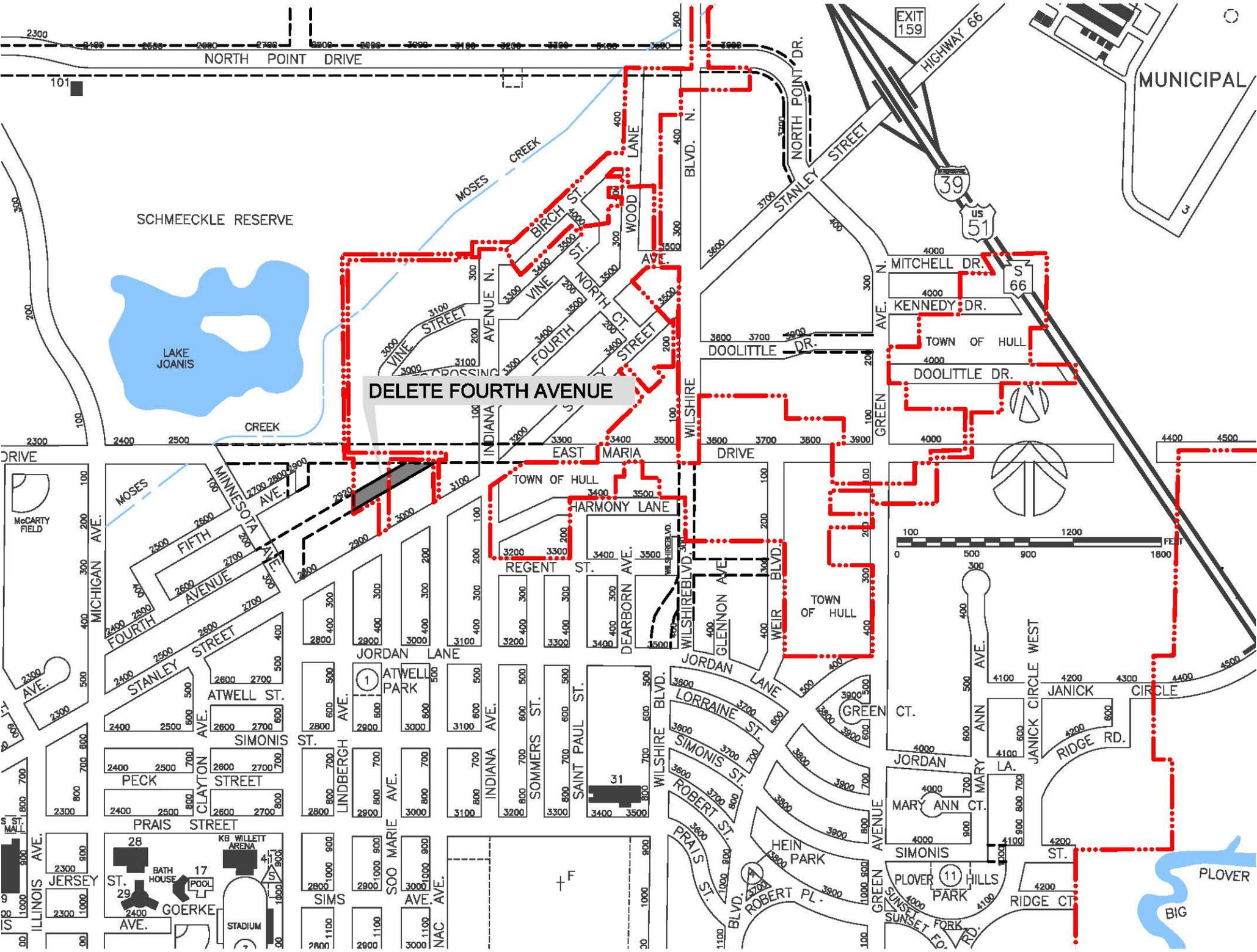
Deleting a portion of Fourth Avenue from the Official Street Map of the City of Stevens Point. Such area starts approximately 575 feet east of Minnesota Avenue (east of 2920 Fourth Avenue) to a point where Fourth Avenue and Maria Drive extended east would intersect.

**SECTION II:** That this ordinance shall take effect upon passage and publication.

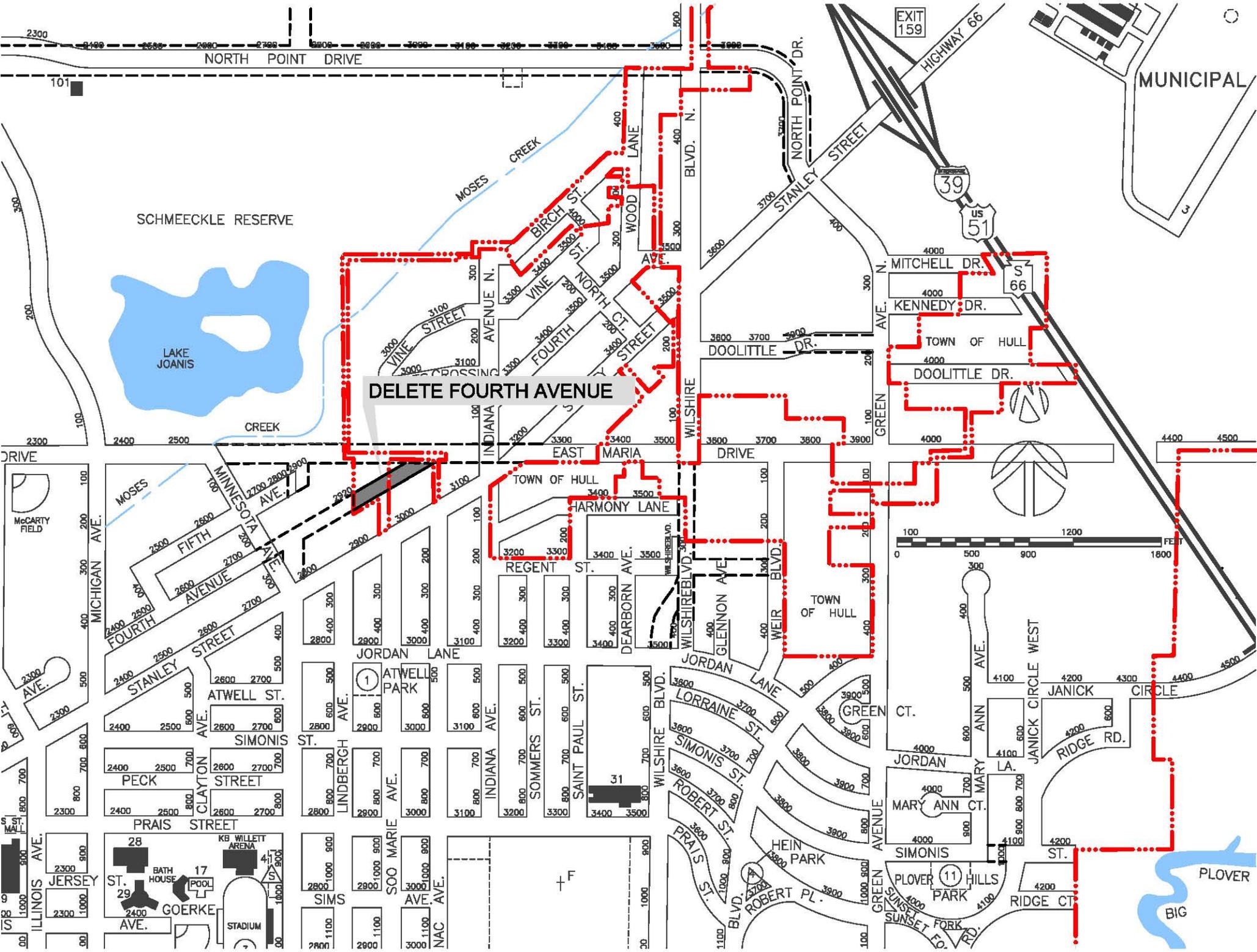
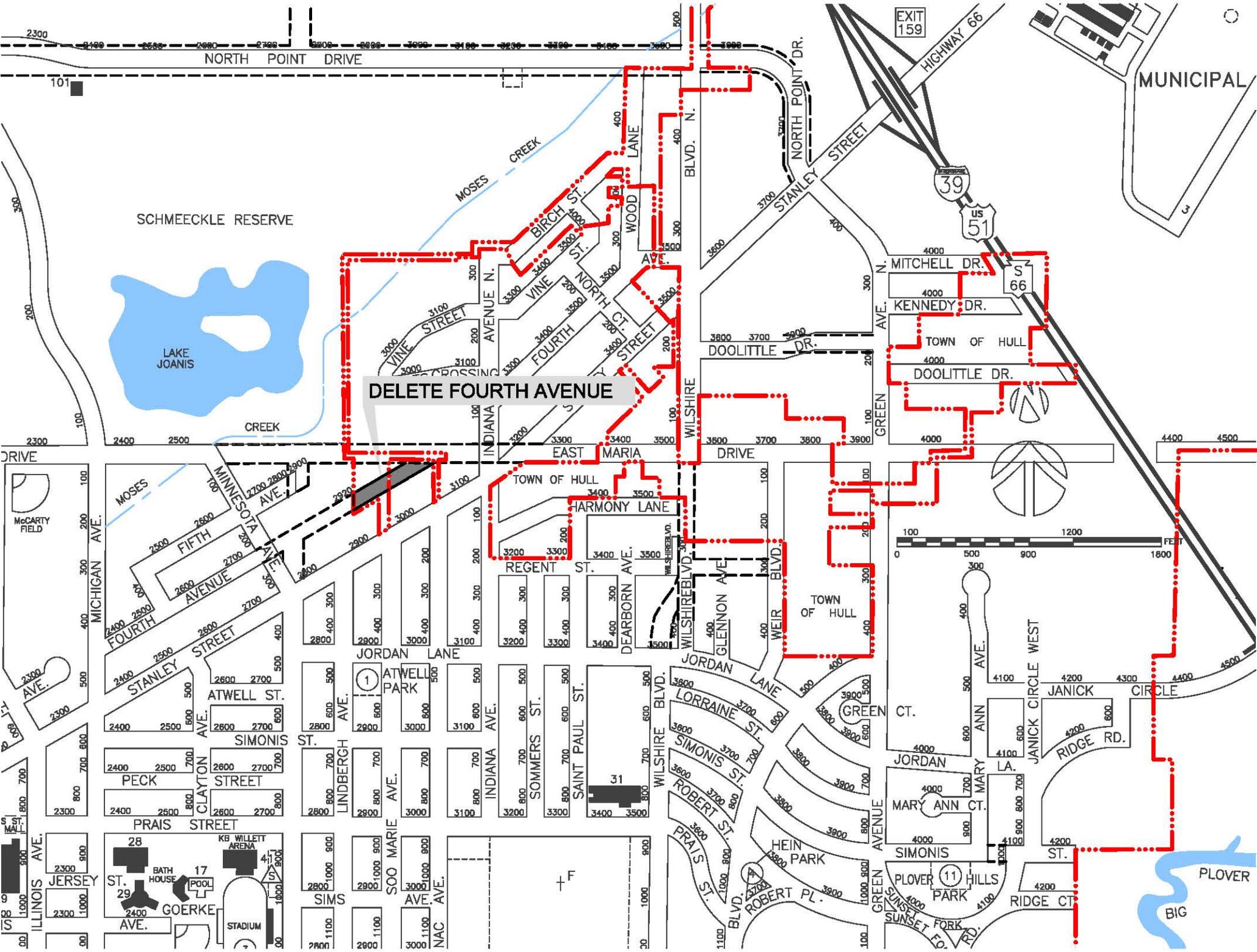
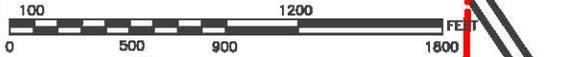
Approved: \_\_\_\_\_  
Andrew J. Halverson, Mayor

Attest: \_\_\_\_\_  
John Moe, City Clerk

Dated: September 17, 2012  
Adopted: September 17, 2012  
Published: September 21, 2012



DELETE FOURTH AVENUE



**CITY OF STEVENS POINT, WISCONSIN**

**RESOLUTION NO. \_\_\_\_\_**

**ADOPTING THE PORTAGE COUNTY ALL HAZARD MITIGATION PLAN**

**WHEREAS**, the Portage County Board of Supervisors in a resolution dated July 17, 2012 formally adopted the “Portage County All Hazard Mitigation Plan;” and

**WHEREAS**, the Portage County Board of Supervisors in such resolution made certain findings of fact in its recitals relating to the adoption of such plan.

**NOW THEREFORE, BE IT RESOLVED** by the Common Council of the City of Stevens Point as follows:

1. The findings of fact in such recitals are hereby ratified and adopted.
2. Such resolution adopted by the Portage County Board of Supervisors at their July 17, 2012 meeting is hereby ratified and adopted by the City of Stevens Point as a participating municipality in the “Portage County All Hazard Mitigation Plan.”

Adopted and approved this \_\_\_\_\_ day of September, 2012.

CITY OF STEVENS POINT, WISCONSIN

By: \_\_\_\_\_  
Andrew J. Halverson, Mayor

(SEAL)

By: \_\_\_\_\_  
John v. Moe, Clerk

COMPTROLLER-TREASURER REPORT  
for the period ending July 31, 2012

	Bal July 1, 2012	Receipts	Disbursements	Bal July 31, 2012
GENERAL OPERATING CASH	\$3,203,936.61	\$5,202,085.07	\$3,826,324.36	\$4,579,697.32
WATER & SEWER (CASH & INVEST)	\$6,293,826.42	\$2,525,099.58	\$1,443,346.34	\$7,375,579.66

INVESTMENTS	Bal July 1, 2012	TRANSFER IN	TRANSFER OUT	Bal. July 31, 2012
GENERAL	\$22,041,441.66	\$4,572,843.29	\$0.00	\$26,614,284.95
SPECIAL REVENUE	\$701,179.69	\$127.15	\$0.00	\$701,306.84
DEBT SERVICE	\$17,822.21	\$89,119.55	\$0.00	\$106,941.76
CAPITAL PROJECTS	\$13,796,149.57	\$17,588.77	\$0.00	\$13,813,738.34
ENTERPRISE	\$918,234.65	\$117,383.97	\$0.00	\$1,035,618.62
TRUST	\$87,520.87	<u>\$0.02</u>	<u>\$0.00</u>	\$87,520.89
<b>TOTALS</b>	<u>\$37,562,348.65</u>	<u>\$4,797,062.75</u>	<u>\$0.00</u>	<u>\$42,359,411.40</u>

EXPENDITURES:	BUDGET	YTD	%	REVENUES	BUDGET	YTD	%
GENERAL GOVT	\$2,601,128.20	\$1,298,515.79	49.92%	GENERAL	\$21,937,007.00	\$16,858,659.22	76.85%
EMERGENCY GOVT	\$1,133,797.00	\$603,095.54	53.19%	TRANSIT	\$2,193,539.00	\$1,606,066.42	73.22%
POLICE	\$4,859,458.00	\$2,905,091.59	59.78%	AIRPORT	\$469,183.00	\$305,706.97	65.16%
FIRE	\$4,794,475.00	\$2,624,758.86	54.75%				
PUBLIC WORKS	\$5,791,871.00	\$3,173,267.11	54.79%				
PARK & REC	\$2,260,870.00	\$1,250,602.03	55.32%				
CAPITAL PROJECTS	\$459,108.00	\$141,032.40	30.72%				
TRANSIT	\$2,193,539.00	\$1,727,371.64	78.75%				
AIRPORT	\$469,183.00	\$307,264.39	65.49%				
DEBT SERVICE	\$4,475,293.00	\$2,635,514.49	58.89%				



City of Stevens Point  
1515 Strongs Avenue  
Stevens Point, WI 54481-3594  
FAX 715-346-1530



**Andrew J. Halverson**  
**Mayor**  
715-346-1570

September 12, 2012

Members of the Common Council  
Stevens Point, Wisconsin

The following appointments are recommended for your consideration.

Smongeski Health Fund Committee – 1 year term expires September 1, 2013.

Appoint Marge Molski      800 St. Paul Street  
Reappoint William Zimdars   3924 Doolittle Drive, Apt.6

Your confirmation of these appointments would be appreciated.

A handwritten signature in black ink, appearing to read "Andrew J. Halverson".

Andrew J. Halverson, Mayor

Marge Molski  
800 St. Paul Street  
Stevens Point, WI

I am interested in serving as a Member of the Community Development Authority. As many of you know, I served as a Commissioner on the Authority during my 12 years as an Alderperson.

During my employment for the City of Stevens Point I spent 14 years as a Community Development Specialist. My role was to administer the Housing Rehab Program as well as to negotiate the acquisitions of property and relocation of residents and businesses. I was involved in the acquisition/demolition of the blighted properties along the Wisconsin River from the Wells Marina on Franklin Street down to the Hi-Rise on Water Street, the Michigan Avenue widening and separation, Patch Street widening, the relocation of Highway 10 in our downtown area and the parcels for CenterPoint Mall and Shopko.

Later I spent 10 years as the Personnel Manager. In that time I administered the benefit programs for the employees, assisted in negotiations with the unions, kept our Administrative Policies current with State and Federal Laws, etc.

While on the City Council I served on the various committees including as Chairman of the Finance and Personnel Committees.

I would like to be involved in the continued growth and development of Stevens Point and feel my experience and common sense would be an asset.

Bill Zimdars  
3923 Doolittle Dr. #6  
Stevens Point WI 54481  
715/341-2157

Watertown High School - Diploma

UW-Whitewater – BE Business Education  
UW –Superior – ME School Administration & Counseling

Retired from Education and Insurance Sales

Portage County Board Supervisor 14 years

Red Cross Volunteer  
Portage County Library Board Trustee – current president  
Portage County Library Foundation – current treasurer  
Portage County Coalition for Alcohol and Drug Abuse Prevention  
Prevention Committee  
Portage County Cultural Committee – Fundraising Committee

Redeemer Lutheran Church