

AGENDA  
CITY PLAN COMMISSION

Monday, January 7, 2013 – 6:00 PM  
Lincoln Center – 1519 Water Street, Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

Discussion and possible action on the following:

1. Report of the December 3, 2012 Plan Commission meeting.
2. Request from the Stevens Point Brewery, for a conditional use permit for the purposes of infilling; constructing an addition between their existing structure at **2617 Water Street (Parcel ID 2308-05-1018-12)**, and off-site parking.
3. Request from Culver's, for a site plan and parking lot review to deviate from the required five foot side yard setback and landscaping requirements at **332 Division Street North (Parcel ID 2408-29-1200-10)**.
4. Request from Troy Hojnacki, representing Bars None Inc., for a conditional use permit for the purpose of increasing the number of occupants living in second floor apartment units at **1225 Second Street (Parcel ID 2408-32-2015-10)**, along with off-site parking.
5. Request from City of Stevens Point to rezone the property known as the **East Park Commerce Center, consisting of approximately 762 acres, lying north of County Road HH, east of Brilowski Road/County Road R, south of Canadian National Railroad right-of-way, and west of Burbank Road (Parcel ID's: 2308-01-2100-01, 2308-01-1200-02, 2308-01-1200-01, 2308-01-1100-02, 2308-01-1100-01, 2309-06-2200-01, 2309-06-2200-02, 2309-06-2100-01, 2308-01-1300-01, 2308-01-1300-02, 2308-01-1400-01, 2308-01-1400-02, 2309-06-2300-01, 2309-06-2300-02, 2309-06-2400-01, 2308-01-3100-01, 2308-01-4200-01, 2308-01-4100-01, 2309-06-3200-01, 2309-06-3100-01, 2308-01-3400-01, 2308-01-4300-01, 2308-01-4400-01, 2309-06-3300-01, and 2309-06-3400-01)** from "M-1" Light Industrial District and "M-2" Heavy Industrial District to "PID" Planned Industrial Development District.
6. Review and recommendation on transferring and/or selling and/or assigning the rights to the property located at **1101 Centerpoint Drive (Parcel ID 2408-32-2029-61) and the adjacent property (portions of Parcel IDs 2408-32-2029-65 and 2408-32-2029-66)** from the Community Development Authority of the City of Stevens Point to potential purchasers and developers.
7. Request from the Community Development Authority of the City of Stevens Point to approve the certified survey map for **1101 Centerpoint Drive (Parcel ID: 2408-32-2029-61) and the adjacent property (portions of Parcel IDs 2408-32-2029-65 and 2408-32-2029-66)**.

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Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling 715-346-1567, during normal business hours.

Any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715)346-1569, TDD# 346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

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8. Request from the Community Development Authority of the City of Stevens Point to transfer unaddressed property located northwest of 1450 Water Street (**Parcel ID: 2408-32-2019-35**) from the City of Stevens Point to the Community Development Authority of the City of Stevens Point.
9. Review and recommendation on transferring and/or selling the property located at **1450 Water Street (Parcel ID 2408-32-2019-33)** and the adjacent property in the above agenda item (**Parcel ID: 2408-32-2019-35**) from the Community Development Authority of the City of Stevens Point to potential purchasers and developers.
10. Request from the Community Development Authority of the City of Stevens Point for a conditional use permit to increase the number of allowed occupants at **1450 Water Street (Parcel ID 2408-32-2019-33)**.
11. Request from the Community Development Authority of the City of Stevens Point to allow for off-site parking for the property located at 1450 Water Street.
12. Adjourn.

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PUBLISH: January 4, 2013 and January 11, 2013

### NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the Common Council of the City of Stevens Point, Portage County, Wisconsin, will hold a Public Hearing on Monday, January 21, 2013 at 7:00 PM in the Council Chambers of the County-City Building, 1516 Church Street, Stevens Point, Wisconsin, to hear the following:

- 1) Request from the Stevens Point Brewery, for a conditional use permit for the purposes of infilling; constructing an addition between their existing structure at 2617 Water Street (Parcel ID 2308-05-1018-12). This property being zoned "M-1" Light Industrial District, and described as LOT 1 CSM#5179 -18-204 BNG LOTS 4 THRU 13 BLK 2 SHEKELL'S ADD&VAC BEER ST & ESMT - 487/900 & LOT 14 BLK 2 SHEKELL'S ADD S5 T23 R8 703/1090 605788 710/79 552912, City of Stevens Point, Portage County, Wisconsin.
- 2) Request from Troy Hojnacki, representing Bars None Inc., for a conditional use permit for the purpose of increasing the number of occupants living in second floor apartment units at 1225 Second Street (Parcel ID 2408-32-2015-10). This property being described as PRT LOT 7 BLK 4 STRONG ELLIS & OTHERS DES: COM 82' N SW/C LOT 7; TH E 25'; TH N 6 INCHES; TH E 25'; TH N 24 1/2'; TH W50'; TH S 25' TO POB S32 T24 R8 776490, City of Stevens Point, Portage County, Wisconsin.
- 3) Request from City of Stevens Point to rezone the property known as the East Park Commerce Center, consisting of approximately 762 acres, lying north of County Road HH, east of Brilowski Road/County Road R, south of Canadian National Railroad right-of-way, and west of Burbank Road from "M-1" Light Industrial District and "M-2" Heavy Industrial District to "PID" Planned Industrial Development District (Parcel ID's: 2308-01-2100-01, 2308-01-1200-02, 2308-01-1200-01, 2308-01-1100-02, 2308-01-1100-01, 2309-06-2200-01, 2309-06-2200-02, 2309-06-2100-01, 2308-01-1300-01, 2308-01-1300-02, 2308-01-1400-01, 2308-01-1400-02, 2309-06-2300-01, 2309-06-2300-02, 2309-06-2400-01, 2308-01-3100-01, 2308-01-4200-01, 2308-01-4100-01, 2309-06-3200-01, 2309-06-3100-01, 2308-01-3400-01, 2308-01-4300-01, 2308-01-4400-01, 2309-06-3300-01, and 2309-06-3400-01.)
- 4) Request from the Community Development Authority of the City of Stevens Point for a conditional use permit to increase the number of allowed occupants at 1450 Water Street (Parcel ID 2408-32-2019-33). This property being zoned "B-3" Central Business District, and described as LOT 1 CSM#4934-17-189 BNG OUTLOT 1 CSM#4859- 17-114 & PRT BLKS 24 & 25 STRONG ELLIS & OTHERS & GL2 S32T24R8 398/35 CITY COND- 380/773 557/1190 557/80.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling 715-346-1567, during normal business hours.

All interested parties are invited to attend.

BY ORDER OF THE COMMON COUNCIL  
OF THE CITY OF STEVENS POINT, WISCONSIN

John Moe, City Clerk

REPORT OF CITY PLAN COMMISSION

Monday, December 3, 2012 – 6:00 PM  
Lincoln Center – 1519 Water Street

PRESENT: Mayor Andrew Halverson, Alderperson Jerry Moore, Commissioner Tony Patton, Commissioner Anna Haines, Commissioner Sarah O'Donnell, Commissioner Garry Curless, and Commissioner David Cooper.

ALSO PRESENT: Community Development Director Michael Ostrowski, Economic Development Specialist Kyle Kearns, Alderperson Beveridge, Alderperson Suomi, Alderperson M. Stroik, Alderperson R. Stroik, Alderperson Phillips, Brandi Makuski, Matthew Brown, Brian Kowalski, Aaron Thompson, Cherilyn Mays, Sarah Droher, Matt Zangl, Jared Wehner, Clair Goetsch, Jason Glisczynski, Alex Weiland, Alex Weber, Mitchell Patoka, Toni Donaldson, William Herian, Tyler Betry, Shane Marit, Kristin Conway, Lisa Pett, Gary Tanko, Rick Zahn, Jay Brasl, Susan Placzek, Carle Chase, Gary Oudenhoven, Carl Rasmussen, Joe Blonigen, Krista Olson, Richard Finley, Ridge Liebzeit, Dan Gilbert, Bev Clayton, Bailey Bushman, Mary Ann Laszewski, Fred Pionek, Ken Lepak, Samual Odin, Rob Konkol, Joe Senn, and Carrie Freeberg.

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1. Report of the November 5, 2012 Plan Commission meeting.
2. Request from the City of Stevens Point to designate lands used for airport purposes as airport related property, and approval of related certify survey map. **Parcel ID's 2408-14-3300-01, 2408-14-4300-01, 2408-22-4522-03, 2408-22-4526-01, 2408-22-4526-02, 2408-23-2000-01, 2408-23-2000-02, 2408-23-2004-02, 2408-23-2200-01, 2408-23-4000-04, and 2408-23-4000-05.**
3. Request from Sentry World Golf Course - Sentry Insurance, for a conditional use permit for the purposes of dredging, constructing improvements, installing new irrigation, and renovating their golf course at **601 N Michigan Avenue (Parcel ID 2408-21-3100-02).**
4. Request from the McDill Inland Lake Protection and Rehabilitation District, for a conditional use permit to dredge portions of McDill Pond. **Parcel IDs 2308-04-4001-17, 2308-04-4004-21, 2308-04-4004-22, 2308-04-4004-23, 2308-04-4015-14, 2308-04-4020-01, and an unnumbered parcel.**
5. Request from Ken Lepak, for a conditional use permit to dredge portions of McDill Pond. **Parcel ID 2308-04-4015-15.**
6. Conditional use permit renewals for the following:
  - a. **801 Francis Street (Parcel ID 2308-05-1012-26)** - Fred's Towing: Conditional use permit to operate a car and truck wrecking facility.
  - b. **2124 Rice Street (Parcel ID 2308-04-2006-03)** - Players' Lounge: Conditional use permit to operate a tavern.
7. Request from Jason Glisczynski of Players' Lounge for a conditional use permit amendment to allow for a permanent liquor license premise extension to the indoor sports area at **2124 Rice Street (Parcel ID 2308-04-2006-03).**
8. Request from Jason Glisczynski of Players' Lounge for a conditional use permit amendment to allow for a temporary premise extension to the indoor sports area for events on December 31, 2012, January 26, 2013, March 2, 2013, and July 20, 2013 at **2124 Rice Street (Parcel ID 2308-04-2006-03).**
9. Request from Bushman Electric Crane and Sign, representing Len Dudas, for a sign variance to allow a second freestanding sign to exceed the 16 foot height requirement in the B-4 District at **3333 Main Street (Parcel ID 2408-33-1019-30).**

10. Request from Bushman Electric Crane and Sign, representing the YMCA, for a sign variance to allow wall signs exceeding the 32 square foot requirement allowed in the R-5 District at **1000 Division Street (Parcel ID 2408-32-1002-01)**.
  11. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to allow for the infilling of building space on a property, through the conditional use process, where the current building setback is not in conformance (create Section 23.02(1)(b)(3)(h)).
  12. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to change non-conforming premises to non-conforming uses, and related references (Section 23.01(17)).
  13. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to create Section 23.02(4)(h) relating to standards and requirements for Planned Industrial Development Districts.
  14. Presentation and discussion on several land use concepts from UWSP Students enrolled in NR 488/688, Land Use Plan Implementation, for the former Lullabye Site, **1017 Third Street (Parcel ID 2408-32-2003-01)**.
  15. Adjourn.
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1. Report of the November 5, 2012 Plan Commission meeting.

**Motion Alderperson Moore to approve the report of the November 5, 2012 meeting; seconded by Commissioner Haines. Motion carried 7-0.**

2. Request from the City of Stevens Point to designate lands used for airport purposes as airport related property, and approval of related certify survey map. **Parcel ID's 2408-14-3300-01, 2408-14-4300-01, 2408-22-4522-03, 2408-22-4526-01, 2408-22-4526-02, 2408-23-2000-01, 2408-23-2000-02, 2408-23-2004-02, 2408-23-2200-01, 2408-23-4000-04, and 2408-23-4000-05.**

**Motion by Mayor Halverson to approve the City of Stevens Point to designate lands used for airport purposes as airport related property, and approval of related certify survey map; seconded by Alderperson Moore.**

Commissioner Patton asked what are the designated lands, to which Director Ostrowski stated in order to receive federal grant assurances, we need to specifically designate those lands specifically for airport purposes and it comes to the Plan Commission because it places restriction on the land for those purposes.

**Motion carried 7-0.**

3. Request from Sentry World Golf Course - Sentry Insurance, for a conditional use permit for the purposes of dredging, constructing improvements, installing new irrigation, and renovating their golf course at **601 N Michigan Avenue (Parcel ID 2408-21-3100-02)**.

Director Ostrowski stated Sentry Insurance is requesting a conditional use permit to renovate and perform improvements to Sentry's golf course at 601 Michigan Avenue including the following:

- Shifting tees or green complexes on four holes
- Installing new irrigation system

- Performing fairway bunker renovations
- Renovating parts of the cart path
- Dredging portions of the lakes and creeks
- Plant and relocate/removing trees, grass and flowers
- Expanding the putting and short game practice areas
- Performing minor improvements on holes
- Installing new golf cart practice hole parking areas

Director Ostrowski continued stating that the reason this is before the commission is because the area is zoned Conservancy and that a golf course is a conditional use in the zoning district. Staff would recommend approval.

**Motion by Alderperson Moore to approve Sentry World Golf Course - Sentry Insurance, for a conditional use permit for the purposes of dredging, constructing improvements, installing new irrigation, and renovating their golf course at 601 N Michigan Avenue (Parcel ID 2408-21-3100-02) with the following conditions:**

- **All necessary permits and approvals must be obtained prior to the project start, including approval from the WDNR.**
- **A final storm water management / drainage plan shall be submitted to be approved by the Engineering Department and Director of Public Works.**
- **Any structures placed on the property shall meet setback requirements.**
- **Minor improvements or modifications to the conditional use permit can be approved by staff.**

**seconded by Mayor Halverson.**

Commissioner Curless asked, regarding the map, if the hole designated as four is actually hole number two, to which Mayor Halverson stated yes.

Rick Zahn Rettler Corporation stated yes that is correct, and they are working with both the Department of Natural Resources and Fish and Wildlife service for all the state and federal permits. A stormwater management plan has also been submitted to Alex Saunders the City Engineer.

**Motion carried 7-0.**

4. Request from the McDill Inland Lake Protection and Rehabilitation District, for a conditional use permit to dredge portions of McDill Pond. **Parcel IDs 2308-04-4001-17, 2308-04-4004-21, 2308-04-4004-22, 2308-04-4004-23, 2308-04-4015-14, 2308-04-4020-01, and an unnumbered parcel.**

**Motion by Mayor Halverson to approve the request from the McDill Inland Lake Protection and Rehabilitation District, for a conditional use permit to dredge portions of McDill Pond with the following conditions:**

- **Applicants shall determine and take the necessary precautions for the protection against Blastomycosis.**
- **Applicants must receive approval from all other regulating agencies (Wisconsin DNR and FEMA).**
- **Applicants must receive approval from the City Parks Department and Public Works Department.**
- **Written permission must be granted by property owners of property being dredged.**
- **Spoils dredged shall not be disposed of within the floodplain or a Hydraulic and Hydrologic analysis must be submitted / reviewed by City Staff.**
- **Additional areas may be approved by staff.**
- **A zoning permit must be obtained from the City Community Development Department.**

**Seconded by Alderperson Moore. Motion carried 7-0.**

5. Request from Ken Lepak, for a conditional use permit to dredge portions of McDill Pond. **Parcel ID 2308-04-4015-15.**

Commissioner Haines asked about the fill remaining on site, to which Director Ostrowski stated the fill would be placed on the embankment but out of the floodplain. If you place fill in a floodplain then a Hydraulic study would have to be done. Commissioner Haines then asked about erosion control, to which Economic Development Specialist Kyle Kearns stated that in the winter they will deposit it, and in the spring spread it on both lots.

Commissioner Curless asked where the majority of the fill would be taken from.

Ken Lepak, 3016 Channel Drive, stated that the dredging would occur just past the center of the channel to the shore by his property, where he would be removing the silt and sand. Furthermore, he stated that the Aldo Leopold Society asked for just the silt to be removed along the opposite side as well.

Commissioner Curless pointed out the blastomycosis condition and asked if the city had any concerns for that. Mayor Halverson stated not from the city's prospective, but from the excavation, or the permit holder perspective, they would want to take precautions. Commissioner Curless continued stating that it had been a serious problem in the past, but after speaking with a vet who stated they have not had any cases of blastomycosis since the water drawdown it is not of great concern. He also stated that the sooner the dirt was spread in the cold weather the better it would be.

Mr. Lepak pointed out that the blastomycosis is associated with the muck and wood together while wet, and where he is doing his dredge there is very little of that. He will still take necessary precautions.

Commissioner Patton asked what is the time frame for people to get a dredging request submitted, to which Director Ostrowski stated that within the staff report a condition was to allow additional areas to be approved by staff.

Commissioner Curless asked if it was the Lake District that was paying for the dredging, to which Mr. Lepak stated yes.

Krista Olson, 3317 Della Street, stated that the Lake District appreciates and commends Mr. Lepak for his actions and opening of the channel to be navigable by kayak and small boats. She continued stating that this is all the dredging projects that they plan on doing as the Lake District.

**Motion by Mayor Halverson to approve the request from Ken Lepak, for a conditional use permit to dredge portions of McDill Pond with the following conditions:**

- **Applicants shall determine and take the necessary precautions for the protection against Blastomycosis**
- **Applicants must receive approval from all other regulation agencies (e.g. Wisconsin DNR and FEMA)**
- **Applicants must receive approval from the City Parks Department and Public Works Department.**
- **Written permission must be granted by property owners of property being dredged.**
- **Spoils dredged shall not be disposed within the floodplain or a Hydraulic and Hydrologic analysis must be submitted / reviewed by City Staff**
- **Additional areas may be approved by staff**
- **A zoning permit must be obtained from the City Community Development Department.**

**Seconded by Commissioner Cooper. Motion carried 7-0.**

6. Conditional use permit renewals for the following:
  - a. **801 Francis Street (Parcel ID 2308-05-1012-26)** - Fred's Towing: Conditional use permit to operate a car and truck wrecking facility.
  - b. **2124 Rice Street (Parcel ID 2308-04-2006-03)** - Players' Lounge: Conditional use permit to operate a tavern.

Director Ostrowski stated that these are renewals and with the Players's Lounge, the commission wanted to a six month review. Within that time period there have been no complaints and two incident reports from the police, which were only two calls generated by the owner. With Fred's towing, they are meeting all conditions and we have received no complaints. Staff recommends approval of Players' Lounge to be extended to the standard tavern renewal of June 30, 2014 and Fred's Towing to December 31, 2016.

**Motion by Commissioner Patton to approve the request for a conditional use permit renewal for 801 Francis Street (Parcel ID 2308-05-1012-26)- Fred's Towing an; seconded by Commissioner Curless. Motion carried 7-0.**

7. Request from Jason Glisczynski of Players' Lounge for a conditional use permit amendment to allow for a permanent liquor license premise extension to the indoor sports area at **2124 Rice Street (Parcel ID 2308-04-2006-03)**.

Director Ostrowski stated the current conditional use only allows for a liquor premise area limited to the tavern area and Mr. Glisczynski is asking for that to be extended to the sports area for times other than league play. Staff does not see any issues with it from a conditional use standpoint, and thinks that the only thing would be the separation of minors, but that would be up to Public Protection Committee, with that, staff would recommend approval of the premise extension to the internal sports area.

**Motion by Mayor Halverson to approve the request for a conditional use permit amendment to allow for a permanent liquor license premise extension to the indoor sports with the following conditions:**

- **The building must be modified with materials specifically designed to muffle or contain noise/music inside the building.**
- **Screening in the form of berms shall be installed on the Rice St. and Cleveland Ave. sides of the lot.**
- **Entrances shall be arranged in a manner that patrons under the age of 21 will not be admitted to the bar area.**
- **The hours of operation shall be limited to the following:**
  - **Live band concerts held on the premises shall be limited to an 11 PM ending of the music performance.**
  - **DJ or band activity shall cease at 10 PM on Sunday through Thursday, and 11 PM on Friday and Saturday nights.**
  - **The tavern/lounge shall have hours of operation from 11:00 AM to 2:00 AM on Monday – Friday (or legally allowed hours, whichever is earlier) and 11:00 AM to 2:30 AM on Saturday – Sunday (or legally allowed hours, whichever is earlier).**
- **The business must be operated in a manner that music heard from outside the building does not unreasonably disturb the peace and enjoyment of the residential neighborhood.**
- **The business must be operated in a manner that patrons must be prevented from congregating outdoors in a manner that would unreasonably disturb the peace and enjoyment of the residential neighborhood.**
- **The doors shall be kept closed so that noise does not unreasonably disturb the peace and enjoyment of the residential neighborhood.**
- **The exterior of the building, including the tavern expansion, shall be improved as shown on the attached plans.**
- **The building plan layout as presented on the attachment is approved and shall not be modified without city approval.**
- **It is the intent of the City to require completion of the exterior portions of the project by the end of April, 2009. However, given that exterior work may be difficult to complete by the end of April due to poor weather conditions, the Inspection Department is given the discretion to allow the business to operate the tavern as provided above with an extension of time to complete the exterior portion of the project as shown on the attached drawings until June 30, 2009.**
- **A complete site plan/landscaping plan be submitted to the Community Development Department by February 22, 2010 that would include that the 5 planting areas be enhanced and redesigned with raised mulch beds with increased plantings of year round foliage, and a new raised mulch bed be installed across the entire entry south driveway with plantings to match the requirements for the other planting areas.**

- Dumpsters be screened with fencing that matches the building color.
- Paint, or other materials, on the south side of the building to replace the area currently painted blue and wrap around the building to the north (not to include the area above the blue) with consistency in the gray colors of the building to be approved by the Community Development Department.
- Year round foliage on the south side of the building.
- Close the south driveway closest to the building and curb it off at the owners expense.
- Remove the hvac units along the south elevation.
- Repair the deck and paint the rusty doors and posts on the south elevation.
- All events shall be monitored by Player's Lounge staff, along with parking.
- Any garbage or trash shall be removed from the property within 24 hours of the event.
- Alcohol shall not be consumed outside of the allowable premise area.
- This Conditional Use Permit shall expire June 31, 2014.

seconded by Commissioner Haines.

Commissioner Patton asked about the doors by the sports area and would they be blocked off or locked to prevent the possibility people wandering out on that side of the building or of underage persons entering.

Jason Glisczynski Players' Lounge stated that all the exits on the sports complex side of the building are locked from the exterior and are used for emergency exits only.

**Motion carried 7-0.**

8. Request from Jason Glisczynski of Players' Lounge for a conditional use permit amendment to allow for a temporary premise extension to the indoor sports area for events on December 31, 2012, January 26, 2013, March 2, 2013, and July 20, 2013 at **2124 Rice Street (Parcel ID 2308-04-2006-03)**.

Director Ostrowski stated that this request is before the commission in case the council denies the extension to the sports area in the prior agenda item so he is still able to carry out these events without coming back for another approval.

**Motion by Commissioner Patton to approve the conditional use permit amendment to allow temporary events on December 31, 2012, January 26, 2013, March 2, 2013, and July 20, 2013 with the following conditions:**

- Previous conditions still remain.
- Event shall be monitored by staff, along with parking.
- Any garbage or trash shall be removed from the property within 24 hours of the event.
- Alcohol shall not be consumed outside of the allowable premise area.
- DJ or band activity shall cease at 11:00 PM.

seconded by Commissioner O'Donnell. Motion carried 7-0.

9. Request from Bushman Electric Crane and Sign, representing Len Dudas, for a sign variance to allow a second freestanding sign to exceed the 16 foot height requirement in the B-4 District at **3333 Main Street (Parcel ID 2408-33-1019-30)**.

Director Ostrowski stated that this request is on the old Hot n' Now property. The request is to allow an illuminated cabinet sign onto and above an existing pole and changeable copy sign. The bottom of the changeable copy sign is proposed to be at a height of eight feet where as the total height of the sign will be 20 feet. City sign code allows freestanding signs up to 20 feet in height and 150 square feet in area, however, as this property shares the same use as the adjacent lot and is under the same ownership, it is considered as one zoning lot. Therefore the sign is considered a second freestanding sign and must meet the sign code requirements for the district. A second freestanding sign is allowed on the property at a height of 16 feet and maximum size of 100 square feet. Len Dudas Motors currently has a non-conforming freestanding sign on the property that exceeds height and size requirements. If approved, this request would allow a second non-conforming sign on the property. In reviewing, there is no hardship or unique property characteristics that would warrant the proposed variance. Therefore, staff would recommend denying the request for a variance to exceed the height requirement.

Commissioner Patton asked what the height to the top of the pole is where the old sign used to be, to which Economic Development Specialist Kyle Kearns stated 20 feet.

Mayor Halverson asked for clarification that the company is reusing the existing pole, and then would the existing service sign with the arrow be removed.

Bailey Bushman, Bushman Signs, stated that is correct. Mayor Halverson asked if it could be dropped to conform to the ordinance, to which Ms. Bushman stated yes but there would only be a four foot clearance. Mayor then asked about the possibility of removing the reader board as an option. Ms. Bushman stated that it is used for advertising at the property and if the variance is denied then they will have to redesign the proposed sign which currently meets the GM. Ms. Bushman stated that the owner feels this is an exception due to this location as a second lot and adjacent property that was purchased for expansion.

Mayor Halverson asked Director Ostrowski if the property is one contiguous parcel, and if the distance of frontage is already taken into account, to which Director Ostrowski stated, this can be looked at as a second freestanding sign on the property because both of those properties are considered one zoning lot for which operate out of the same building. Therefore, it is considered one zoning lot, and would be required to meet the second freestanding sign requirements. He continued to state that there are instances where if they had a separate business on that lot or separate building and want to consider that a separate lot and business entirely, they could have another 20 foot sign.

Commissioner Haines asked where the other sign was, to which Director Ostrowski stated near the building. Alderperson Moore asked if the top of the pole was at 20 feet and would the sign be two-sided or only facing east, to which Director Ostrowski stated the pole is 20 feet and the sign would be two-sided.

**Motion by Commissioner Patton to approve the request from Bushman Electric Crane and Sign, representing Len Dudas, for a sign variance to allow a second freestanding sign to exceed the 16 foot height requirement; seconded by Commissioner Cooper.**

Commissioner Curless asked for explanation of the proposed sign, to which Bailey Bushman responded that the sign would be placed directly above the existing reader board for a total of 20

feet, but not on top of the existing pole, and if they wanted to use the existing pole with a compliance height of 16 feet, the reader board would be four feet lower for people to be able to mess with.

Director Ostrowski cautioned the Plan Commission that if this variance is approved, they should state what unique property characteristics or hardship exists because, it opens the door for future requests. He added, we have denied other similar requests to exceed height requirements in the past.

Commissioner Haines stated she would prefer to see the sign shrunk to the size it should be.

Aldersperson Moore asked if General Motors provides for a smaller sign than the eight foot by eight foot presented, to which Bailey Bushman answered there is a six foot by six foot option, however then it would be narrower and it would not look as clean and would look added on. Aldersperson Moore stated he would rather see a sign where their standards could meet our standards.

Mayor Halverson stated one of the difficulties we find ourselves in is this isn't a true variance from the law, but an exception from an ordinance that is very clear and uniform throughout the urban area and Plover. If we say yes to this sign, how could we say no to the previous request from the owner for the request of the other non conforming sign in the past? Either we have a Uniform Sign Code and adhere to, or we will not have one.

Commissioner Curless pointed out that just prior to his appointment to the commission Team Scheirl Company wanted a sign variance which was denied, so if we approve this and the Team Scheirl Company comes back next month we would have to approve that as well.

Commissioner Patton asked if we had a business awhile back that the sign was an upgrade to a non-conforming sign, to which Director Ostrowski stated it was the SAVE-A-LOT sign and the difference there was that there were two non-conforming freestanding signs in existence. Under our sign ordinance if you do any modifications then both signs must come into conformity. That request was for a sign that would bring one of the signs into conformity, but the ordinance stated the other one had to be conforming as well, which was not part of the request.

Commissioner Haines clarified that with Hilltop we allowed them to go higher due to the visibility obstruction from the building and setback issues. Mayor Halverson added there were some real property characteristics there with highline set back, lost portions of land to the DOT for the acquisition of the right of way and if they were to reposition it on a different portion of the property, they would have lost significant parking.

**Commissioner Patton withdrew his motion.**

Commissioner Curless asked if the existing large sign is non-conforming, to which Director Ostrowski stated yes.

**Motion by Mayor Halverson to deny the request from Bushman Electric Crane and Sign, representing Len Dudas, for a sign variance to allow a second freestanding sign to exceed the 16 foot height requirement; seconded by Aldersperson Moore. Motion carried 7-0.**

10. Request from Bushman Electric Crane and Sign, representing the YMCA, for a sign variance to allow wall signs exceeding the 32 square foot requirement allowed in the R-5 District at **1000 Division Street (Parcel ID 2408-32-1002-01)**.

Director Ostrowski stated that this is a unique request in that the property is zoned R-5 with a more of a commercial type use within the residential district.

In reviewing this request, the size of the property, the location of the building on the property, and the size of the building itself does create a uniqueness with this request. Staff would recommend approval of the request to allow up to the requested amount of signage, but require the sign to be in channel letter type sign, as opposed to the proposed white cabinet signs. A channel letter type sign will not only be more fitting into this area in term of design, but reduce the potential of illumination that the sign lighting projects. In addition, having the white cabinet signs may create a washout of the YMCA lettering or logos when viewed from a distance, which is one of the reasons why staff is supporting a larger sign for this request.

Mayor Halverson pointed out that the new sign was to be placed in the same place as the old sign. Director Ostrowski added that the old sign that was recently removed was nearly the same square footage as the new proposed sign.

Commissioner Curless asked if the new sign would be the one that faces Franklin Street, to which Mayor Halverson stated yes.

**Motion by Commissioner Haines to approve the request from Bushman Electric Crane and Sign, representing the YMCA, for a sign variance to allow 72.56 square feet of wall signage with the condition that the wall sign(s) be channel letter type sign(s); seconded by Commissioner Curless. Motion carried 7-0.**

11. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to allow for the infilling of building space on a property, through the conditional use process, where the current building setback is not in conformance (create Section 23.02(1)(b)(3)(h)).

Director Ostrowski stated that we have received a request from a business that is looking to do an addition to the building, but the current setback is not met from the street. This request is for a U-shape type building and the business is looking to infill in that space, but our current zoning code would not allow infill as it would expand a non-conforming structure. In looking at the request, we can handle the infilling on a case by case basis through the conditional use process. In doing this amendment we will then have to amend the non-conforming structure ordinance, which is the next agenda item.

**Motion by Mayor Halverson to approve the amending Chapter 23 (Zoning Code) of the Revised Municipal Code to allow for the infilling of building space on a property, through the conditional use process, where the current building setback is not in conformance (create Section 23.02(1)(b)(3)(h)); seconded by Commissioner Alderperson Moore.**

Commissioner Curless asked if the infilling addition would align with the existing structure, to which Director Ostrowski stated that the infill would bring the building flush with the other parts and would not extend beyond the existing non-conforming structure.

Commissioner Haines confirmed that requests would be brought before the Plan Commission, to which Mayor Halverson stated yes through the conditional use process, and Director Ostrowski stated that this would be approved through the residential district so it would go through all the other districts as well.

**Motion carried 7-0.**

12. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to change non-conforming premises to non-conforming uses, and related references (Section 23.01(17)).

**Motion by Alderperson Moore to approve amending Chapter 23 (Zoning Code) of the Revised Municipal Code to change non-conforming premises to non-conforming uses, and related references (Section 23.01(17)).; seconded by Mayor Halverson. Motion carried 7-0.**

13. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to create Section 23.02(4)(h) relating to standards and requirements for Planned Industrial Development Districts.

Director Ostrowski stated this is in relation to East Park Commerce Center and that we create a Planned Development Industrial District to regulate the development that would go on in that park. This is similar to Planned Development District, however it does allow industrial type uses. Through this process it would be approval of the rezoning of the property and they would have to present a concept plan that would have to be reviewed by the Plan Commission.

Commissioner Haines asked if this is an additional district, to which Director Ostrowski stated yes, furthermore adding that if an area would be rezoned to Planned Industrial Development, concept plans of developments within the district would be presented to the plan commission.

**Motion by Mayor Halverson to approve amending Chapter 23 (Zoning Code) of the Revised Municipal Code to create Section 23.02(4)(h) relating to standards and requirements for Planned Industrial Development Districts.; seconded by Commissioner Patton. Motion carried 7-0.**

14. Presentation and discussion on several land use concepts from UWSP Students enrolled in NR 488/688, Land Use Plan Implementation, for the former Lullabye Site, **1017 Third Street (Parcel ID 2408-32-2003-01).**

UWSP students presented potential development options for the former Lullabye Furniture lot.

15. Adjourn.

**Meeting Adjourned at 7:07 PM.**

# Administrative Staff Report

Stevens Point Brewery  
Conditional Use - Infilling: Addition  
2617 Water Street  
January 7, 2013



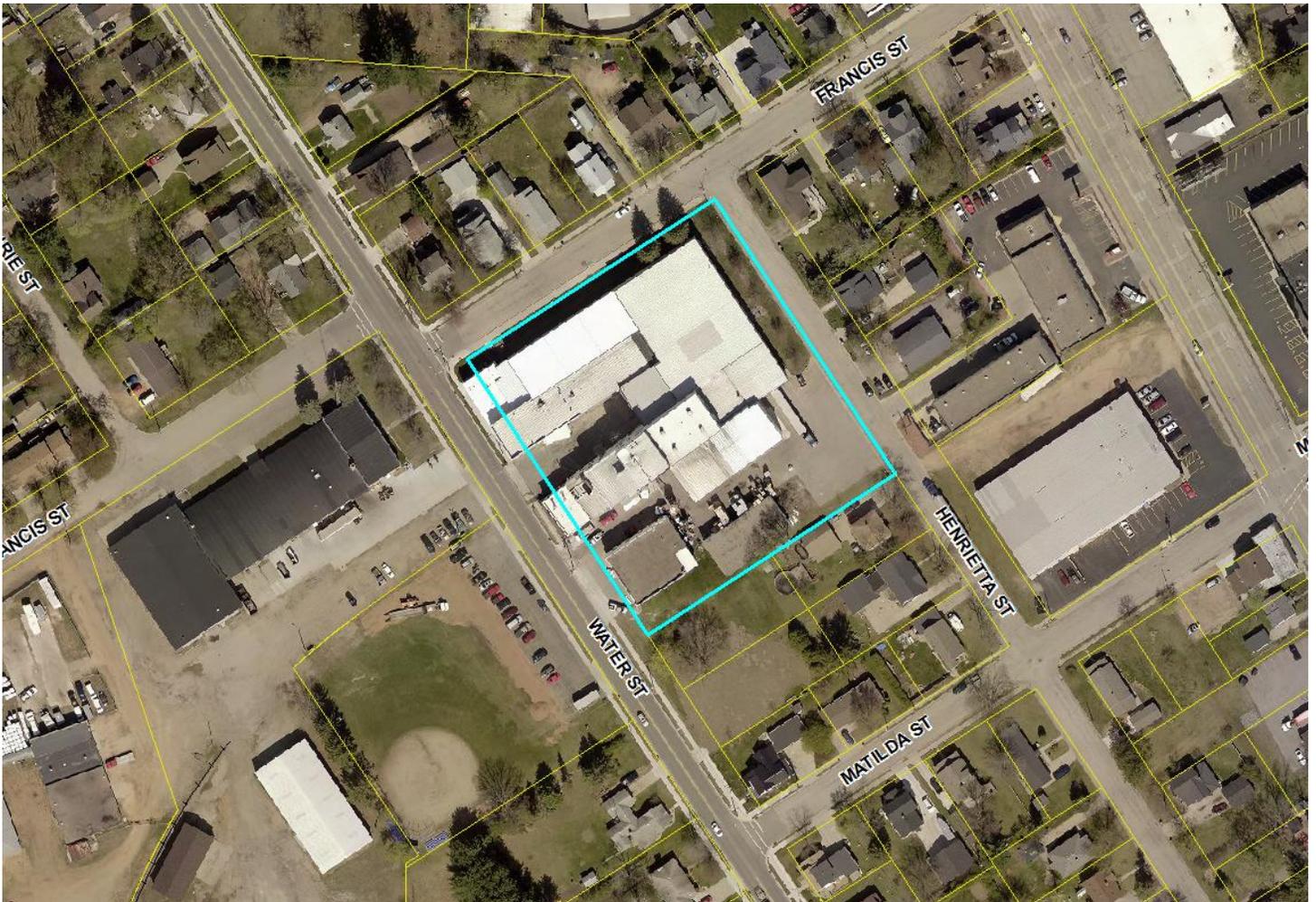
Department of Community Development  
1515 Strongs Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"><li>• Art Oksuita</li></ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"><li>• Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li><li>• Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li></ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"><li>• 2308-05-1018-12</li></ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"><li>• "M-1" Light Industrial District</li></ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"><li>• Industry</li></ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"><li>• District 9 – Stroik</li></ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"><li>• Actual Frontage: 395.9</li><li>• Effective Frontage: 395.9 feet</li><li>• Effective Depth: 271.5 feet</li><li>• Square Footage: 107,484.1</li><li>• Acreage: 2.47</li></ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"><li>• Manufacturing</li></ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"><li>• 30, 23.01(16), and 23.02(1)(b)</li></ul>	<p><b>Request</b></p> <p>Request from the Stevens Point Brewery, for a conditional use permit for the purposes of infilling; constructing an addition between their existing structure at <b>2617 Water Street (Parcel ID 2308-05-1018-12)</b>, and off-site parking.</p> <p><b>Attachment(s)</b></p> <ul style="list-style-type: none"><li>• Parcel Data Sheet</li><li>• Application</li><li>• Site Plan</li></ul> <p><b>Findings of Fact</b></p> <ul style="list-style-type: none"><li>• Current property is zoned "M-1" Light Industrial.</li><li>• City Code allows for the infilling (construction between two structures) on property where the existing building setback is not in conformance. This is done through the conditional use process.</li><li>• Conditional Use Permits must be approved by Plan Commission and Common Council.</li></ul> <p><b>Staff Recommendation</b></p> <p>Approve, subject to the following condition(s):</p> <ul style="list-style-type: none"><li>• All building codes shall be met and building permits obtained.</li><li>• The infill construction shall not encroach further into the setback than the existing facility.</li><li>• Exterior façade and architectural design shall match that of the existing structure in color, design, style, and materials, including doors and windows.</li><li>• A lighting plan shall be submitted, to be reviewed by the Community Development Department.</li><li>• Parking lost due to the infill shall be immediately re-established at another approved location on site or nearby.</li><li>• All other parking requirements per City Code shall be met.</li><li>• Roof trim and cornice shall match that of the existing building.</li><li>• The proposed overhead door shall be excluded.</li><li>• Ingress and egress shall be removed and curb, gutter and sidewalk shall be installed at the owner's expense.</li><li>• A landscaping plan shall be submitted, to be reviewed by the Community Development Department.</li><li>• Vegetative landscaping shall exist between the sidewalk and building,</li></ul>
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similarly to what currently exists between the existing structure and sidewalk.

- A drainage plan shall be submitted and reviewed by the Department of Public Works.
- Minor modifications to the design and site plan can be approved by staff.
- Any major modifications to the proposed infill building or adjacent facilities must be reviewed by the Plan Commission and approved by the Common Council.
- If the area of the proposed addition is ever needed for public purposes (e.g. street widening), applicant agrees that the cost of such acquisition by the City shall not include building improvements made within the required 30 foot setback.

## Vicinity Map



## Background

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The Stevens Point Brewery is requesting to expand and infill between two of their existing buildings (see photo). Furthermore, this infill addition will allow the Brewery to expand operations and increase efficiency. Currently, the space is used as parking, with a total of two designated handicap parking stalls.

Their current facility is non-conforming as it does not meet the setback requirements. However our code allows the infilling of building space on a property, where the current building setback is not in conformance, through the conditional use process.

It is important to note that the Brewery has already begun prepping the site. Site plans have been completed and submitted however, final building plans have not, and therefore, specific building details are not final.

When reviewing this request, the Commission should follow the Conditional Use Standards but also on functional design of the proposed building, setback of neighboring property, impact on neighborhood open space, future road requirements, alternative structural designs, building façade, and public input.



## Standards of Review

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- 1) The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

**Analysis:** The use is established in the "M-1" zoning district.

**Findings:** The proposed use is not in conflict with the surrounding area, as the property is very large and has been in use for over a century and a half. Furthermore, the proposed infill will face Water Street, across from industrial zoned properties.

- 2) The use will not be injurious to the use and for the purpose already permitted;**

**Analysis:** The "M-1" Light Industrial District is established to provide for those manufacturing or other industrial uses having the least obnoxious nuisance affects and having a lower intensity of activity as compared with permitted uses of the "M-2" Heavy Industrial District. It is intended that the "M-1" district be located as a buffer between heavy manufacturing uses and commercial or high density residential uses or at other locations all consistent with the use planning principles, industrial location standards, and City Comprehensive Plan and policies.

**Findings:** The proposed use will not be injurious to uses that exist, as the request incorporates an already existing accessory structure and does not significantly impact the already permitted use.

- 3) That the establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

**Analysis:** The respective area is an established area of the City.

**Findings:** The proposed use is not in conflict with the surrounding uses or area, as it has been established for decades.

- 4) The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

**Analysis:** The respective area is an established area of the City and will infill a gap in the building that was previously used for loading and unloading materials.

**Findings:** The Brewery has gone through numerous renovations and additions to accommodate growth and expansion, along with technology. The infill area identified in the photo above was used for trains to unload grain directly into the grain elevator; however, the tracks were covered several years ago. It now serves little purpose. Infilling the area would provide needed fluidity to the Brewery's western façade that abuts the sidewalk. Staff would recommend that the exterior façade and architectural design match that of the existing structure in color, design, style, and materials, including doors and windows.

- 5) Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

**Analysis:** Utilities exist in this area or are planned to exist.

**Findings:** This standard is met.

- 6) Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

**Analysis:** Ingress and egress exists on the site at the location where the infill is proposed (off of Water Street). The applicant has proposed a staff entrance to exist along the proposed building infill addition, along with a large overhead door.

**Findings:** Currently, visibility for vehicles entering and exiting the property at this location is reduced, as vehicles must encroach farther out to view oncoming traffic. Staff has concern that the overhead door proposed will cause more visual impairments to its users, as it is nearly up to the sidewalk. Additionally, it does not match the façade found along the existing building. Therefore, staff would recommend the overhead door be removed, and that no vehicles enter/exit out from this building area. Ingress and egress is then not needed once the infill construction is complete, and staff would recommend the ingress and egress be removed and curb, gutter, and sidewalk be installed at the owner's expense.

- 7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

**Analysis:** The proposed use is within the "M-1" Light Industrial District. The Stevens Point Comprehensive Plan identifies the future land use as industry.

**Findings:** The proposed use is not in conflict with the objectives or the general intent of the "M-1" Light Industrial District and is consistent with the Stevens Point Comprehensive Plan.

- 8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.

**Analysis:** The lot and building exist within this district. The request is to infill between two existing non-conforming structures. Two handicapped parking stalls are being removed. Our zoning code requires the following parking standards:

*23.01(14)(d)(1)(a) Industrial, wholesale and warehouse - 1 space per 1,000 sq. ft. gross floor areas used for warehousing and distribution; plus 2 spaces per 1,000 sq. ft. gross area used for manufacturing; plus 2.5 spaces per 1,000 sq. ft. of office floor area. The minimum number of required parking spaces may be adjusted by the Common Council on a case-by-case basis. The petitioner for such adjustment shall show to the satisfaction of the Council that adequate parking will be provided for customers, clients, visitors, and employees. The petitioner shall submit written documentation that the operation will require less parking than the ordinance requires. The site plan shall be designed to provide sufficient open space on the subject site to accommodate the full parking requirements otherwise required by this ordinance. Such open space shall be in addition to required yards, setbacks, driveways, and other required open space. When the use of the building, structure, or land is changed to a use that requires more parking than that approved by the Council, or when the intensity of the use of a building, structure, or land is changed by an addition of employees, additional parking shall be constructed for the new use, occupant or additional employees in the amount necessary to conform to this ordinance.*

**Findings:** The Common Council can grant a conditional use permit for infill construction of a building/addition that is non-conforming and that does not meet setback requirements. Parking requirements will change to reflect the increase in gross floor area of the structure and will be calculated when building plans are final. All other applicable regulations of the district will be met.

Parking will occur across the street in the already established parking lot.



9) **The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

N/A

10) **Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

11) **Access to the site shall be safe.**

**Analysis:** Access to the site is off Henrietta Street, and Water Street. Truck traffic for delivery and pick-up primarily utilizes those access points. Parking for the property occurs across Water Street in a property under the same ownership.

**Findings:** Staff would recommend that the ingress and egress be removed and curb, gutter, and sidewalk be installed at the owner's expense. The removal of the ingress and egress will increase the safety along Water Street, as five exists within an approximate 300 foot stretch. Additionally, truck traffic should decrease off of Water Street.

12) **There shall be adequate utilities to serve the site.**

- a. **The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

**Analysis:** Utilities exist at the site.

**Findings:** This standard is met.

13) **The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:**

- a. **Mechanical equipment including refuse storage shall be screened from neighboring properties.**

**Analysis:** No change will occur regarding mechanical equipment or refuse containers.

**Findings:** This standard is met.

- b. **Lighting shall be located to minimize intrusion onto the neighboring properties.**

**Analysis:** Lighting within the infill area will be removed.

**Findings:** This standard is met.

- c. **Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

**Analysis:** Noise will increase as construction of the addition occurs; however, once completed there will be no significant change in noise on the property.

**Findings:** This standard is met.

**14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.**

N/A

Additional review standards that should be taken into consideration are below.

**1) Functional design of the proposed building**

**Findings:** The proposed building will be single story and match that of the surrounding building in color, detail, and materials. See photos below.

**2) Setback of neighboring property**

**Findings:** Property across from the infill addition is owned and operated by the applicant, used as a parking lot. Additionally, another industrial use exists across from the brewery with which meets the 30 foot side-yard setback. Therefore, the applicants request shouldn't cause an overcrowded streetscape.

**3) Impact on neighborhood open space**

**Findings:** The applicant owns the nearby open space, which consists of parking for the brewery, as well as a small baseball field. Little to no change is anticipated to occur to this open space with the infill addition to the brewery.

**4) Future road requirements**

**Findings:** The removal of ingress and egress along Water Street should reduce the amount of truck traffic, as trucks will primarily utilize Henrietta Street. Additionally, safety should increase with the removal of the ingress/egress.

**5) Structural designs**

**Findings:** The proposed infill addition will stand approximately 27 feet high (1-story), which closely matches the height of the northern building (2-stories). Furthermore, the addition will have a steel frame, set in poured concrete floors. The height is needed for large malt and fermenting tanks that will occupy the finished addition.

**6) Building façade**

**Findings:** The infill addition will be designed so as to mimic the existing building. Brick exterior, painted white will be incorporated into the design, as well as, doors and windows that complement the existing. The proposed overhead door however, does not match that of the existing façade. The proposed roof does not closely match that of the existing, however, the applicant has stated that deviations can be made to the site plan and rendering to more closely match the existing feature.

# Photos



Name and Address		Parcel #	Alt Parcel #
SPB LLC 2617 Water St Stevens Point, WI 54481		230805101812	230805101801
		Property Address	
		2617 Water St	
Display Note	New Parcel for 2012		

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
SPB LLC	4/3/2002	\$1,173,000	Warranty Deed	605788		Land & Build.

**PERMITS**

Date	Number	Amount	Purpose	Note
3/1/2012	12-0070	\$17,000	020 Electrical	wire chiller & centrifuge
1/31/2012	12-0036	\$40,000	042 Interior Renov/Remodel	new window opening/concrete
2/7/2011	37556	\$246,935	003 Addition	148' x 45'
11/24/2010	37484	\$3,000	066 Plumbing	replace sewer for addn
7/12/2010	37149	\$210,500	060 New Construction	46 x 58 building
5/20/1999	28404	\$0	020 Electrical	

**2012 ASSESSED VALUE**

Class	Land	Improvements	Total
(3) - C-Manufacturing	\$70,500	\$661,400	\$731,900
<b>Total</b>	<b>\$70,500</b>	<b>\$661,400</b>	<b>\$731,900</b>

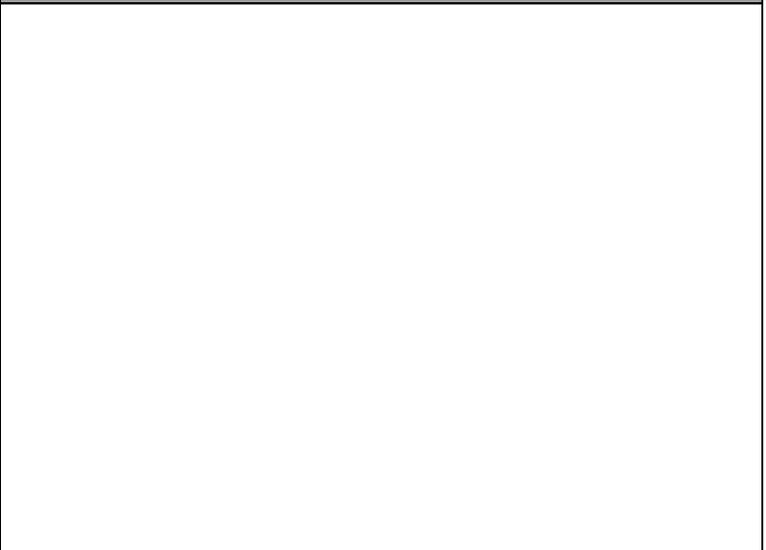
**LEGAL DESCRIPTION**

LOT 1 CSM#5179 -18-204 BNG LOTS 4 THRU 13 - BLK 2 SHEKELL'S ADD VAC BEER ST & ESMT DES 487/900 & LOT 14 BLK 2 SHEKELL'S ADD BNG PRT NENE S5 T23 R8 703/1090-1 710/79 552912 605788

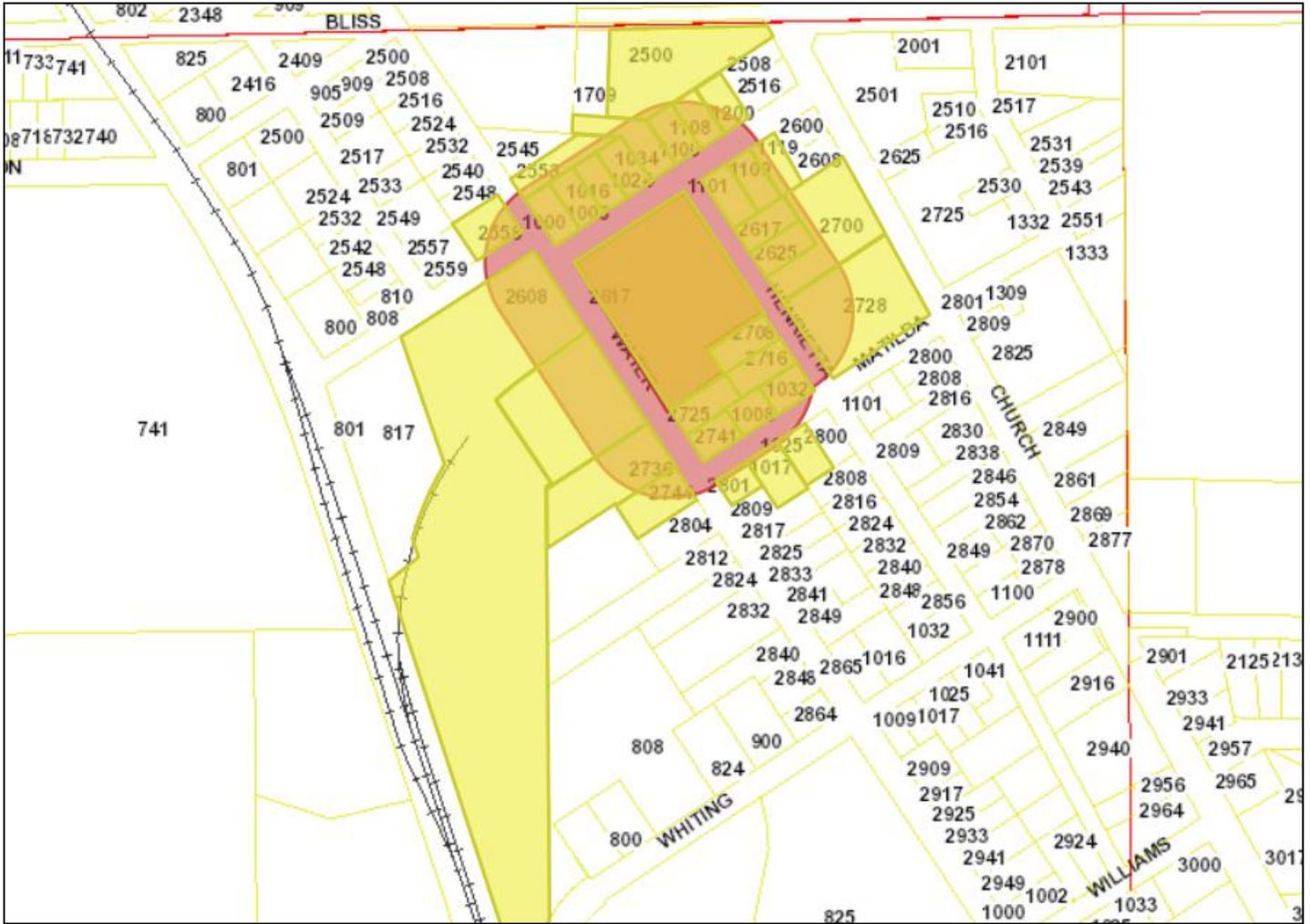
**PROPERTY IMAGE**



**PROPERTY SKETCH**



**2617 Water Street – Conditional Use – Infill Building Addition – Exhibit Map (200 Feet Boundary)**



TAX KEY	OWNER NAME		MAILING ADDRESS	CITY & STATE	ZIP	PROPERTY ADDRESS
	(Last)	(First)				
281230805100329	WP	LLC	N74 W22529 Twin Oaks Ct	Sussex, WI	53089	2500 CHURCH
281230805100317	PHILLIPS	ALAN D	1200 Francis St	Stevens Point, WI	54481	1200 FRANCIS
281230805100316	PAGEL	IVAN P & SUSAN T	1108 Francis St	Stevens Point, WI	54481	1108 FRANCIS
281230805100315	FREDERIKSEN	MICHAEL M	1100 Francis St	Stevens Point, WI	54481	1100 FRANCIS
281230805100322	MELTZER	CHERYL D	1034 Francis St	Stevens Point, WI	54481	1034 FRANCIS
281230805101902	BETKER	CHESTER T	1117 Francis St	Stevens Point, WI	54481	1117 FRANCIS
281230805100324	CARDENAS	PAUL L & ANN MARGARET	2553 Water St	Stevens Point, WI	54481	2553 WATER
281230805100328	WALKER MILISSA M	WALKER BRITTANY A	1024 Francis St	Stevens Point, WI	54481	1024 FRANCIS
281230805101903	NENNEMAN MERRITT	POTOCKI MELISSA M	1109 Francis St	Stevens Point, WI	54481	1109 FRANCIS
281230805100327	BAUMGARTNE	JOEL W	1016 Francis St	Stevens	54481	1016 FRANCIS

	R			Point ,WI			
281230805101917	BFS RETAIL & OPERATIONS	COMMERCIAL OPERATIONS	535 Marriott Dr	Nashville, TN	37214	2700	CHURCH
281230805101904	BRONK	PAUL A & TAMMY C	1101 Francis St	Stevens Point, WI	54481	1101	FRANCIS
281230805100326	ROSS TRUST	CARROLL J & MARILYN A	3309 Heffron St	Stevens Point, WI	54481	1008	FRANCIS
281230805100325	HELLENBRAND	DANIEL R & KATHY A	1000 Francis St	Stevens Point WI	54481	1000	FRANCIS
281230805101812			2617 Water St	Stevens Point WI	54481	2617	WATER
281230805100408	BESIADA	NORBERT L & LINDA	2558 Water St	Stevens Point WI	54481	2556	WATER
281230805101905	PUNDSACK	ROBERT & ROSEMARIE	2617 Henrietta St	Stevens Point WI	54481	2617	HENRIETT A
281230805101906	WELLER TRUST	MICHAEL JOHN & BETTY J	23 Arkansas Ave	Henderson NV	89015	2625	HENRIETT A
281230805101916	LYNN T MACDONALD	INC	2341 Industrial Dr	Neenah WI	54957	2728	CHURCH
281230805101222	RUSIN JT REV TRST	EDWARD S & MARY ANN	1681 North Second Dr	Stevens Point WI	54481	2608	WATER
281230805101807	LEPAK	GEORGE G & SANDRA	2708 Henrietta St	Stevens Point WI	54481	2708	HENRIETT A
281230805101806	GRANTHAM	ROGER & DONNA	5001 E Main St #1378	Mesa AZ	85205	2716	HENRIETT A
281230805101805	HUNTER	BARBARA E	1032 Matilda St	Stevens Point WI	54481	1032	MATILDA
281230805101811	SPB LLC		2617 Water St	Stevens Point WI	54481	2725	WATER
281230805101809	EIDEN	DAVID P	1008 Matilda St	Stevens Point WI	54481	1008	MATILDA
281230805101808	KUZYNSKI	DONALD E	2741 Water St	Stevens Point WI	54481	2741	WATER
281230805101218	NIESL ELLIOT P	C/O CANDLEWOOD MGMT	1317 College Ct	Stevens Point WI	54481	2736	WATER
281230805101502	KOCH	TRAVIS	1025 Matilda St	Stevens Point WI	54481	1025	MATILDA
281230805101503	KUZYNSKI	DIANE R	1354 South Section St	Nekoosa WI	54457	1017	MATILDA
281230805101504	BENEDICT	ROBERT G & PATRICIA J	2801 Water St	Stevens Point WI	54481	2801	WATER
281230805101217	BURANT	KEVIN J	2744 Water St	Stevens Point WI	54481	2744	WATER

**REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION**

ADDRESS OF PROPERTY: 2617 WATER STREET

- Zoning Ordinance Change
- Conditional Use Permit
- Variance from Zoning Ordinance -Board of Appeals
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

ENCLOSURE COURTYARD AREA ADJACENT TO  
BREWERY OFFICE - BREWERY & CALLAR

OWNER/APPLICANT:

Name: STEVENS POINT BREWERY  
Address: 2617 WATER ST.  
STEVENS POINT, WI 54481  
(City, State, Zip Code)

Telephone: 715-244-9316  
Cell Phone: \_\_\_\_\_

Joseph E. Martin  
Signature

AGENT FOR OWNER/APPLICANT:

Name: ART OKSUTA  
Address: 5648 KINGFISHER DR  
STEVENS POINT, WI 54482  
(City, State, Zip Code)

Telephone: 715-241-4202  
Cell Phone: 715-240-0601

Arthur P. Oksuta  
Signature

Scheduled Date of Plan Commission Meeting: \_\_\_\_\_

Scheduled Date of Common Council Meeting: \_\_\_\_\_

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office **three weeks** prior to the actual meeting.

Fee schedule is on second page.

Receipt # \_\_\_\_\_

Plan Commission Petition (Application) Materials:

The City of Stevens Point Community Development Department accepts applications for planning & zoning requests which are recommended by the City's Plan Commission and acted on by the Common Council. Applications are for a variety of conditional land uses and requirements, zoning, and variances for signage requirements. In order for the Plan Commission to consider requests in a timely way the City's Community Development Department provides the following guidelines on materials to be submitted with the Petition or application.

As applicable, the following supporting materials shall be submitted with a zoning/ sign application.

1. **Site Plan** - a scaled drawing of the project site or property including existing building outliners), property lines, driveways, sidewalks, fences/screened areas, on-site lighting, parking and loading areas and other relevant information.
2. **Elevation Drawing** - a scaled drawing representing building facades showing view of the building. Drawing shall describe exterior building materials, roof lines, windows, doors, fencing or screening and landscaping.
3. **Landscaping Plan** - a detailed drawing of the property or site plan illustrating the locations, types and sizes of landscaped plantings including number, species and size of trees and shrubs and treatment of all surfaces including paved and turf areas.
4. **Signs** - sign requests shall include a complete description of the proposed sign to include a drawing and a description including type of sign, location (on building or property), size, color, height/width (area), graphics and copy, illumination and other information as necessary.
5. **Drainage Plan** - If applicable drainage plans should include information on topography/elevations, surface material and site lay-out are to be submitted to the City Engineering office. Telephone [715-346-1561]

Information in support of zoning and sign requests should be submitted in as much detail as possible so as to make the petition request clear and complete. Petitions and required attached materials can be submitted to the: Community Development Department, 1515 Strongs Avenue, Stevens Point, Wisconsin 54481 or for information telephone [715-346-1567]. All materials shall be submitted to the Department on the first Monday of any month for action to be taken at the following month's Plan Commission meeting.



MP944

## CHECK DISBURSEMENT REQUEST

Date: 12/20/12

Issue Check To: CITY STURGENS POINT

Mailing Address: 1515 STURGENS AVE

STURGENS POINT, WI 54481

In the amount of: \$250.00

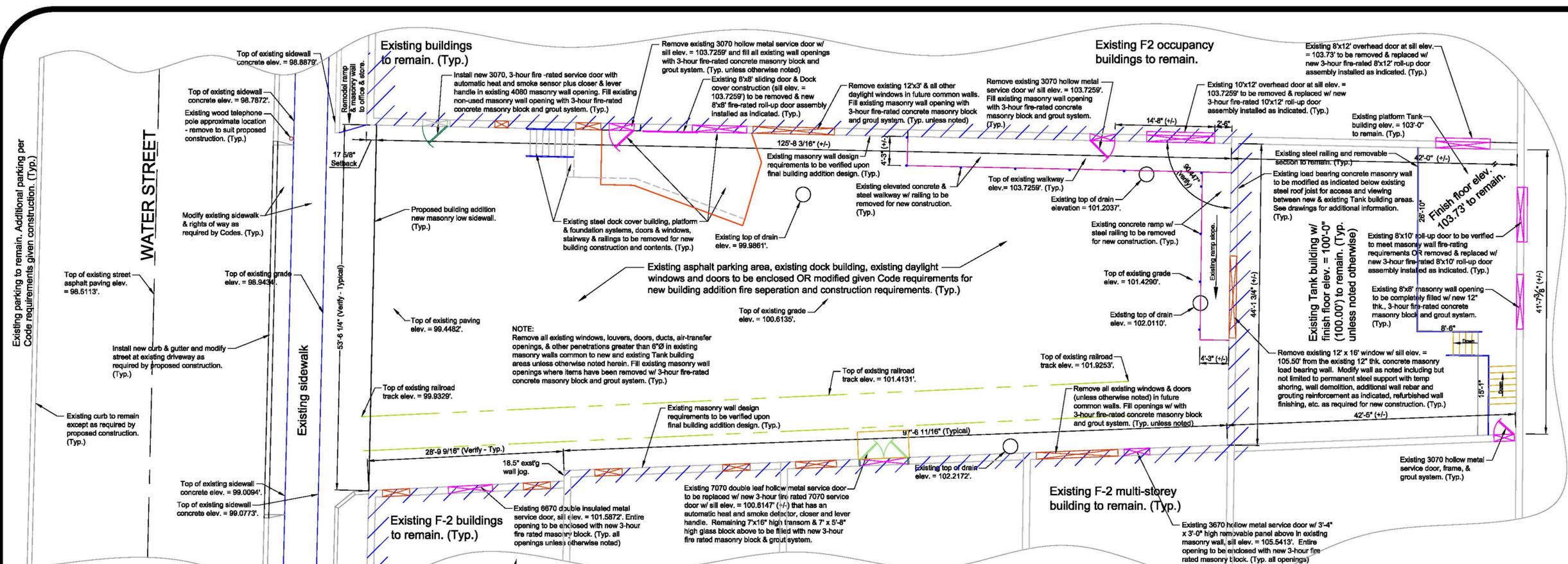
Approved: \_\_\_\_\_

Post to account: 6-5634-087

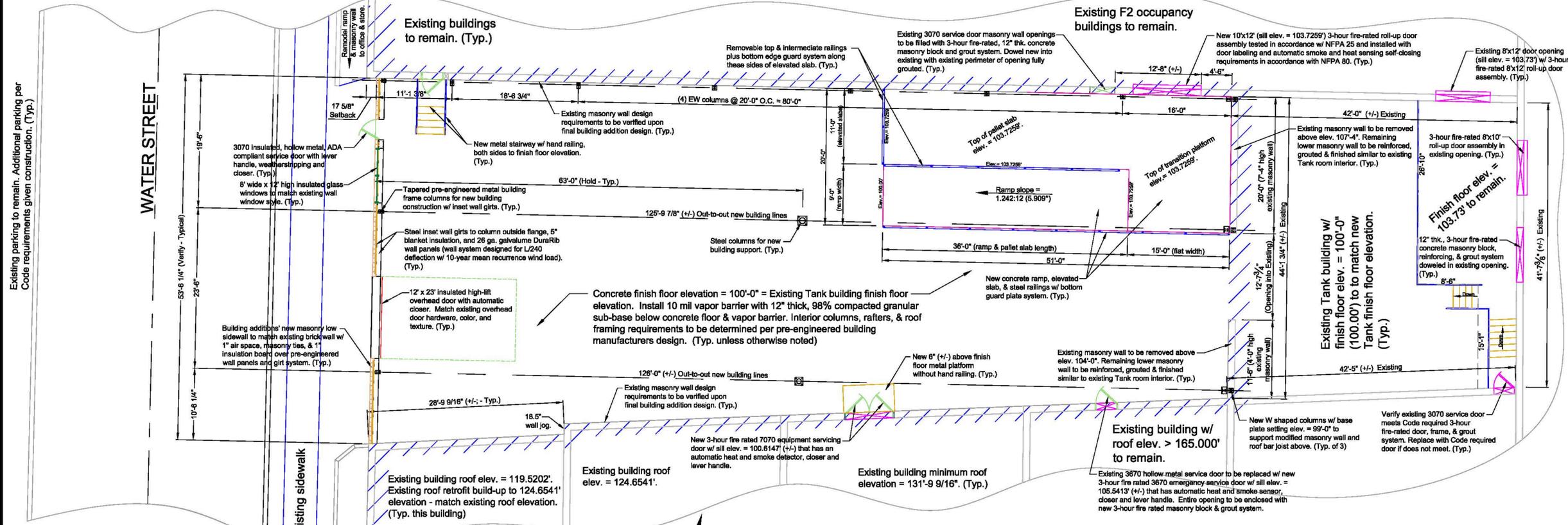
Vendor: 02528

Comments: PERMIT APPLICATION FOR  
CONDITIONAL USE.

I will HAND DELIVER CHECK ON  
12/21/12!  
ant



**EXISTING AREA W/ BUILDINGS LAYOUT PLAN**  
(SCALE: 1/8" = 12")



**TANK BUILDING FLOOR PLAN**  
(SCALE: 1/8" = 12")

**General Notes**

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Designer:  
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 Oshkosh, WI 54904  
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 Fx: 920-235-6459  
 Cell: 920-410-6820  
 Email: jk@idealdesignllc.com

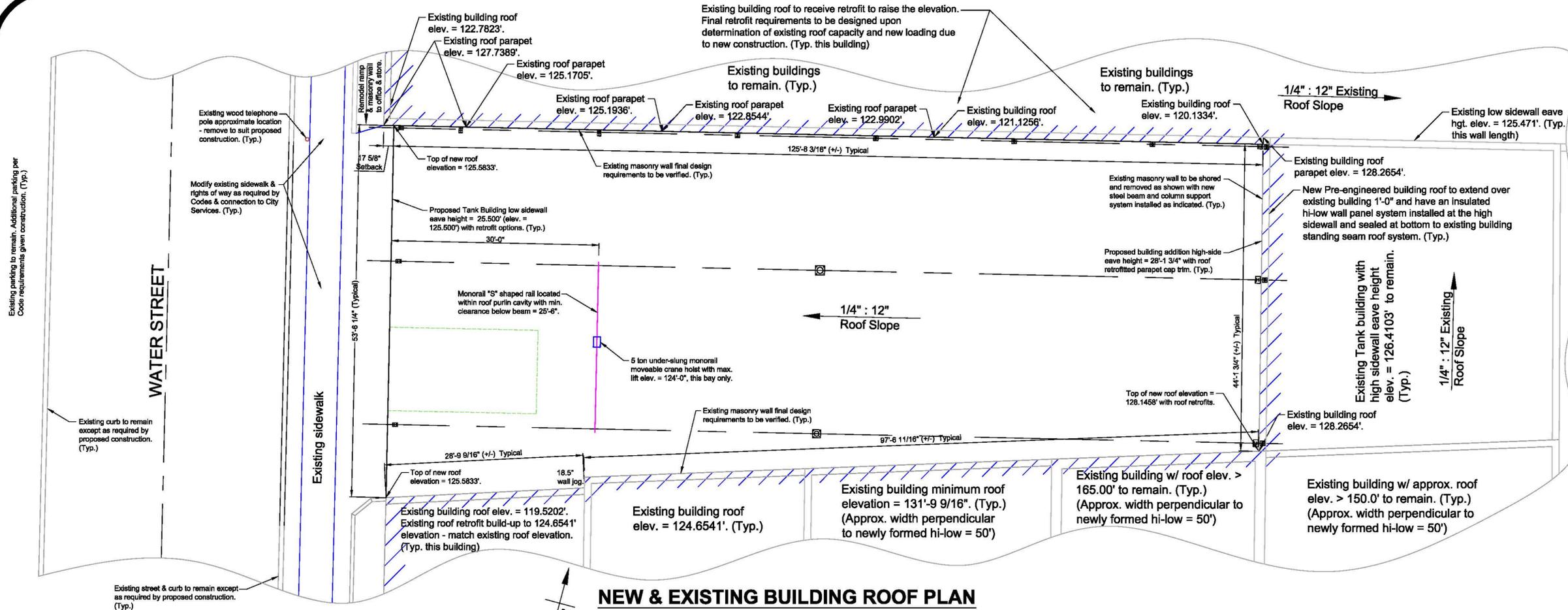
**Wanta & Son Inc.**  
 DESIGN / BUILD SERVICES  
 715-454-6681  
 www.wanta.com

No.	Revision/Issue	Date

Firm Name and Address  
**Wanta & Son Inc.**  
 6405 Hwy C  
 Hatley, WI 54440  
 Ph: 715-454-6681  
 wanta@wanta.com

Project Name and Address  
**Stevens Point Brewery**  
 Brewery Tank Building  
 Expansion  
 2617 Water Street  
 Steven Point, WI 54481  
 Ph: 715-344-9310

Project	12-035	Sheet	<b>A-1</b>
Date	12-31-12		
Scale	As Noted		



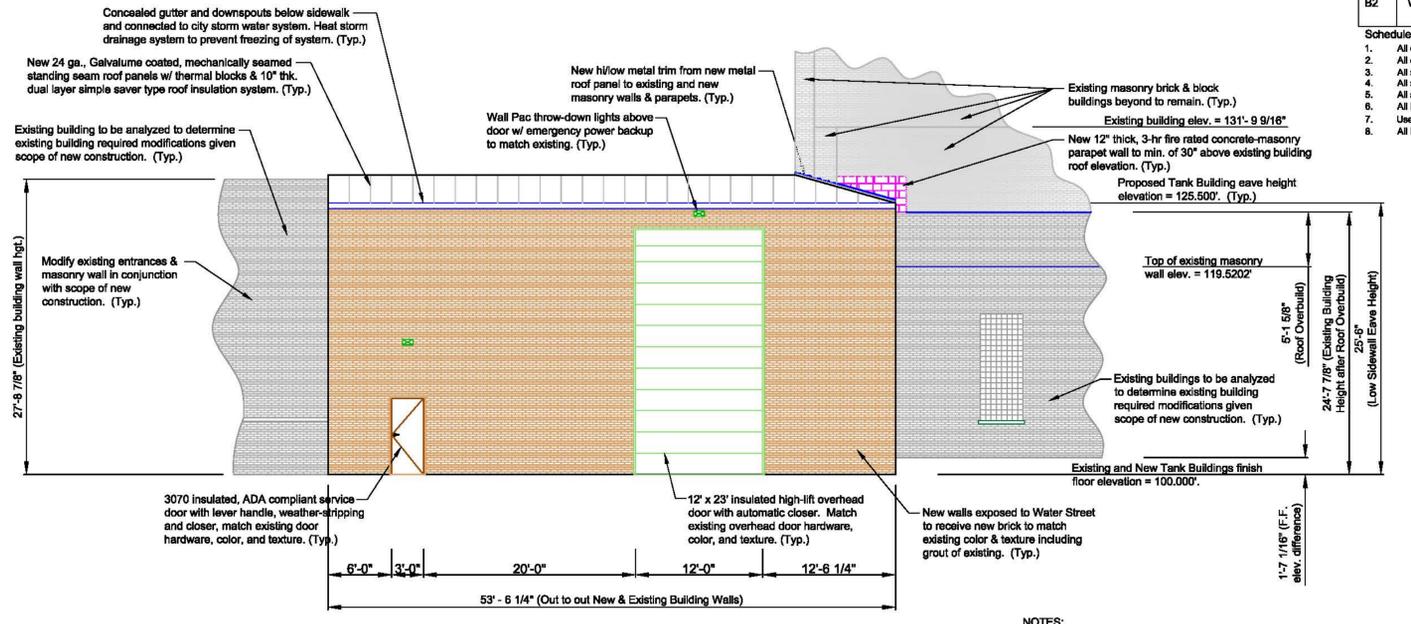
**NEW & EXISTING BUILDING ROOF PLAN**

(SCALE: 1/8" = 12")

**BEAM & COLUMN SCHEDULE:**

Mark No.	Member Size	Length (Approx.)	End Plates (Base & Cap Plates)	Stiffeners or End Connections
C1	W8x24	25'-0"	8"Wx21"Lx3/8" thk. w/ 1/4" E80 fillet weld, one side webs & flanges.	(4) 3/4"x16" long, A36 anchor bolts, nuts & washers w/ 3" bottom hook at base plates. (4) 3/4"x3" A325 bolt & nut at cap plate.
C2	W8x28	25'-4 1/2"	8"Wx21"Lx3/8" thk. w/ 1/4" E80 fillet weld, one side webs & flanges.	(4) 3/4"x16" long, A36 anchor bolts, nuts & washers w/ 3" bottom hook at base plates. (4) 3/4"x3" A325 bolt & nut at cap plate.
C3	W8x28	25'-9 3/4"	None	(2) 3"x3/8" thk. full hgt. web stiffeners (NS & FS), each end w/ 1/2" E80 fillet weld, one side on flanges and web.
B1	W12x35	18'-5"	None	(2) 3"x3/8" thk. full hgt. web stiffeners (NS & FS), each end w/ 1/2" E80 fillet weld, one side on flanges and web.
B2	W12x65	24'-6 3/4"	None	(2) 3"x3/8" thk. full hgt. web stiffeners (NS & FS), each end w/ 1/2" E80 fillet weld, one side on flanges and web.

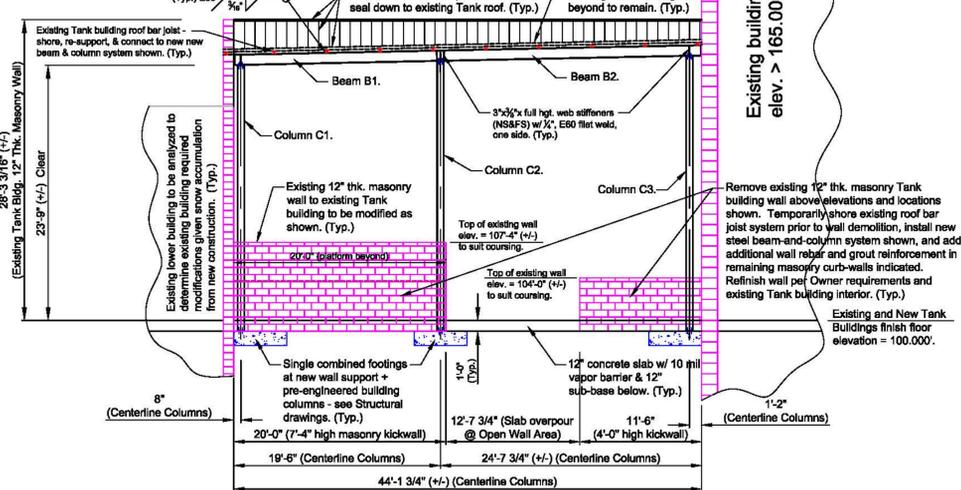
- Schedule Notes:**
- All column base plates to have (4) 3/4"x16" long, A36 anchor bolts, nuts, & washers w/ 3" bottom hook set in 4"x4" pattern about column centerlines. Project AB's above footing 2.5".
  - All column cap plates to have (4) 3/4"x3" A325 bolts & nuts in standard holes in 4"x4" pattern about column centerlines.
  - All stiffener welds to be continuous, 1/2" E80 fillet weld, one side of all stiffeners at both flanges & web.
  - All steel to be minimum A36 steel; all anchor bolts to be minimum A36 anchor rods in oversized holes; all connection bolts to be A325 bolts & nuts in standard holes.
  - All steel materials, fabrication, connections, and installation to be in accordance with (as min. requirements) the AISC Steel Construction Manual, 13th Ed.
  - All beams designed as simple span members.
  - Use 2.5"x2.5"x3/8" thk. A36 angles to tie C1 & C2 columns to pre-engineered building columns outside flanges @ top & mid-height. Use 1/2" E80 fillet weld, 8" min. length per tie end.
  - All beams to receive 3/8"x3/8" long (A36) dowels @ 18" O.C., centered on & welded to top beam flanges. Bottom 2 existing masonry wall coarsets (18" thick) to receive solid grouting.



**BUILDING ADDITION WEST (WATER STREET) ELEVATION**

(SCALE: 1/8" = 12")

- NOTES:**
- Existing construction along endwall to be removed prior to the start of new construction to suit. (Typ.)
  - All opening shown for reference only. Actual size, quantity, and locations to be verified by General Contractor prior to the start of new construction. Infill all openings in common walls to suit. (Typ. unless otherwise noted)



**BUILDING ADDITION EAST (HIGH SIDEWALL) ELEVATION**

(LOOKING EAST FROM INSIDE NEW ADDITION) (SCALE: 1/8" = 12")

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 Email: jk@idealdesignllc.com

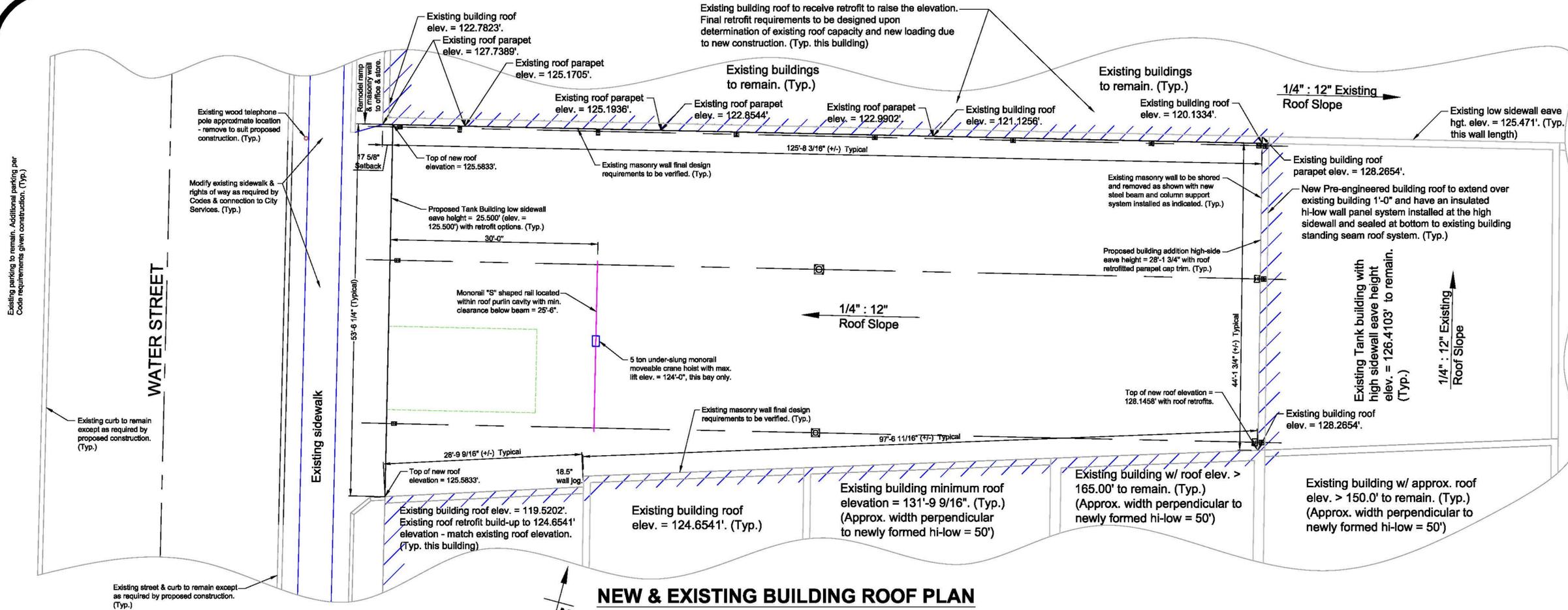
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**Project Name and Address**  
**Stevens Point Brewery**  
**Brewery Tank Building**  
**Expansion**  
 2617 Water Street  
 Steven Point, WI 54481  
 Ph: 715-344-9310

Project	12-035	Sheet	<b>A-2</b>
Date	12-31-12		
Scale	As Noted		



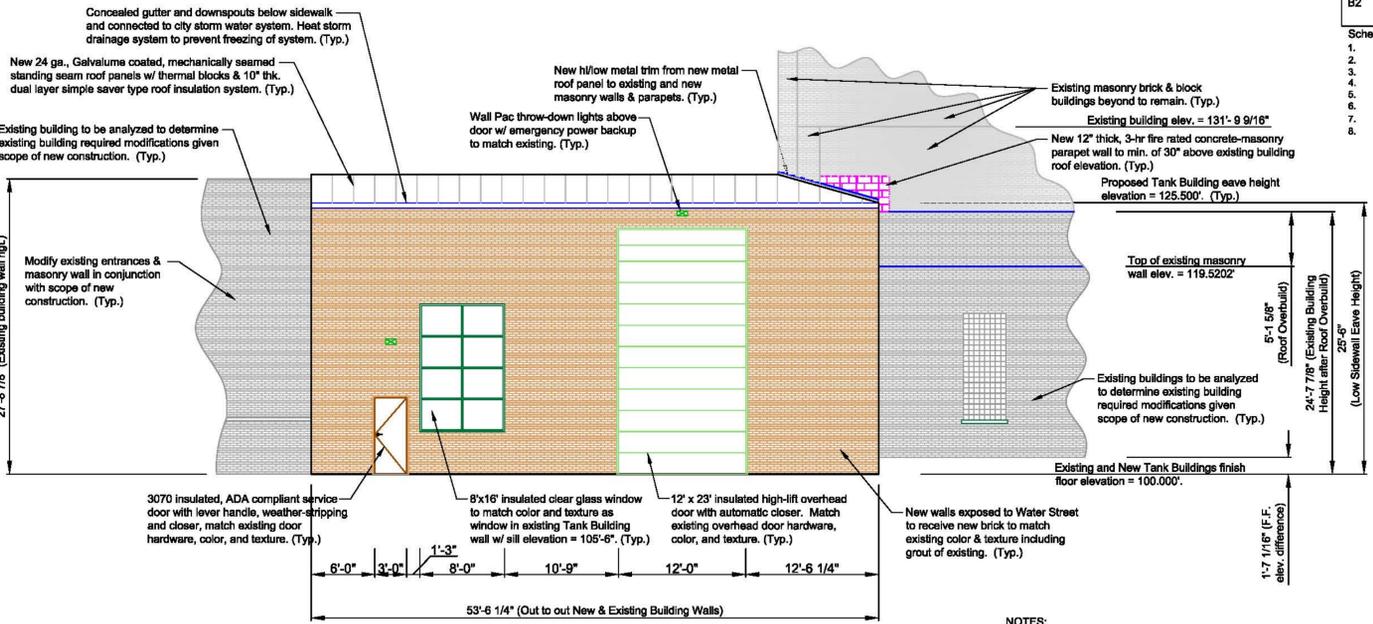
**NEW & EXISTING BUILDING ROOF PLAN**

(SCALE: 1/8" = 12")

**BEAM & COLUMN SCHEDULE:**

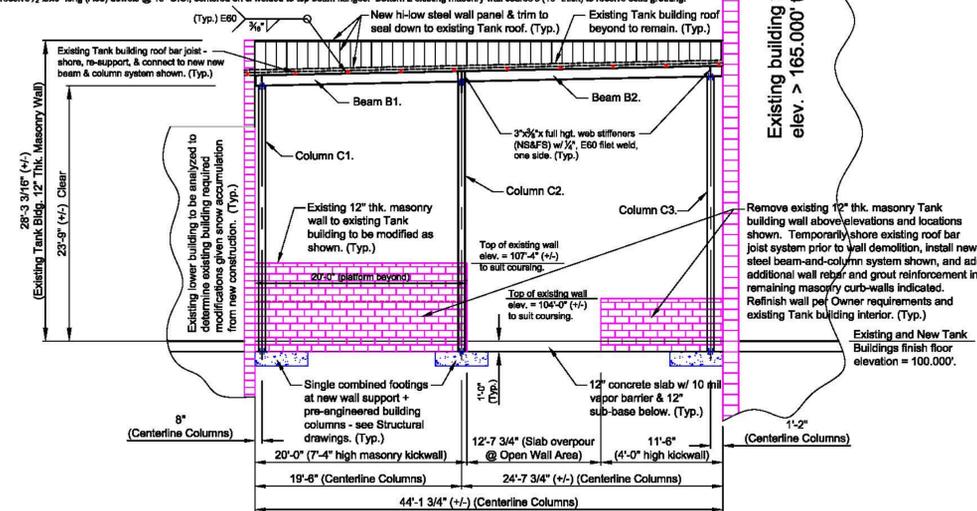
Mark No.	Member Size	Length (Approx.)	End Plates (Base & Cap Plates)	Stiffeners or End Connections
C1	W8x24	25'-0"	8"Wx9"Lx $\frac{3}{4}$ " thk. w/ $\frac{1}{2}$ " E60 fillet weld, one side webs & flanges.	(4) $\frac{3}{4}$ "x16" long, A36 anchor bolts, nuts & washers w/ 3" bottom hook at base plate. (4) $\frac{3}{4}$ "x $\frac{1}{2}$ " A325 bolt & nut at cap plate.
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C3	W8x28	25'-9 3/4"	8"Wx9"Lx $\frac{3}{4}$ " thk. w/ $\frac{1}{2}$ " E60 fillet weld, one side webs & flanges.	(4) $\frac{3}{4}$ "x16" long, A36 anchor bolts, nuts & washers w/ 3" bottom hook at base plate. (4) $\frac{3}{4}$ "x $\frac{1}{2}$ " A325 bolt & nut at cap plate.
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B2	W12x65	24'-6 3/4"	None	(2) 3"x $\frac{3}{4}$ " thk. full hgt. web stiffeners (NS & FS), each end w/ $\frac{1}{2}$ " E60 fillet weld, one side on flanges and web.

- Schedule Notes:**
- All column base plates to have (4)  $\frac{3}{4}$ "x16" long, A36 anchor bolts, nuts & washers w/ 3" bottom hook set in 4"x4" pattern about column centerlines. Project AB's above footing 2.5'.
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  - Use 2"x2.5"x $\frac{3}{4}$ " thk. A36 angles to tie C1 & C2 columns to pre-engineered building columns outside flanges @ top & mid-height. Use  $\frac{1}{2}$ " E60 fillet weld, 6" min. length per tie end.
  - All beams to receive  $\frac{1}{2}$ "x6" long (A36) dowels @ 18" O.C., centered on & welded to top beam flanges. Bottom 2 existing masonry wall courses' (16" thick) to receive solid grouting.



**BUILDING ADDITION WEST (WATER STREET) ELEVATION**

(SCALE: 1/8" = 12")



**BUILDING ADDITION EAST (HIGH SIDEWALL) ELEVATION (LOOKING EAST FROM INSIDE NEW ADDITION)**

(SCALE: 1/8" = 12")

- NOTES:**
- Existing construction along endwall to be removed prior to the start of new construction to suit. (Typ.)
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Project	12-035	Sheet	<b>A-2</b>
Date	12-31-12		
Scale	As Noted		

# Administrative Staff Report



## Culver's Site Plan & Parking Lot Review 332 Division Street January 7, 2013

Department of Community Development  
1515 Strongs Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"><li>• Russel Trzebiatowski</li></ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"><li>• Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li><li>• Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li></ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"><li>• 2408-29-1200-10</li></ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"><li>• "B-4" Commercial District</li></ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"><li>• Commercial/Office/Multi-Family</li></ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"><li>• District 11 – Moore</li></ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"><li>• Actual Frontage: 198 feet</li><li>• Effective Frontage: 198 feet</li><li>• Effective Depth: 238 feet</li><li>• Square Footage: 47,124</li><li>• Acreage: 1.082</li></ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"><li>• Vacant - Former Gas Station</li></ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"><li>• 23.01(14)</li></ul>	<p><b>Request</b></p> <p>Request from Culver's, for a site plan and parking lot review to deviate from the required five foot side yard setback and landscaping requirements at <b>332 Division Street (Parcel ID 2408-29-1200-10)</b>.</p> <p><b>Attachment(s)</b></p> <ul style="list-style-type: none"><li>• Parcel ID Sheet</li><li>• Application</li><li>• Site Plan</li></ul> <p><b>Staff Recommendation</b></p> <p>Approve, subject to the following conditions:</p> <ul style="list-style-type: none"><li>• A stormwater drainage plan shall be submitted and reviewed by the Public Works department, meeting all stormwater requirements.</li><li>• A landscaping plan shall be submitted, reviewed and approved by the Community Development department.</li><li>• A lighting plan shall be submitted, reviewed and approved by the Community Development department.</li><li>• A permit shall be obtained from the Community Development department for the parking lot construction.</li><li>• The landscaping shall not cause any vision obstructions. Clearview requirements shall be maintained.</li><li>• Curb or wheel stops will need to be installed where the parking lot abuts landscaping strips.</li><li>• Curb and landscaping, meeting the screening requirements, shall be installed to the areas identified as painted asphalt in the northeast portion of the site plan and shown below:</li></ul>
--	---





## Background

David O'Brian agent for the applicant is requesting to construct a Culver's at 332 Division Street with a 0 foot parking lot setback on the north end of the parking lot. Furthermore, he has submitted a site plan outlining the building, parking, setbacks, and layout of the property. Our Zoning Ordinance requires the following pertaining to site plans and parking lots:

### *Common Requirements*

*Any parking lot containing ten (10) or more contiguous spaces shall be hard-surfaced with bituminous or Portland cement concrete. On the site of a building or open lot use providing an off-street parking area of five (5) or more contiguous spaces, there shall be provided landscaping between such area and the street right-of-way and/or property line as follows:*

- a) *Parking Lot Setback. In all zoning districts, parking lots shall be setback from the property line as required by the attached charts. Said strip shall be planted with trees and groundcover as described below:*

### SIDE AND REAR YARD PARKING LOT SETBACK

USE	ACROSS FROM ZONING DISTRICT											
Cons	R1	R2	R3	R4	R5	B1	B2	B3	B4	B5	M1	M2
& R L D	SF	SF	2F	MF	OFF	COMMERCIAL			CBD	Comm	HY10	IND

Cons & R-1 & R-2	10	10	10	10	10	10	10	10	10	10	10	10	10
R-3	10	10	10	10	10	10	10	10	10	10	10	10	10
R-4	10	10	10	10	10	10	10	10	10	10	10	10	10
R-5	10	10	10	10	10	10	10	10	10	10	10	10	10
B-1	5	5	5	5	5	5	5	5	5	5	5	5	5
B-2	3	3	3	3	3	3	3	3	3	3	3	3	3
B-3	3	3	3	3	3	3	3	3	3	3	3	3	3
U1&B4	5	5	5	5	5	5	5	5	5	5	5	5	5
B-5	10	10	10	10	10	10	10	10	10	10	10	10	10
M-1	5	5	5	5	5	5	5	5	5	5	5	5	5
M-2	5	5	5	5	5	5	5	5	5	5	5	5	5

A five foot side yard setback is required for parking lots within the "B-4" Business District. The applicant is requesting to be allowed to deviate from the five foot, side yard, setback requirement. In order to provide adequate parking on the site, and meet setback requirements on all sides, mature trees would need to be removed as well as, the construction of a retaining wall. Difference in grade from the southern property to the property in question is approximately five feet over a span of about 15 feet which equals a 1/3 slope. Currently that grade change is achieved via curbed barrier, filled with rock.

A total of 64 parking stalls are proposed to exist on the entire site. City Ordinance requires 1 space per 100 square feet of gross floor area. When taking into account the proposed 4,207 square foot building, 42 parking stalls would be required.

The Plan Commission may grant variations to the parking lot and landscape requirements.

Additionally, this request also pertains to the landscaping requirements. The applicant is also requesting a modification to those requirements, as a zero foot side yard setback for parking prevents landscaping. Our Zoning Ordinance requires the following pertaining to landscape buffers:

- d) *Variations in the required 3 foot landscape buffer area may be approved by the City Plan Commission (without Common Council approval) if it can be shown that the three (3) foot buffer area cannot be provided in entirety without seriously affecting the site development potential and/or layout of the site in question. Variations denied by Plan Commission may be appealed to the Common Council. In all cases, if a variation to the three (3) foot dimensional criteria is granted, the planting/screening requirements of this ordinance shall be complied with.*

Below are standards of review pertaining to this request.

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## Standards of Review

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- 1) Any parking lot containing ten (10) or more contiguous spaces shall be hard-surfaced with bituminous or Portland cement concrete.

**Analysis:** The parking lot will be constructed of asphalt.

**Findings:** This standard is met.

- 2) On the site of a building or open lot use providing an off-street parking area of five (5) or more contiguous spaces, there shall be provided landscaping between such area and the street right-of-way and/or property line.

**Analysis:** The property is zoned B-4 Commercial District and would require a five foot setback around the entire parking lot.

**Findings:** The proposed setback for the parking lot on the north property line is zero feet. Setbacks are met on all other property sides. The applicant is proposing the zero foot setback in order to create an additional 18 stalls. A large gradient change at a 1/3 slope exists on the southern property line. Meeting all setback requirements would involve significant landscaping and grading, as well as, the removal of mature trees and construction of a retaining wall (see photos below). As noted above, our Zoning Ordinance allows the Plan Commission to allow modifications to the setback and landscape requirements. One of the key factors in determining to make modifications is if it can be shown that meeting the setback requirement would seriously affect the site development potential and/or layout of the site in question.



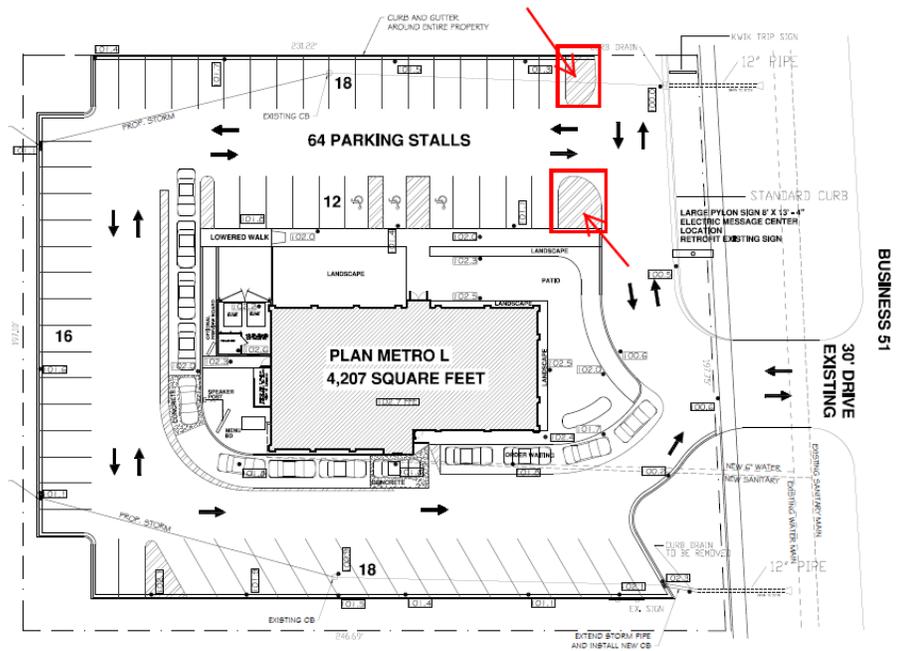
**Southern Property Line**



**Southern Property Line - Landscaping**

Shifting the entire site plan is extremely difficult due to the elevation change on the southern property line. Therefore, another option is to redesign the site plan. The applicant and agent have stated that reduced parking stalls would severely effect business operations. Although the reduction of 18 stalls still meets the parking requirement, it does not coincide with the business plan. In addition, shifting landscaping or patio design would provide very limited outdoor seating and aesthetics. Lastly, traffic patterns on the site have been designed so as to provide easy access in/out and around the site. Shrinking distances and routes will reduce the accessibility of the site and hinder traffic flow. Furthermore, Culver's franchise standards require 6 queuing cars from the speaker post back. The applicant has stated that this site has been approved for one less queuing car than the requirement and cannot deviate further from that requirement.

Staff would recommend that instead of redesigning and shifting the site plan, which would involve major landscaping and grading as well as negatively impact the traffic flow, that the zero foot parking lot setback on the north and related landscaping deviation be allowed. Staff would recommend that approval be contingent upon the submission of a landscaping and drainage plan by the applicant, to be reviewed by staff in Community Development and Public Works. Furthermore, landscaped areas where setbacks are met shall be appropriately screened using the landscape standards in the zoning ordinance (23.01(14(f))).



In addition, staff would recommend the areas identified above to be curbed and landscaped with vegetation not higher than 3 feet. This will create necessary greenspace on the northern side of the site that will increase the overall aesthetics of the property, as well as, assist in directing traffic through the site and to the neighboring property.

- 3) **Parking areas being screened from a public right-of-way, residentially property or parking areas within a residentially developed area: 1 tree per 50 lineal feet - for parking areas being screened from commercial or industrial zoned district: 1 tree per 75 lineal feet. Any off-street parking spaces or parking lot abutting the public street right-of-way or property zoned R-1, R-2, R-3, and R-4 or used for residential purposes shall provide continuous screening.**

**Analysis:** Landscaping already exists in the right-of-way area along Division Street. A landscape plan has not yet been submitted by the applicant.

**Findings:** Staff would recommend that approval be contingent upon the submission of a landscaping and drainage plan by the applicant, to be reviewed by staff in Community Development and Public Works. Staff would recommend the installation of additional trees on the east side of the property.

- 4) **Protection of Landscape Strips and Plantings from Vehicular Encroachment. One of the following methods must be provided to eliminate vehicular encroachment in an area where parking spaces abut a landscaped area of the site: Wheel stops of masonry, steel, or heavy timber construction shall be provided at a distance of two (2) feet from the edge of the planting area. The parking space shall not extend into the required parking area setback unless approved. Curb. If curb is used, a minimum five (5) foot landscape strip shall be required. It is intended that two (2) feet of said strip may be utilized for vehicle overhang and may be credited to stall depth.**

**Analysis:** Curb will be installed around the entire parking lot.

**Findings:** This standard is met.

For the reasons outlined above regarding this request, staff would recommend approving the applicant's request to deviate from the parking lot setback and landscaping standards.

Name and Address		Parcel #	Alt Parcel #	Land Use
Convenience Store Investments P O Box 2107 La Crosse, WI 54602		240829120010	240829120010	Store, Mini Mart w/ Gas
		Property Address		Neighborhood
		332 Division St N		Division Str North (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type

**SITE DATA**

**PERMITS**

Actual Frontage	198.0	Date	Number	Amount	Purpose	Note
Effective Frontage	198.0	12/13/2012	12-0782	\$0	070 Raze/Demolition	canopy extend 3 circuits  Attached storage free
Effective Depth	238.0	10/14/2011	11-749	\$1,500	020 Electrical	
Square Footage	47,124.0	11/4/2009	36680	\$10,000	090 Roof/Strip & re-ro	
Acreage	1.082	2/23/2007	34555	\$35,000	099 Sign	
		1/18/2006	33740	\$2,000	020 Electrical	
		4/24/2000	29095	\$12,000		

**2012 ASSESSED VALUE**

Class	Land	Improvements	Total
(2) - B-Commercial	\$297,500	\$454,900	\$752,400
<b>Total</b>	<b>\$297,500</b>	<b>\$454,900</b>	<b>\$752,400</b>

**LEGAL DESCRIPTION**

LOT 1 CSM 5647-20-218 BNG PRT NW NE; SUBJ MAINT AGRMT-769227 S29 T24 R8 1.084 AC 628/510-18

**PROPERTY IMAGE**

**PROPERTY SKETCH**



Name and Address		Parcel #	Alt Parcel #	Land Use
Convenience Store Investments P O Box 2107 La Crosse, WI 54602		240829120010	240829120010	Store, Mini Mart w/ Gas
		Property Address		Neighborhood
		332 Division St N		Division Str North (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

**BUILDING SUPERSTRUCTURE DATA**

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Gas Station Mini Mart (D avg)	1994	3,024	Wood Frame - Avg	10
1	2	Gas Station Mini Mart (D avg)	1997	648	Wood Frame - Avg	10

<b>Total Area</b>		3,672
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**BASEMENT DATA**

**COMPONENTS**

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area
				1	1	Canopy(s) - Auto	3,572

**DETACHED IMPROVEMENTS**

Structure	Year Built	Square Feet	Grade	Condition

**SITE IMPROVEMENTS**

**STRUCTURE DATA**

Site Improvement	Units	Age	18
		Year Built	1994
		Eff. Year	1994
		One Bedroom	
		Two Bedroom	
		Three Bedroom	
		Total Units	
		Stories	1.00
		Business Name	Kwik Trip

#150583  
12-10-12  
\$150.00

**REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION**

ADDRESS OF PROPERTY: 332 Division Street

- Zoning Ordinance Change
- Conditional Use Permit
- Variance from Zoning Ordinance -Board of Appeals
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

requesting the 5'-0" Asphalt setback on N prop line be released to allow a 0'-0" setback as this is how it is as of now. ~~It is~~ reason why moving is detrimental is that the S prop. line would then have all the trees removed ->

OWNER/APPLICANT: \_\_\_\_\_ AGENT FOR OWNER/APPLICANT: \_\_\_\_\_

Name: Russell Trzebiatowski  
 Address: 5346 Hwy 10 E  
Stevens Point, WI 54482  
 (City, State, Zip Code)

Name: David O'Brien (Bayland Buildings)  
 Address: P.O. Box 13571  
Green Bay, WI 54307  
 (City, State, Zip Code)

Telephone: \_\_\_\_\_  
 Cell Phone: 715-570-8025

Telephone: 920-498-9300  
 Cell Phone: 920-371-6200

Russell Trzebiatowski  
 Signature

[Signature]  
 Signature

Scheduled Date of Plan Commission Meeting: \_\_\_\_\_

Scheduled Date of Common Council Meeting: \_\_\_\_\_

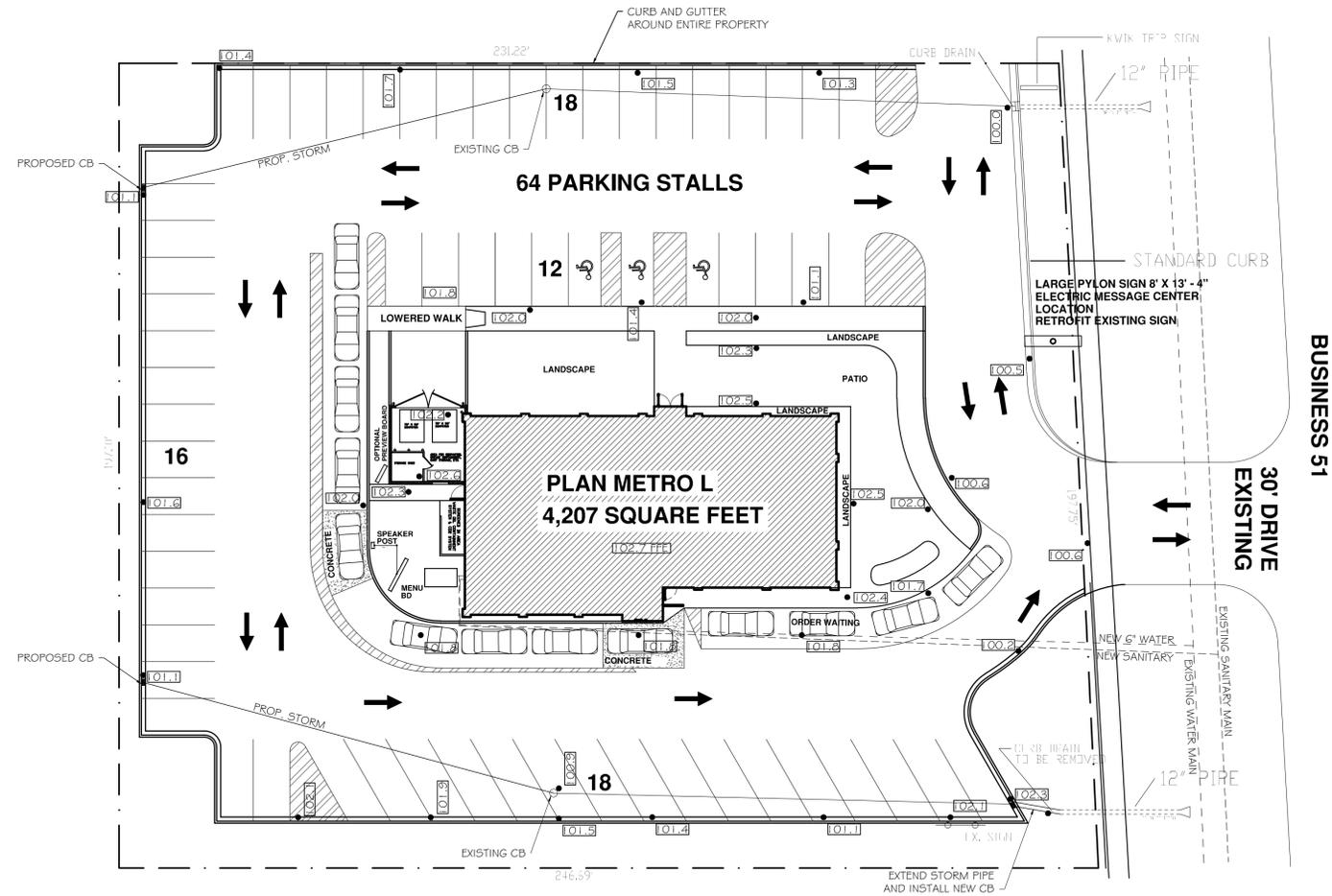
You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office **three weeks** prior to the actual meeting.

Fee schedule is on second page.

Receipt # \_\_\_\_\_

and a 200%+ retaining wall would have to be built which would incur a large cost for the project.



**PROPOSED CULVER'S RESTAURANT  
STEVENS POINT, WI. PLAN METRO L SHOWN  
LOT AREA APPROX. 46,477 SQ. FT.**

**PROPOSED SITE PLAN**

- 01.9 EXISTING SPOT ELEVATIONS
- 02.1 PROPOSED SPOT ELEVATIONS



**CONCEPTUAL SITE PLAN**

DISCLAIMER: THE SITE INFORMATION PROVIDED IS BASED ON SOURCES BELIEVED TO BE RELIABLE AND IS SUBJECT TO CHANGE WITHOUT NOTICE. BAYLAND BUILDINGS INC. MAKES NO GAURANTEE, WARRANTY, OR REPRESENTATION AS TO THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION.

**APPROVED**

OWNER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
SALES REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_  
(APPROVAL NOT VALID UNLESS SIGNED)

PROPOSED NEW BUILDING FOR:  
**12-7217**  
WISCONSIN; COUNTY OF:

**SCALE VERIFICATION**  
THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT: THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

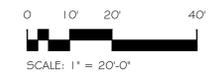
JOB NUMBER: \_\_\_\_\_  
SALES REP: **TOM AMBROSIUS**  
(920) 371-2544  
DRAWN BY: **DPO**  
DATE: **11-15-12**

REVISIONS:  
△ - -

ISSUED FOR:  
 PRELIMINARY  
 BID SET  
 CONSTRUCTION

SHEET

**C1.2**



# Administrative Staff Report

**Troy Hojnacki**  
**Multi-Family Conditional Use and Off-Site**  
**Parking Request**  
**1225 Second Street**  
**January 7, 2013**



Department of Community Development  
1515 Strong's Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"><li>Troy Hojnacki</li></ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"><li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li><li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li></ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"><li>2408-32-2015-10</li></ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"><li>"B-3" Central Business District</li></ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"><li>Downtown District</li></ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"><li>District 4 – Wiza</li></ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"><li>Actual Frontage: 25 feet</li><li>Effective Frontage: 25 feet</li><li>Effective Depth: 50 feet</li><li>Square Footage: 1,250</li><li>Acreage: 0.029</li></ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"><li>Vacant First Floor, Apartment on Second Floor</li></ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"><li>23.01(14), 23.01(16), and 23.02(2)(c)</li></ul>	<p><b>Request</b></p> <p>Request from Troy Hojnacki, representing Bars None Inc., for a conditional use permit for the purpose of increasing the number of occupants living in second floor apartment units at <b>1225 Second Street (Parcel ID 2408-32-2015-10)</b>, along with off-site parking.</p> <p><b>Attachment(s)</b></p> <ul style="list-style-type: none"><li>Property Data</li><li>Exhibit Map</li><li>Application</li><li>Apartment Layout</li><li>Parking Layout</li></ul> <p><b>Findings of Fact</b></p> <ul style="list-style-type: none"><li>The property is zoned "B-3" Central Business District.</li><li>The request is to increase the occupancy for second floor apartments with off-site parking.</li><li>Multiple family uses require a conditional use permit.</li><li>Parking is requested to be located off-site at a City-owned lot.</li></ul> <p><b>Staff Recommendation</b></p> <p>Approve subject to Plan Commission and staff comments, including the following condition(s):</p> <ul style="list-style-type: none"><li>Applicant must secure the appropriate number of parking spaces through a city permit.</li><li>Shall parking ever become unavailable, the conditional use must cease within 60 days, or another parking location must be approved.</li><li>Applicant must secure a multi-family license prior to occupying the unit.</li><li>Accurate floor plan of the second story shall be submitted by an architect or engineer to be reviewed by City staff prior to issuance of occupancy license and building permits.</li><li>All building codes shall be met prior to issuance of occupancy license.</li><li>The interior work for the apartment shall be completed within one (1) year after final approval, and may be granted a six month extension with approval by staff.</li><li>Exterior improvements must be reviewed and approved by the</li></ul>
--	---

Historic Preservation / Design Review Commission (windows, trim, etc).

- Dumpsters and/or refuse containers shall be screened from view.

## Vicinity Map



## Background



Mr. Hojnacki is requesting a conditional use permit for the purposes of increasing the occupancy of second floor apartments at the property above. Currently a single occupant in a single unit is living on site. The applicant is proposing to renovate and fully utilize the 1-unit apartment with three rooms that would allow for three occupants.

Part of the renovation would eventually include remodeling the façade to abandon the ground floor street entrance to the apartment and combine it with that of the neighboring building. The street entrance and stairwell already in existence between both buildings would be used by both buildings.

Lastly, with the increased occupancy also comes increase parking requirements. Therefore, the applicant is requesting to lease three off-site parking stalls from the City to accommodate the tenants. The increase

occupancy will require parking spaces at a rate of 1.5 spaces per 1-bedroom unit; 2 spaces per 2-bedroom units; multiple dwellings shall have 1 space for each person 18 years of age or older. Three parking stalls within the Crosby lot, identified on the map below, are requested.



## Standards of Review

- 1) **The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

**Analysis:** The building currently exists, as does the apartment unit. The large 1-unit apartment will be renovated to accommodate three occupants in three bedrooms.

**Findings:** The increased occupancy should not be detrimental to, or endanger, the public health, safety, or general welfare as it is already in use as an apartment and is within the dense downtown.

- 2) **The use will not be injurious to the use and for the purpose already permitted;**

**Analysis:** The apartment unit will be located on the second floor, which is common throughout the downtown. They will be above retail space.

**Findings:** The unit should be complementary to the proposed uses at the site, and within the immediate vicinity.

- 3) The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

**Analysis:** The respective area is an established area of the City.

**Findings:** The proposed use should not impede the orderly development and improvement of the surrounding properties.

- 4) The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

**Analysis:** Project plans do include exterior renovation of the facade. The ground floor street entrance is proposed to be removed. The entrance south of the building and utilized by the neighboring building (912 Main Street) is proposed to be used as the apartment entrance. Any façade work must be approved by the Historic Preservation / Design Review Commission.

**Findings:** The architectural appeal should not be in variance with other structures throughout the neighborhood, as the removal of the entrance in question will make the building more historically relevant. Any exterior improvements will require review by the Historic Preservation / Design Review Commission.

- 5) Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

**Analysis:** The respective area is an established area of the City.

**Findings:** Utilities currently exist in this area.

- 6) Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

**Analysis:** Parking will occur in a city parking lot located north of Crosby Avenue. The distance from the apartment would be about 0.1 walking miles, or about a 3 minute walk. Please see map below above.

**Findings:** Staff feels that this parking location would suffice the parking requirement. While the parking area may be a little distance away from the apartment type use, staff does not feel that it should prohibit the location of the second floor apartments. Our Comprehensive Plan calls for increased density in the downtown core, as well as the mixing of uses; this request accomplishes those goals. Staff feels that this standard is met.

- 7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

**Analysis:** The proposed use is within the Central Business District. The intent of this district is to provide a single contiguous district encompassing the central business district or downtown area which will encourage primarily retail uses and a variety of supporting uses. This district is intended to help implement the community's specialized development goals and planning principles, for the CBD, particularly the development and maintenance of the downtown area as a specialized pedestrian-oriented shopping and community center.

**Findings:** The proposed use is a supporting use within this district.

**8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

**Analysis:** The lot and building exist. Any exterior improvements shall meet the zoning requirements for the district.

**Findings:** This standard is met.

**9) The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

**Analysis:** The proposal is to increase the occupancy of an apartment unit. The total number of bedrooms would then be three for the entire building.

**Findings:** The proposal should not result in an over-concentration of high density living facilities.

**10) Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

**11) Access to the site shall be safe.**

**Analysis:** The establishment does not have any off street parking.

**Findings:** Parking for the apartments will be located off-site.

**12) There shall be adequate utilities to serve the site.**

- a. **The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

**Analysis:** The property currently exists, and adequate utilities exist at the site.

**Findings:** This standard is met.

**13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:**

- a. **Mechanical equipment including refuse storage shall be screened from neighboring properties.**

**Analysis:** Refuse storage is stored behind the building.

**Findings:** All containers shall be screened from view.

- b. **Lighting shall be located to minimize intrusion onto the neighboring properties.**

**Analysis:** No change in lighting is planned.

**Findings:** This standard is met.

- c. **Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

**Analysis:** The use will be a multi-family type use.

**Findings:** The use should not cause significant noise levels.

- 14) **Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.**

N/A

Name and Address		Parcel #	Alt Parcel #	Land Use
Bars None Inc PO Box 586 Stevens Point, WI 54481		240832201510	240832201510	Store, Retail / Apt(s)
		Property Address		Neighborhood
		1225 Second St		Cntrl Bus & 2nd St area(Comm)
Subdivision		Zoning		
Display Note		S E & Other Plat		B3-CENTRAL BUSINESS

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
Bars None Inc James R & Susan K Walczak	10/2/2012	\$100,000	Warranty Deed	776490		Land & Build.
	1/6/2003	\$65,000	Warranty Deed	623492		Land & Build.

**SITE DATA**

**PERMITS**

Actual Frontage	25.0	Date	Number	Amount	Purpose	Note
Effective Frontage	25.0	10/10/1995	25421	\$400	066 Plumbing	hwh
Effective Depth	50.0					
Square Footage	1,250.0					
Acreage	0.029					

**2012 ASSESSED VALUE**

Class	Land	Improvements	Total
(2) - B-Commercial	\$9,500	\$53,200	\$62,700
<b>Total</b>	<b>\$9,500</b>	<b>\$53,200</b>	<b>\$62,700</b>

**LEGAL DESCRIPTION**

PRT LOT 7 BLK 4 S E & O ADD DES: COM 82' N OF SW COR LOT 7; TH E 25'; TH N 6 INCHES; TH E 25'; TH N 24 1/2'; TH W50'; TH S 25' TO POB S32 T24 R8 776490

**PROPERTY IMAGE**

**PROPERTY SKETCH**



Name and Address		Parcel #	Alt Parcel #	Land Use
Bars None Inc PO Box 586 Stevens Point, WI 54481		240832201510	240832201510	Store, Retail / Apt(s)
		Property Address		Neighborhood
		1225 Second St		Cntrl Bus & 2nd St area(Comm)
Subdivision		Zoning		
Display Note	S E & Other Plat		B3-CENTRAL BUSINESS	

**BUILDING SUPERSTRUCTURE DATA**

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Store, Retail (C avg)	1889	1,250	Masonry - Avg	13
1	2	Apts (C avg)	1889	1,250	Masonry - Avg	13

Total Area

2,500

**BASEMENT DATA****COMPONENTS**

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area
1	1	Store, Retail - Unfin Bsmnt	550				
1	1	Store, Retail - Finished Bsmnt	700				

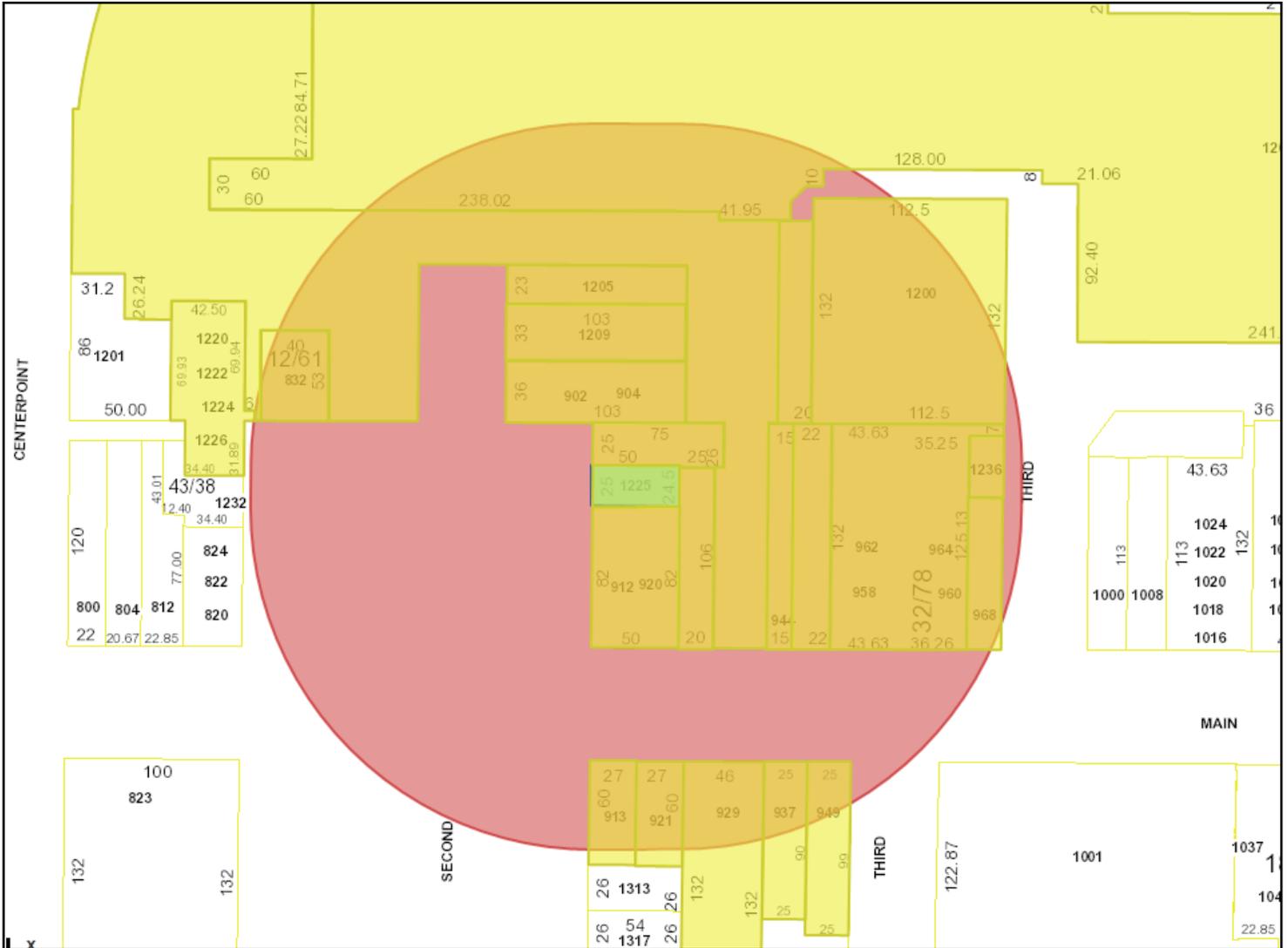
**DETACHED IMPROVEMENTS**

Structure	Year Built	Square Feet	Grade	Condition

**SITE IMPROVEMENTS****STRUCTURE DATA**

Site Improvement	Units	Age	55
		Year Built	1889
		Eff. Year	1957
		One Bedroom	1
		Two Bedroom	
		Three Bedroom	
		Total Units	1
		Stories	2.00
		Business Name	Beauty Shop/apt above

**1225 Second Street – Conditional Use – Occupancy Increase and Offsite Parking– Exhibit Map (200 Feet Boundary)**



Tax Key	Owner Name	Mailing Address	City & State	Zip	Property Address
281240832202951	Community Development Authority of the City of Stevens Point	1300 Briggs Ct	Stevens Point WI	54481	1201 THIRD CT
281240832201522	Gannet Midwest Publishing Inc.	7950 Jones Branch Drive	McLean VA	22107	1200 THIRD CT
281240832201524	Gannet Midwest Publishing Inc.	7950 Jones Branch Drive	McLean VA	22107	1200 THIRD CT
281240832201506	James E & Patricia Laabs	1026 Second St N	Stevens Point WI	54481	1205 SECOND ST
281240832201609	Schertz Fahrner LLC	1265 Main St Ste 104	Stevens Point WI	54481	1220 SECOND ST
281240832201507	James E & Patricia Laabs	1026 Second St N	Stevens Point WI	54481	1209 SECOND ST
281240832201618	Jay Schrank & Brian Page Specialized Development	PO Box 541	Stevens Point WI	54481	832 MAIN ST
281240832201508	Peter J & Linda Lender	2001 Green Tree Rd	Junction City WI	54443	900 MAIN ST
281240832201509	Michael J & Carol Brill	501 Walker Street	Stevens Point WI	54481	1221 SECOND ST
281240832201515	Robert L & Carrie L Butt	1434 PLOVER HEIGHTS RD	Stevens Point WI	54481	944 MAIN ST

281240832201516	Robert L & Carrie L Butt	1434 PLOVER HEIGHTS RD	Stevens Point WI	54481	944	MAIN ST
281240832201528	Schertz Properties LLC	1265 Main St Ste 104	Stevens Point WI	54481	956	MAIN ST
281240832201527	Sciarrone FG & Milano Rosemary Trust	2517 PRAIS ST	Stevens Point WI	54481	1236	THIRD CT
281240832201510	James R & Susan K Walczak	7060 Sixth Street	Stevens Point WI	54481	1225	SECOND ST
281240832201523	Gannet Midwest Publishing Inc.	7950 Jones Branch Drive	McLean VA	22107	1200	THIRD CT
281240832201526	Sciarrone FG & Milano Rosemary Trust	2517 Prais St	Stevens Point WI	54481	968	MAIN ST
281240832201529	Troy Hojnacki & Daniel Retzki	P O Box 586	Stevens Point WI	54481	912	MAIN ST
281240832201805	Kessenich LLC	425 Whitetail Way	Deerfield WI	53531	913	MAIN ST
281240832201804	Susan M Simkowski	8420 Phoenix Ave #232	Fort Smith AR	72903	921	MAIN ST
281240832201803	Kurszewski Enterprises LLC	2410 Chestnut St	Wisconsin Rapids WI	54494	927	MAIN ST
281240832201802	M&C of Stevens Point LLC	1601 College Ave	Stevens Point WI	54481	937	MAIN ST
281240832201801	M&C of Stevens Point LLC	1601 College Ave	Stevens Point WI	54481	949	MAIN ST
281240832202962	Community Development Authority of the City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0	CENTERPOI NT DR

R#1-50693  
\$250  
12-14-12

**REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION**

ADDRESS OF PROPERTY: 1225 Second St Stevens Point, WI 54481

- Zoning Ordinance Change
- Conditional Use Permit
- Variance from Zoning Ordinance -Board of Appeals
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).  
To make the single family dwelling Apartment into a multiple Family Dwelling apartment to have 3 unrelated tenants at one address to include off site parking downtown

OWNER/APPLICANT:  
Name: Bars None Inc  
Address: 912 Main St. Stevens Point WI 54481  
(City, State, Zip Code)

AGENT FOR OWNER/APPLICANT:  
Name: Troy Hojnacki  
Address: 912 Main St. Stevens Point WI 54481  
(City, State, Zip Code)

Telephone: 715 344-4450  
Cell Phone: 715 340-8013

Telephone: 715-344-4450  
Cell Phone: 715 340-8013

Signature Troy Hojnacki

Signature Troy Hojnacki

Scheduled Date of Plan Commission Meeting: ?

Scheduled Date of Common Council Meeting: ?

You, as the applicant, or your agent, shall attend the meeting and present your request.  
All requests with supporting documentation are due at the Community Development Office **three weeks** prior to the actual meeting.

Fee schedule is on second page.

Receipt # \_\_\_\_\_



# Memo

**Michael Ostrowski, Director**  
Community Development  
City of Stevens Point  
1515 Strongs Avenue  
Stevens Point, WI 54481  
Ph: (715) 346-1567 • Fax: (715) 346-1498  
mostrowski@stevenspoint.com

## City of Stevens Point – Department of Community Development

To: Plan Commission  
From: Michael Ostrowski and Kyle Kearns  
CC:  
Date: 1/7/2013  
Re: East Park Commerce Center Re-Zoning Classification

In October 2012, the East Park Commerce Center (EPCC), consisting of approximately 762 acres, was annexed into the City of Stevens Point. Upon annexation, a zoning classification was established which consisted primarily of "M-1" Light and "M-2" Heavy Industrial districts, with a small 20 acre parcel zoned "RLD" Residential Low Density.

Most recently, the City's Zoning Ordinance was amended to include a new zoning district, Planned Industrial Development District (PID). From the start of the EPCC annexation it has been the intent to create and rezone the property to a district that required developments to be reviewed to ensure the integrity of the industrial park. Furthermore, the intent of this district is to allow flexibility in site design and building standards, while providing higher quality site design that is more sensitive to the surrounding properties. For example, in regards to EPCC, staff could ensure that appropriate development occurs adjacent to the residential subdivision that provides adequate buffering. Additionally, setbacks, building height, landscaping, parking, and other site design development features can be regulated.

The next step is to rezone the entire property. Below are rezoning standards of review.

**1) The parcel(s) meets the minimum lot requirements.**

**Analysis:** N/A

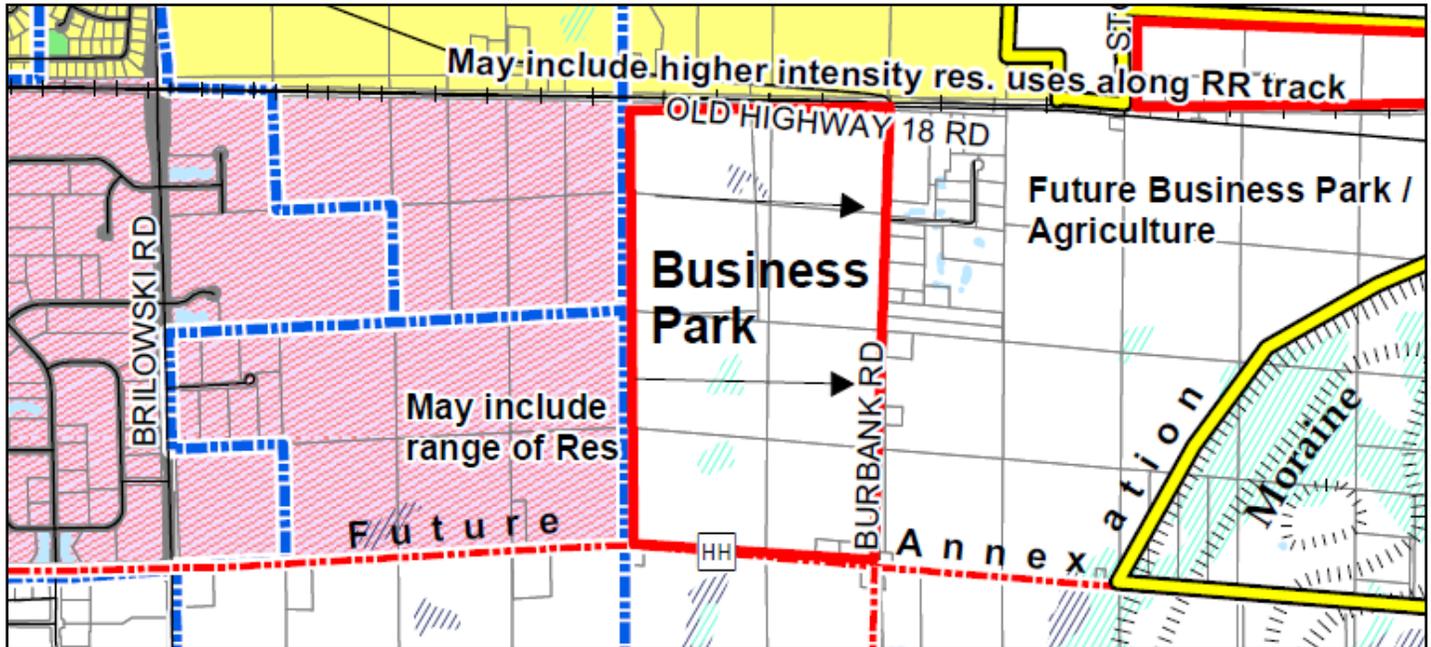
**Findings:** There are no minimum lot size requirements in the Planned Industrial Development District

**2) The change in zoning is consistent with the City Comprehensive Plan.**

**Analysis:** The City's Comprehensive Plan calls for this area to be a future business park. The nearby Portage County Business Park and East Park Commerce Center are zoned Light (M-1) and Heavy (M-2) Industrial.

**Findings:** The proposed rezoning to a Planned Industrial Development District would be consistent with the Comprehensive Plan.

*Extraterritorial Land Use Map – 2005 Stevens Point Comprehensive Plan*



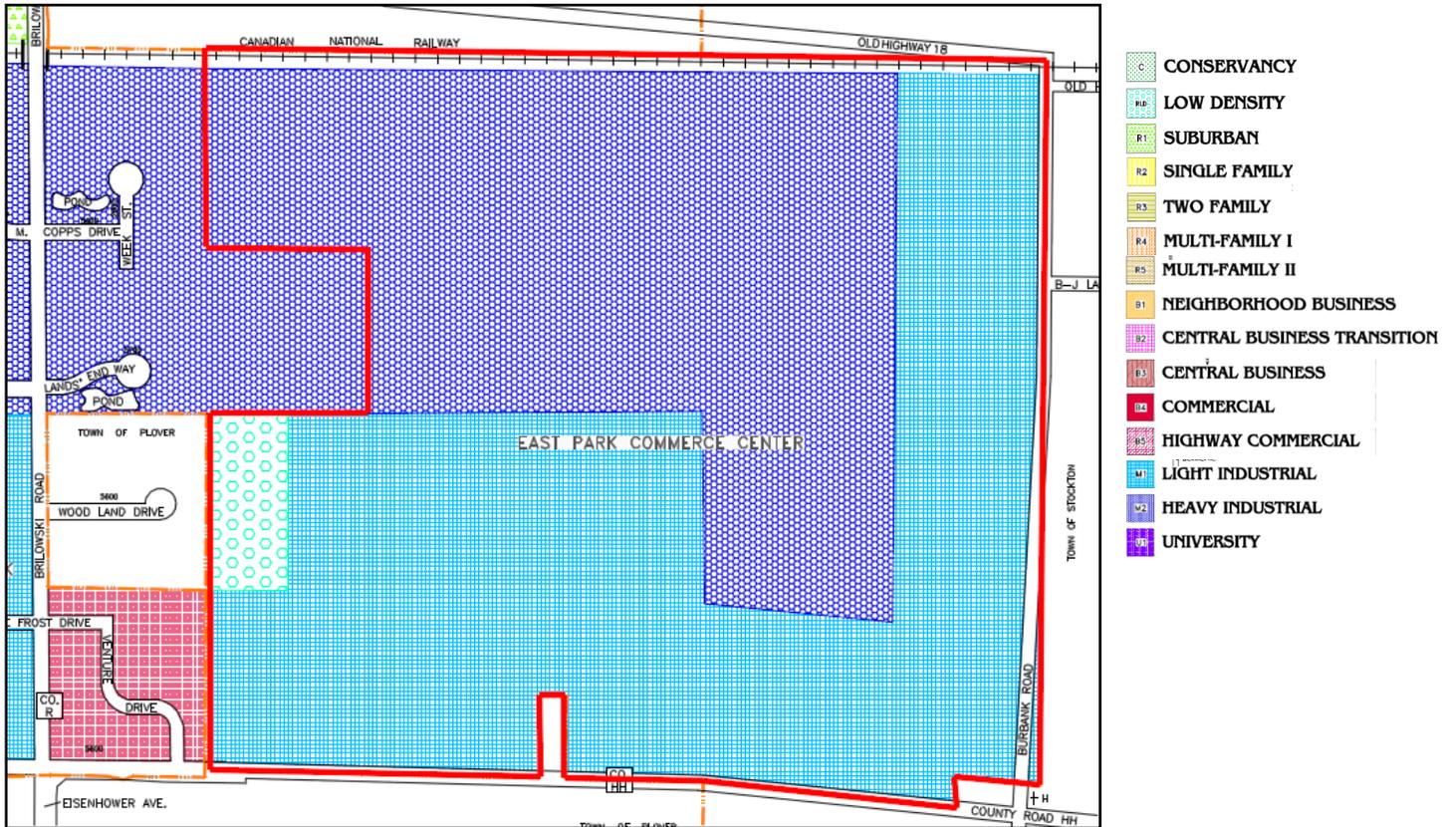
**3) The change in zoning will not create adjacent incompatible uses.**

**Analysis:** The following are the current City and County zoning classifications and uses of adjacent properties:

Direction	Zoning	Use
West	"M-2" Heavy Manufacturing, "B-4" Commercial & "R-1" Rural and Urban Fringe Residential District (County Zoning)	Manufacturing, Retail & Service
East	"A-1" Exclusive Agricultural District (County Zoning) & "A-3" Low Density Agricultural District (County Zoning)	Farmland
South	"A-1" Exclusive Agricultural District (County Zoning)	Farmland
North	"A-1" Exclusive Agricultural District (County Zoning), "A-4" General Agricultural District & "IND" Industrial District (County Zoning)	Farmland, Railroad

**Findings:** Agricultural county zoning primarily exists around the East Park Commerce Center, with manufacturing and commercial existing to the west within the City. A few homes are adjacent to the EPCC, however the PID District will allow the regulation of buffers and setbacks to ensure neighboring uses are compatible. See the current zoning classification map below.

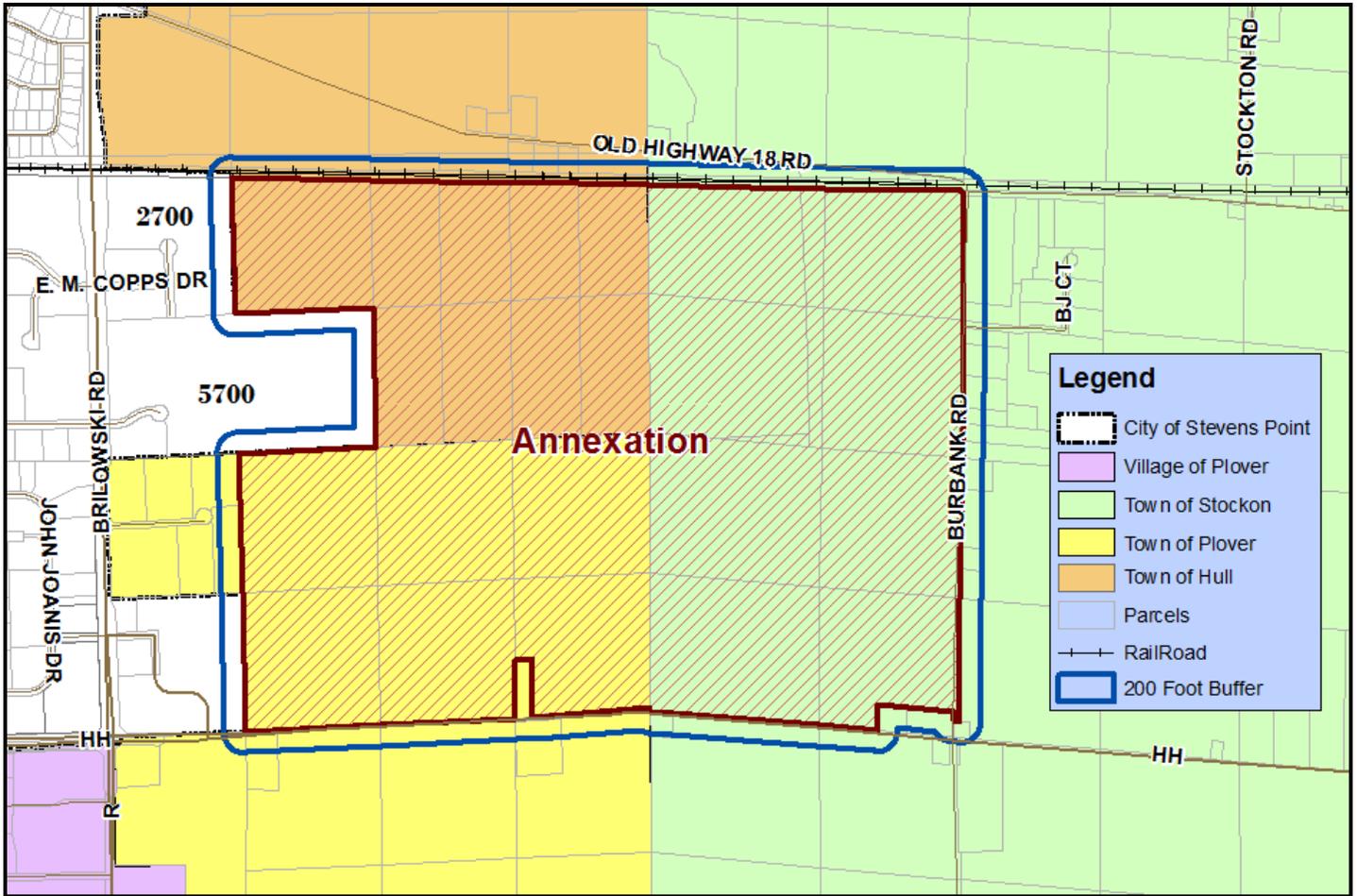
### City of Stevens Point – Zoning Map



The proposed zoning classification coincides with the directly adjacent property to the west. Furthermore, it will ensure the protection of the Town of Plover residential subdivision and other neighboring residential properties. Lastly, it matches that outlined within our comprehensive plan.

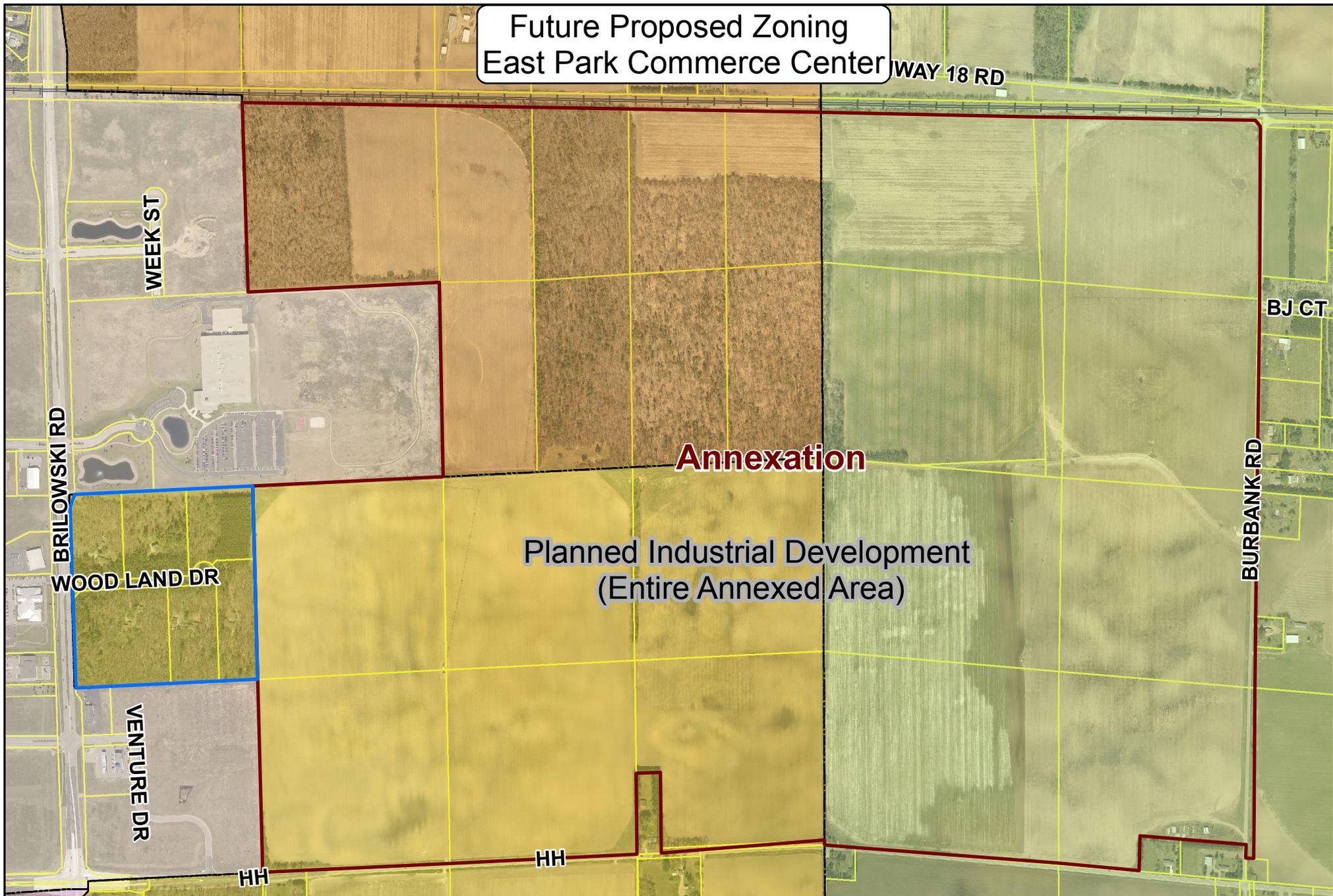
Staff would recommend approving the rezoning of the East Park Commerce Center to the Planned Industrial Development District.

East Park Commerce Center –Rezoning to "PID" Planned Industrial Development District – Exhibit Map (200 Feet Boundary)

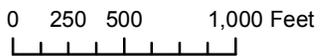


TaxKey	Property Address	Owner Name	Mailing Address	City	State	Zip Code
281230801220004	2700 Week St.	City of Stevens Point	1515 Strong's Ave	Stevens Point	WI	54481
230801220005	0 Week St	Portage County	1462 Strong's Ave	Stevens Point	WI	54481
281230801230001	5700 Lands' End Way	Lands' End Inc	3333 Beverly Rd	Hoffman Estates	IL	60179
230801300001	0 Brilowski Rd / County Road HH	54481 Development LLC	700 N Water St Ste 400	Milwaukee	WI	53202

# Future Proposed Zoning East Park Commerce Center



City of Stevens Point  
Community Development Department



- City of Stevens Point
- Town of Hull
- Town of Plover
- Town of Stockton
- Property Lines
- Residential Subdivision



This map was compiled by the City of Stevens Point's Community Development Department for reference purposes only. The accuracy of this map is not guaranteed and the City makes no express or implied warranties of any type regarding this map. Furthermore, the City is not liable for any direct or indirect damages suffered related to the use of this map.



# Memo

**Michael Ostrowski, Director**

Community Development

City of Stevens Point

1515 Strongs Avenue

Stevens Point, WI 54481

Ph: (715) 346-1567 • Fax: (715) 346-1498

mostrowski@stevenspoint.com

## City of Stevens Point – Department of Community Development

To: Plan Commission

From: Michael Ostrowski and Kyle Kearns

CC:

Date: 12/28/2012

Re:

- Review and recommendation on transferring and/or selling and/or assigning the rights to the property located at 1101 Centerpoint Drive (Parcel ID 2408-32-2029-61) and the adjacent property (portions of Parcel IDs 2408-32-2029-65 and 2408-32-2029-66) from the Community Development Authority of the City of Stevens Point to potential purchasers and developers.
- Request from the Community Development Authority of the City of Stevens Point to approve the certified survey map for 1101 Centerpoint Drive (Parcel ID: 2408-32-2029-61) and the adjacent property (portions of Parcel IDs 2408-32-2029-65 and 2408-32-2029-66).

As part of the CenterPoint MarketPlace redevelopment project, the Community Development Authority of the City of Stevens Point (CDA) is planning to transfer and/or sell and/or assign the rights to the above described property (former Dunham's Sports and adjacent property) to developers for redevelopment purposes.

In October 2012, the Plan Commission and Common Council approved the transfer and/or sale and/or assigning of rights to Sara Investments, however, the sale never came to fruition. This transaction has very similar terms (\$400,000 purchase price), except that one of the main differences would be that the CDA would agree to also transfer Outlot 1 and Outlot 2 (see attached CSM) to the developer if certain benchmarks are met. Under the development agreement, the CDA would transfer Outlot 1 to the developer if they created 5,000 square feet of new space (addition or new building), and Outlot 2 would transfer to the developer if they created 10,000 square feet of new space (addition or new).

The Plan Commission needs to provide a recommendation to the CDA prior to the selling of property.

Additionally, please see the attached Certified Survey Map (CSM) for 1101 Centerpoint Drive, and adjacent property. Given the complexity of the ownership situation of the former Dunham's Sports property, language will need to be placed on the CSM to provide access through the other lots, so that it does not become a landlocked parcel. Also, the outlots are only being created for the transfer of parking spaces to the developer if they meet the aforementioned benchmarks. The Plan Commission should also provide a recommendation on the CSM. Please note, minor modifications may occur to the CSM.

Staff would recommend approval of both requests.

**CERTIFIED SURVEY MAP NO.**

**CERTIFIED SURVEY MAP FOR  
CITY OF STEVENS POINT**

LOCATED IN PART OF LOTS 1,10,17,18,19,20,21, AND 22, ALL OF LOTS 2,3,4,5, 6,7,8, AND 9 OF BLOCK 32 OF VALENTINE BROWN'S ADDITION TO THE CITY OF STEVENS POINT, AND ALL OF LOT 1 OF PORTAGE COUNTY CERTIFIED SURVEY MAP NUMBER 6808-25-31, LOCATED IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 24 NORTH, RANGE 8 EAST, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

**DRAFT**

**NOTES:**

THIS INSTRUMENT WAS DRAFTED BY PATRICK J. FUEHRER.

THE BEARINGS HEREIN ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM-PORTAGE COUNTY-NAD 1983.

THE OUTSIDE EXTERIOR SURFACE OF THE BUILDING WALL AND THE BOUNDARY OF LOT 2 ARE CONTERMINOUS UNLESS NOTED.

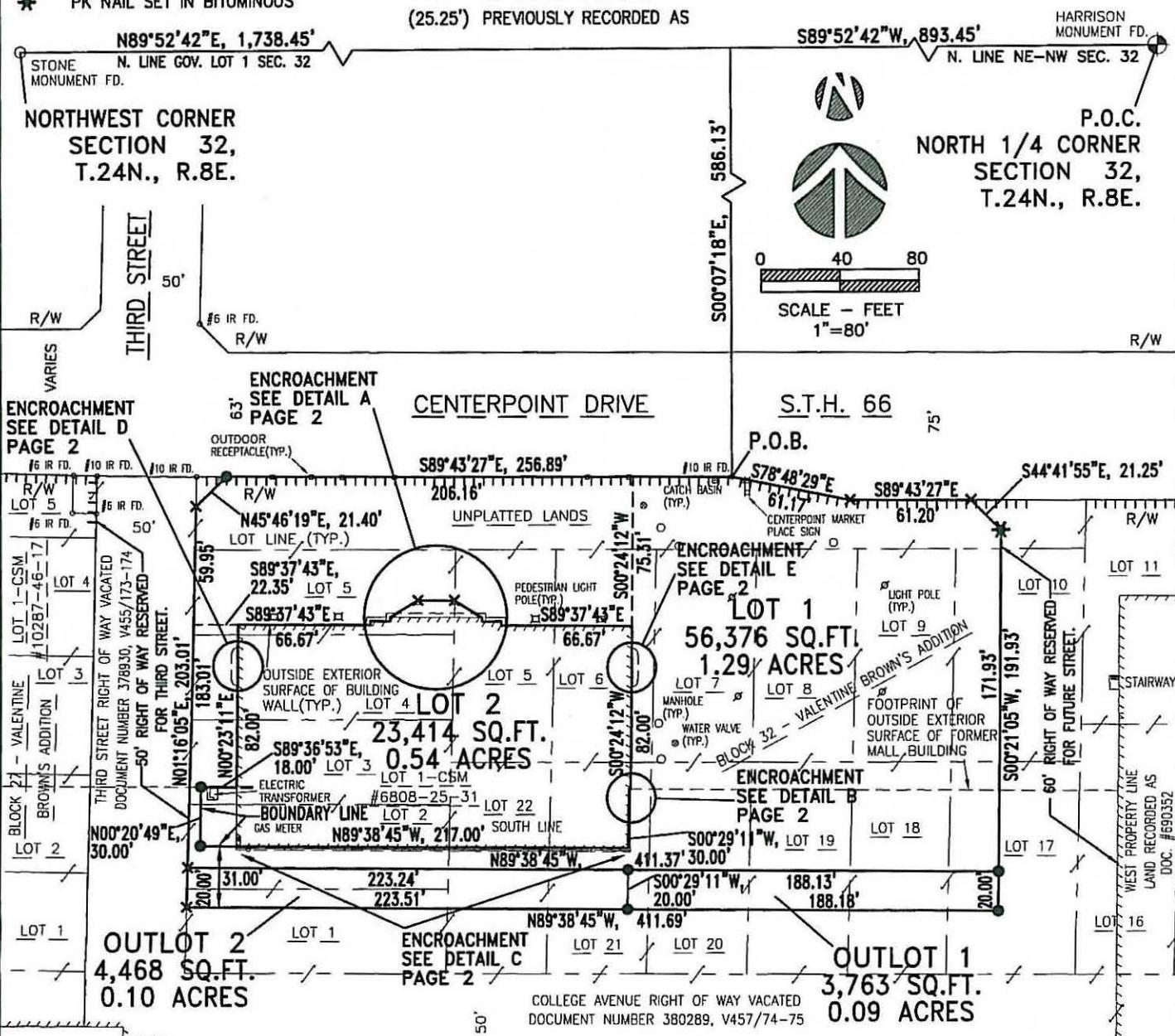
LOT 2 (FORMER DUNHAM'S SPORTS) AND LOT 1 (DEVELOPMENT PAD) OF THIS CSM SHALL BE CONSIDERED A SINGLE DEVELOPMENT LOT FOR ACCESS, UTILITY, PARKING, AND OTHER EASEMENT PURPOSES. IF LOT 1 (DEVELOPMENT PAD) IS EVER SOLD, AN EASEMENT SHALL BE GRANTED FOR THE BENEFIT OF LOT 2 FOR SUCH PURPOSES.

OUTLOT 1 AND OUTLOT 2 SHALL BE FOR THE PURPOSE OF PUBLIC PARKING UNTIL SUCH TIME THEY ARE TRANSFERRED TO BECOME PART OF LOT 1 AND LOT 2 OF SAID CSM. AT THAT TIME, THEY SHALL BE USED FOR THE BENEFIT OF PARKING FOR LOT 1 AND LOT 2 OF SAID CSM.

ANY FUTURE MODIFICATIONS OR CHANGES TO THE LAYOUT OF LANDS, OR CHANGE IN OWNERSHIP OF LANDS LOCATED WITHIN THIS CSM, WILL REQUIRE THE REVIEW BY THE CITY PLAN COMMISSION AND APPROVAL BY THE COMMON COUNCIL.

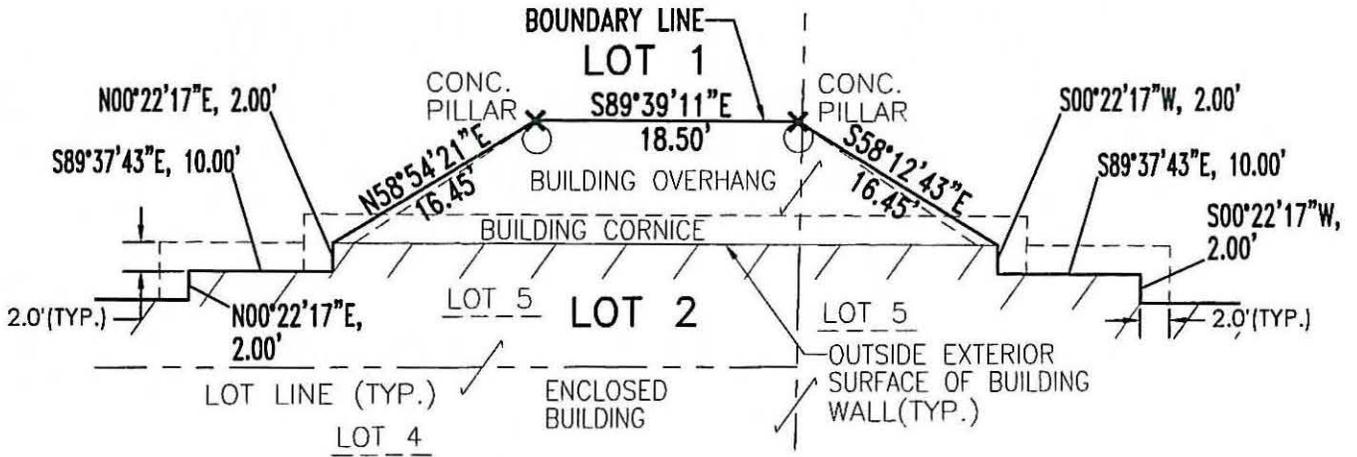
**LEGEND**

- 3/4" X 18" IRON REBAR SET-1.5#/FT.      - NOTCH SET IN EXTERIOR SURFACE OF CONCRETE BUILDING WALL
- × CROSS SET IN CONCRETE
- \* PK NAIL SET IN BITUMINOUS
- ▭ NO VEHICULAR ACCESS (25.25') PREVIOUSLY RECORDED AS

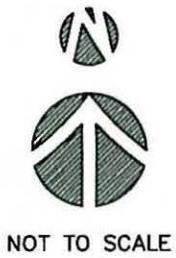


DETAIL A

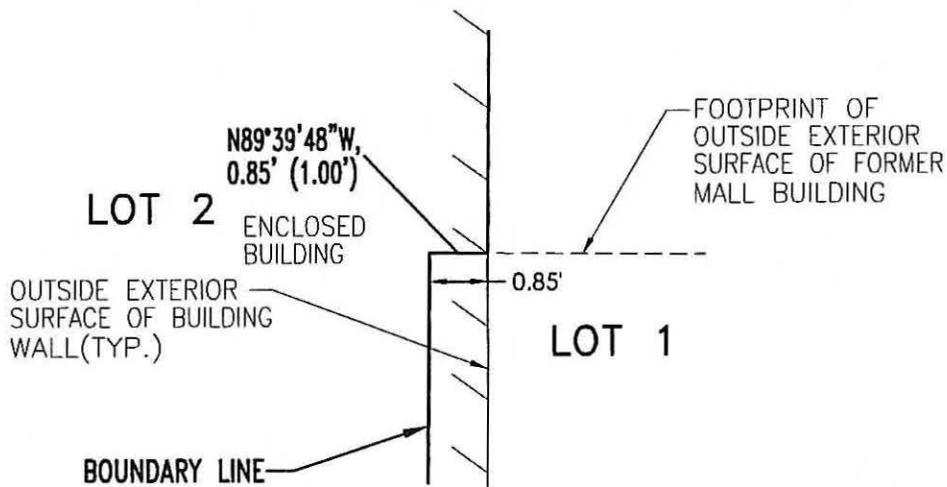
DRAFT



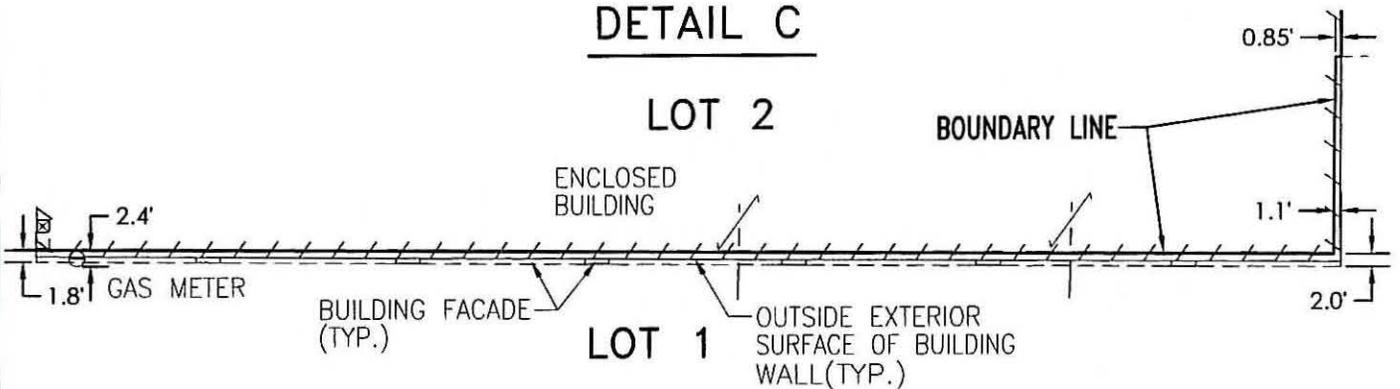
DETAIL B



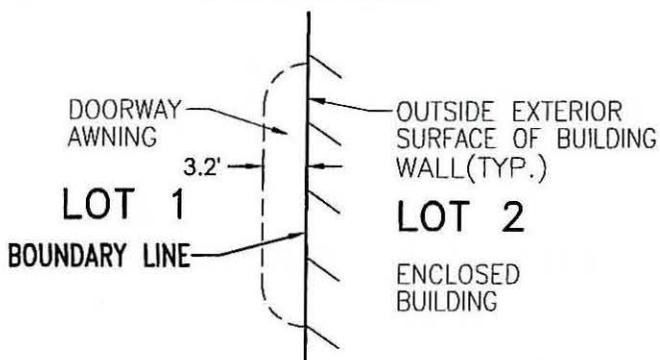
NOT TO SCALE



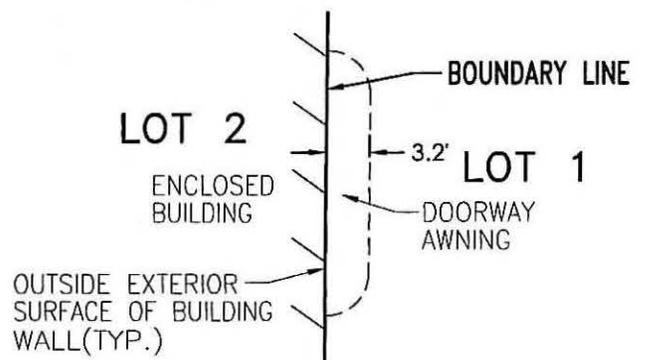
DETAIL C



DETAIL D



DETAIL E



SURVEYOR'S CERTIFICATE

**DRAFT**

I Patrick J. Fuehrer, Registered Land Surveyor, do hereby certify:

That I have surveyed, divided, and mapped the land described and represented by this Certified Survey Map being part of Lots 1, 10, 17, 18, 19, 20, 21, and 22, all of Lots 2, 3, 4, 5, 6, 7, 8, and 9 of Block 32 of Valentine Brown's Addition to the City of Stevens Point, and all of Lot 1 of Portage County Certified Survey Map Number 6808-25-31, located in the Northeast Quarter of the Northwest Quarter of Section 32, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin.

Commencing at the north quarter corner of said Section 32; thence South 89 degrees 52 minutes 42 seconds West along the north line of said Northeast Quarter of the Northwest Quarter 893.45 feet; thence South 00 degrees 07 minutes 18 seconds East 586.13 feet to the south right-of-way line of CenterPoint Drive and the **point of beginning**; thence South 78 degrees 48 minutes 29 seconds East along said south right-of-way line 61.17 feet; thence continuing along said south right-of-way line South 89 degrees 43 minutes 27 seconds East 61.20 feet; thence South 44 degrees 41 minutes 55 seconds East 21.25 feet to a line 60 feet west of and parallel with the west property line of lands recorded with the Portage County Register of Deeds as Document Number 690352; thence South 00 degrees 21 minutes 05 seconds West along said parallel line 191.93 feet to a line 31.00 feet south of and parallel with the easterly extension of the south line of said Lot 1 of Portage County Certified Survey Map Number 6808-25-31; thence North 89 degrees 38 minutes 45 seconds West along said parallel line 411.69 feet to the east right-of-way line of vacated Third Street document number 378930; thence North 01 degree 16 minutes 05 seconds East along said east right-of-way line 203.01 feet; thence North 45 degrees 46 minutes 19 seconds East 21.40 feet to said south right-of-way line of CenterPoint Drive; thence South 89 degrees 43 minutes 27 seconds East along said south right-of-way line 256.89 feet to the **point of beginning** and there terminating.

That I have made such survey, and map at the direction of the City of Stevens Point; that such map is a correct representation of all the exterior boundaries of the land surveyed. That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes in surveying and mapping the same.

Dated: \_\_\_\_\_, 2012

\_\_\_\_\_  
Patrick J. Fuehrer, R.L.S. 2973



# Memo

**Michael Ostrowski, Director**  
Community Development  
City of Stevens Point  
1515 Strongs Avenue  
Stevens Point, WI 54481  
Ph: (715) 346-1567 • Fax: (715) 346-1498  
mostrowski@stevenspoint.com

## City of Stevens Point – Department of Community Development

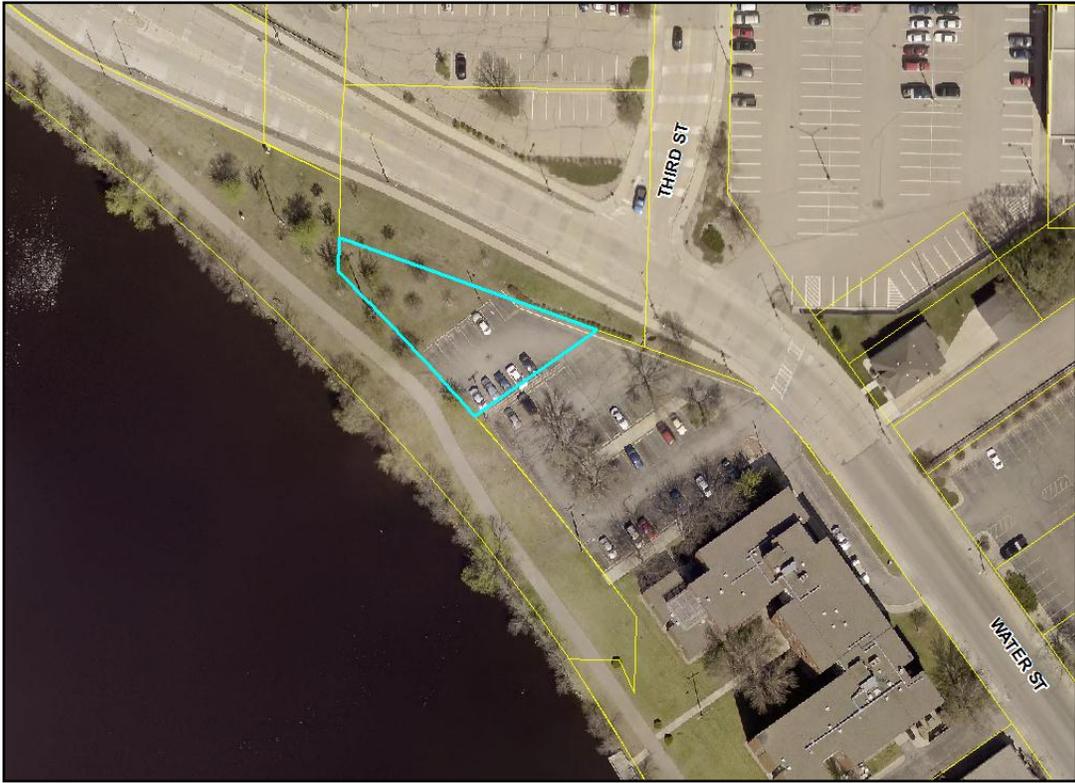
To: Plan Commission  
From: Michael Ostrowski and Kyle Kearns  
CC:  
Date: 12/31/2012  
Re: Request from the Community Development Authority of the City of Stevens Point to transfer unaddressed property located northwest of 1450 Water Street (**Parcel ID: 2408-32-2019-35**) from the City of Stevens Point to the Community Development Authority of the City of Stevens Point.

The property in question is used for parking by the neighboring property, 1450 Water Street (Edgewater Manor), however is under the ownership of the City of Stevens Point. Furthermore, Edgewater Manor is under the ownership of the Community Development Authority of Stevens Point.

The Community Development Authority is in the process of selling Edgewater Manor, and given the limited number of parking spaces on the lot would also like to include this portion of property.

The Plan Commission must make a recommendation to the Council pertaining to the transfer of City owned property to the CDA. The Common Council and CDA will also need to act on the request.

Staff recommends approval.



Property Map

Name and Address		Parcel #	Alt Parcel #
City Of Stevens Point (Exempt) 1515 Strongs Ave Stevens Point, WI 54481		240832201935	240832201935
		Property Address	
Display Note		Water St	

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type

**PERMITS**

Date	Number	Amount	Purpose	Note

**2012 ASSESSED VALUE**

Class	Land	Improvements	Total
X4-Local Exempt	\$0	\$0	\$0
<b>Total</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

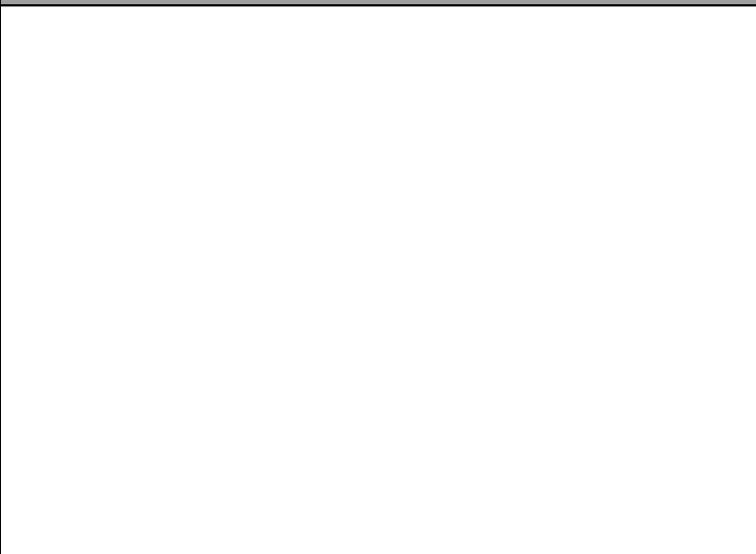
**LEGAL DESCRIPTION**

LOT 2 OF CSM 4934 17/189 BEING OUTLOT 1 OF CSM 4859 17/114 & PRT OF BLKS 24 & 25 S E & O ADD & GOVT LOT 2 S32 T24 R8 398/35 CITY CONDEMNATION 380/773 557/1190 - 557/80

**PROPERTY IMAGE**



**PROPERTY SKETCH**





# Memo

**Michael Ostrowski, Director**  
Community Development  
City of Stevens Point  
1515 Strongs Avenue  
Stevens Point, WI 54481  
Ph: (715) 346-1567 • Fax: (715) 346-1498  
mostrowski@stevenspoint.com

## City of Stevens Point – Department of Community Development

To: Plan Commission  
From: Michael Ostrowski and Kyle Kearns  
CC:  
Date: 12/28/2012  
Re: 

- Review and recommendation on transferring and/or selling the property located at **1450 Water Street (Parcel ID 2408-32-2019-33)** and the adjacent property in the above agenda item (**Parcel ID: 2408-32-2019-35**) from the Community Development Authority of the City of Stevens Point to potential purchasers and developers.

The Community Development Authority of the City of Stevens Point owns the property located at 1450 Water Street (Edgewater Manor). The building is an 81 unit apartment building that was formerly used as public housing. Since 2009, the building has operated as a market rate building, as the contract to keep it as public housing was not extended.

The building has approximately a 35% vacancy rate, as it is in need of an upgrade to the units to make it more competitive in the marketplace. The CDA has been working with a potential developer (Seramur Family Limited Partnership) to purchase the property for \$800,000.

In addition, the City would also amend TID #6 to include this property as well as potentially others. The City would then provide the developer an incentive of a maximum amount of \$300,000 over a period of six years to prompt the developer to make significant improvements to the building. His intent is to upgrade the units, spending approximately \$15,000 to \$20,000 per unit, or \$1,200,000.00 to \$1,600,000.00 in total. Once improved, the property would have an anticipated value of \$2,200,000 to \$2,600,000.

Since the property is currently owned and operated by the CDA, the property is not taxable. Once sold to the developer, and with a value of \$2,200,000 to \$2,600,000.00, the property would generate approximately \$54,000 to \$64,000 per

year.

Given that the property no longer serves as public housing, but rather market rate housing, staff would recommend approval to sell the property to the developer.

The selling of Edgewater Manor would also include the adjacent property to the northwest of Edgewater Manor (Parcel ID: 2408-32-2019-35).

Name and Address		Parcel #	Alt Parcel #
Stevens Point Comm Devel Auth (Exempt) 1515 Strongs Avenue Stevens Point, WI 54481		240832201933	240832201933
		Property Address	
Display Note			

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type

**PERMITS**

Date	Number	Amount	Purpose	Note
8/3/2004	32744	\$131,000	003 Addition	to parking lot - 8 stalls

**2012 ASSESSED VALUE**

Class	Land	Improvements	Total
X1-Federal Exempt	\$0	\$0	\$0
<b>Total</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

**LEGAL DESCRIPTION**

LOT 1 CSM 4934-17-189 BEING OUTLOT 1 CSM 4859- 17-114 & PRT OF BLKS 24 & 25 S E & O ADD & GOVT LOT 2 S 32 T24 R8 398/35 CITY CONDEMNATION 380/773 557/1190 - 557/80

**PROPERTY IMAGE**



**PROPERTY SKETCH**

# Administrative Staff Report

## Community Development Authority Conditional Use - Increase Occupancy & Off-Site Parking Request

1450 Water Street

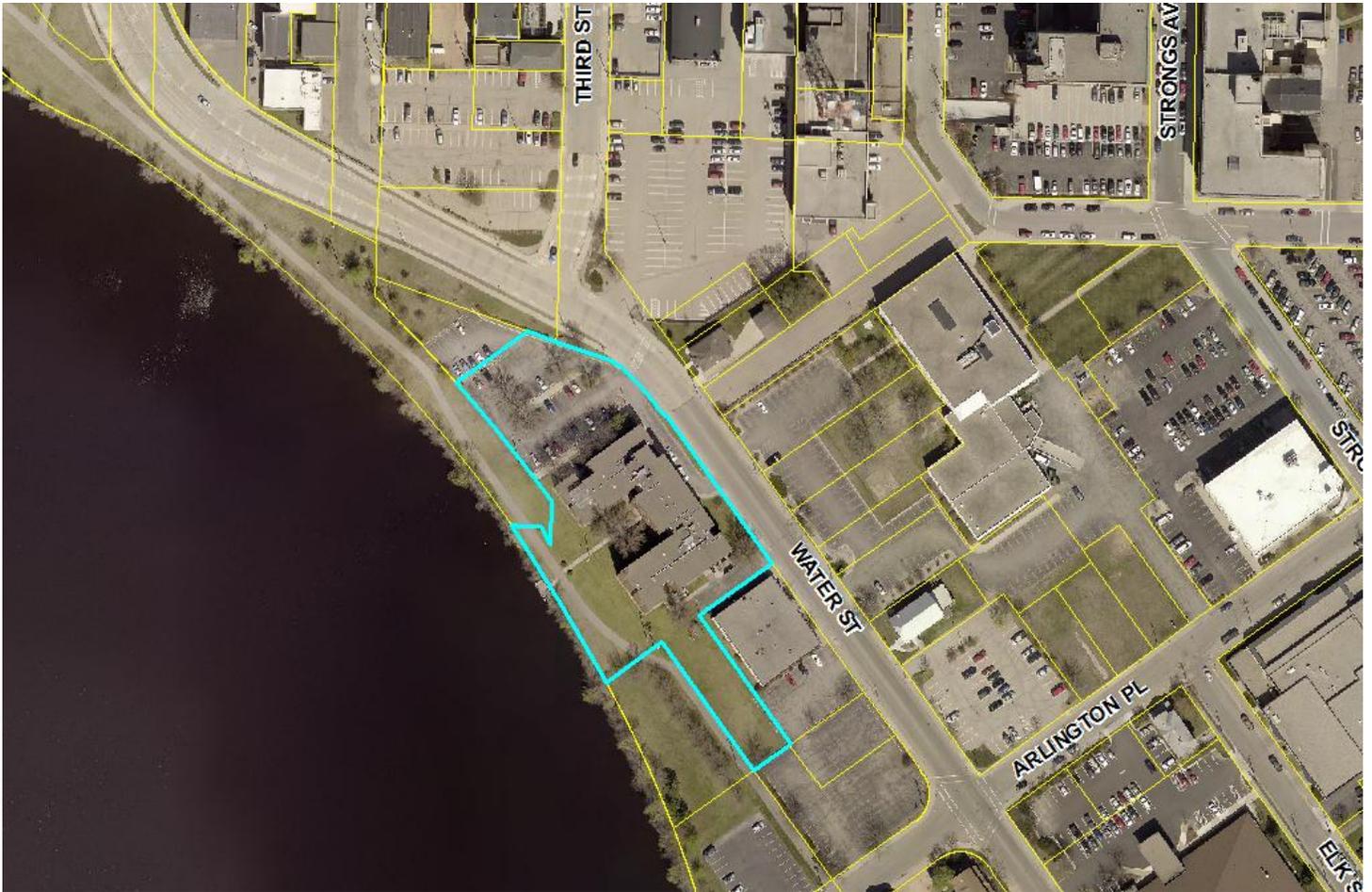
January 7, 2013



Department of Community Development  
1515 Strongs Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"><li>Community Development Authority of the City of Stevens Point</li></ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"><li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li><li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li></ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"><li>2408-32-2019-33</li></ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"><li>"B-3" Central Business District</li></ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"><li>Downtown District</li></ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"><li>District 9 – Stroik</li></ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"><li>Actual Frontage: 385 ft. (approx.)</li><li>Effective Frontage: 385 ft. (approx.)</li><li>Effective Depth: 217 feet (approx.)</li><li>Square Footage: n/a</li><li>Acreage: n/a</li></ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"><li>Apartments</li></ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"><li>23.01(14), 23.01(16), and 23.02(2)(c)</li></ul>	<p><b>Request</b></p> <ol style="list-style-type: none"><li>Request from the Community Development Authority of the City of Stevens Point for a conditional use permit to increase the number of allowed occupants at <b>1450 Water Street (Parcel ID 2408-32-2019-33)</b>.</li><li>Request from the Community Development Authority of the City of Stevens Point to allow for off-site parking for the property located at 1450 Water Street.</li></ol> <p><b>Attachment(s)</b></p> <ul style="list-style-type: none"><li>Property Data</li><li>Exhibit Map</li></ul> <p><b>Findings of Fact</b></p> <ul style="list-style-type: none"><li>The property is zoned "B-3" Central Business District.</li><li>The request is to increase the occupancy for the 81 unit apartment building with off-site parking.</li><li>Multiple family uses require a conditional use permit.</li><li>Parking is requested to be located off-site at a City-owned lot or in the parking lot to the south.</li></ul> <p><b>Staff Recommendation</b></p> <p>Approve subject to Plan Commission and staff comments, including the following condition(s):</p> <ul style="list-style-type: none"><li>Applicant must secure the appropriate number of parking spaces through a city permit.</li><li>Applicant must secure a multi-family license.</li><li>Total occupancy of the building shall not be greater than 162 occupants.</li><li>All building codes shall be met prior to issuance of occupancy license.</li><li>Exterior improvements must be reviewed and approved by the Historic Preservation / Design Review Commission (windows, trim, etc).</li><li>Dumpsters and/or refuse containers shall be screened from view.</li></ul>
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## Vicinity Map



## Background



The Community Development Authority of the City of Stevens Point owns the property located at 1450 Water Street (Edgewater Manor). The building is an 81 unit apartment building that was formerly used as public housing. Since 2009, the building has operated as a market rate building, as the contract to keep it as public housing was not extended.

The building has approximately a 35% vacancy rate, as it is in need of an upgrade to the units to make it more competitive in the marketplace. The CDA has been working with a potential developer (Seramur Family Limited Partnership) to purchase the property for \$800,000.

The developer's intent is to upgrade the units, spending approximately \$15,000 to \$20,000 per unit, or \$1,200,000.00 to \$1,600,000.00 in total. Once improved, the property would have an anticipated value of \$2,200,000 to \$2,600,000.

Since the property is currently owned and operated by the CDA, the property is not taxable. Once sold to the developer, and with a value of \$2,200,000 to \$2,600,000.00, the property would generate approximately \$54,000 to \$64,000 per year.

As it sits however, only one person or related persons can reside within a unit. The property does not currently allow two unrelated individuals to reside within the same unit. For example, a boyfriend and girlfriend would not be allowed to live in a unit together. This is very limiting to the renting potential of the site and would significantly decrease the marketability. Therefore, the CDA is requesting an increase in occupancy from 81 to 162. This would allow for a total of two unrelated persons in each unit.

The request also includes allowing additional parking for the units to occur at either the lots to the south, or at one of the nearby City-owned lots. The number of parking spaces on site totals approximately 47 stalls. The developer is looking to secure additional stalls for tenant's use.



## Standards of Review

- 1) **The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

**Analysis:** The building currently exists. Each unit has one bedroom except for one which has two bedrooms. All units will receive upgrades to utilities, appliances, etc.

**Findings:** The increased occupancy should not be detrimental to, or endanger, the public health, safety, or general welfare as it is already in use as an apartment and is within the dense downtown. The likelihood of all units occupied by two unrelated persons is unrealistic.

**2) The use will not be injurious to the use and for the purpose already permitted;**

**Analysis:** The five story apartment building is used as a multi-family residence. Furthermore, the use is on the fringe of the dense downtown where multi-family uses are desired.

**Findings:** The use should be complementary to other uses within the immediate vicinity.

**3) The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

**Analysis:** The respective area is an established area of the City.

**Findings:** The proposed use should not impede the orderly development and improvement of the surrounding properties.

**4) The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

**Analysis:** Project plans do not include exterior renovation of the facade. Any façade work must be approved by the Historic Preservation / Design Review Commission.

**Findings:** This standard is met.

**5) Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

**Analysis:** The respective area is an established area of the City.

**Findings:** Utilities currently exist in this area.

**6) Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

**Analysis:** Parking will occur in a city parking lot located at one of the following locations identified in the map above. The distance from the apartment to each parking lot would be less than 1/10th of a mile, or about a two minute walk. Parking may also occur at the private lot to the south at 1466 Water Street.

**Findings:** Staff feels that this parking location would suffice the parking requirement. All parking lots identified in the map above are never fully occupied. Our Comprehensive Plan calls for increased density in the downtown core, as well as the mixing of uses; this request accomplishes higher density. Staff feels that this standard is met.

**7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

**Analysis:** The proposed use is within the Central Business District. The intent of this district is to provide a single contiguous district encompassing the central business district or downtown area which will encourage primarily retail uses and a variety of supporting uses. This district is intended to help implement the community's specialized development goals and planning principles, for the CBD, particularly the development and maintenance of the downtown area as a specialized pedestrian-oriented shopping and community center.

**Findings:** The proposed use is a supporting use within this district.

- 8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

**Analysis:** The lot and building exist. Any exterior improvements shall meet the zoning requirements for the district.

**Findings:** This standard is met.

- 9) The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

**Analysis:** The proposal is to increase the occupancy of each unit by one, to a total occupancy of 162. The total number of bedrooms for the entire building would remain at 82.

**Findings:** The proposal should not result in an over-concentration of high density living facilities, as it is the only large multi-family property within a few blocks.

- 10) Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

**Analysis:** No exterior changes are proposed to occur. Garages do not exist and mechanical equipment/refuse containers are not visible.

**Findings:** This standard is met.

- 11) Access to the site shall be safe.**

**Analysis:** The property offers 47 parking stalls.

**Findings:** Additional parking for the apartments will be located off-site.

- 12) There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

**Analysis:** The property currently exists, and adequate utilities exist at the site.

**Findings:** This standard is met.

- 13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:**

- a. Mechanical equipment including refuse storage shall be screened from neighboring properties.**

**Analysis:** Refuse storage is stored behind the building.

**Findings:** All containers shall be screened from view.

**b. Lighting shall be located to minimize intrusion onto the neighboring properties.**

**Analysis:** No change in lighting is planned.

**Findings:** This standard is met.

**c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

**Analysis:** The use will be a multi-family type use.

**Findings:** The use should not cause significant noise levels.

**14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.**

**Analysis:** There is no proposed change in landscaping.

**Findings:** This standard is met.

Staff would recommend allowing the increase in occupancy for the property, as well as, the off-site parking to occur at either the lots to the south (1466 Water Street) or at one of the nearby city-owned lots.

Name and Address		Parcel #	Alt Parcel #
Stevens Point Comm Devel Auth (Exempt) 1515 Strongs Avenue Stevens Point, WI 54481		240832201933	240832201933
		Property Address	
		1450 Water St	
Display Note			

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type

**PERMITS**

Date	Number	Amount	Purpose	Note
8/3/2004	32744	\$131,000	003 Addition	to parking lot - 8 stalls

**2012 ASSESSED VALUE**

Class	Land	Improvements	Total
X1-Federal Exempt	\$0	\$0	\$0
<b>Total</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

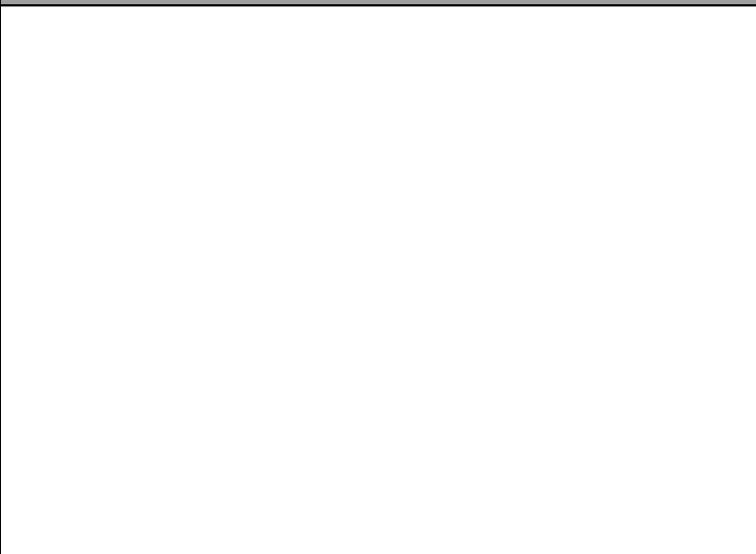
**LEGAL DESCRIPTION**

LOT 1 CSM 4934-17-189 BEING OUTLOT 1 CSM 4859- 17-114 & PRT OF BLKS 24 & 25 S E & O ADD & GOVT LOT 2 S 32 T24 R8 398/35 CITY CONDEMNATION 380/773 557/1190 - 557/80

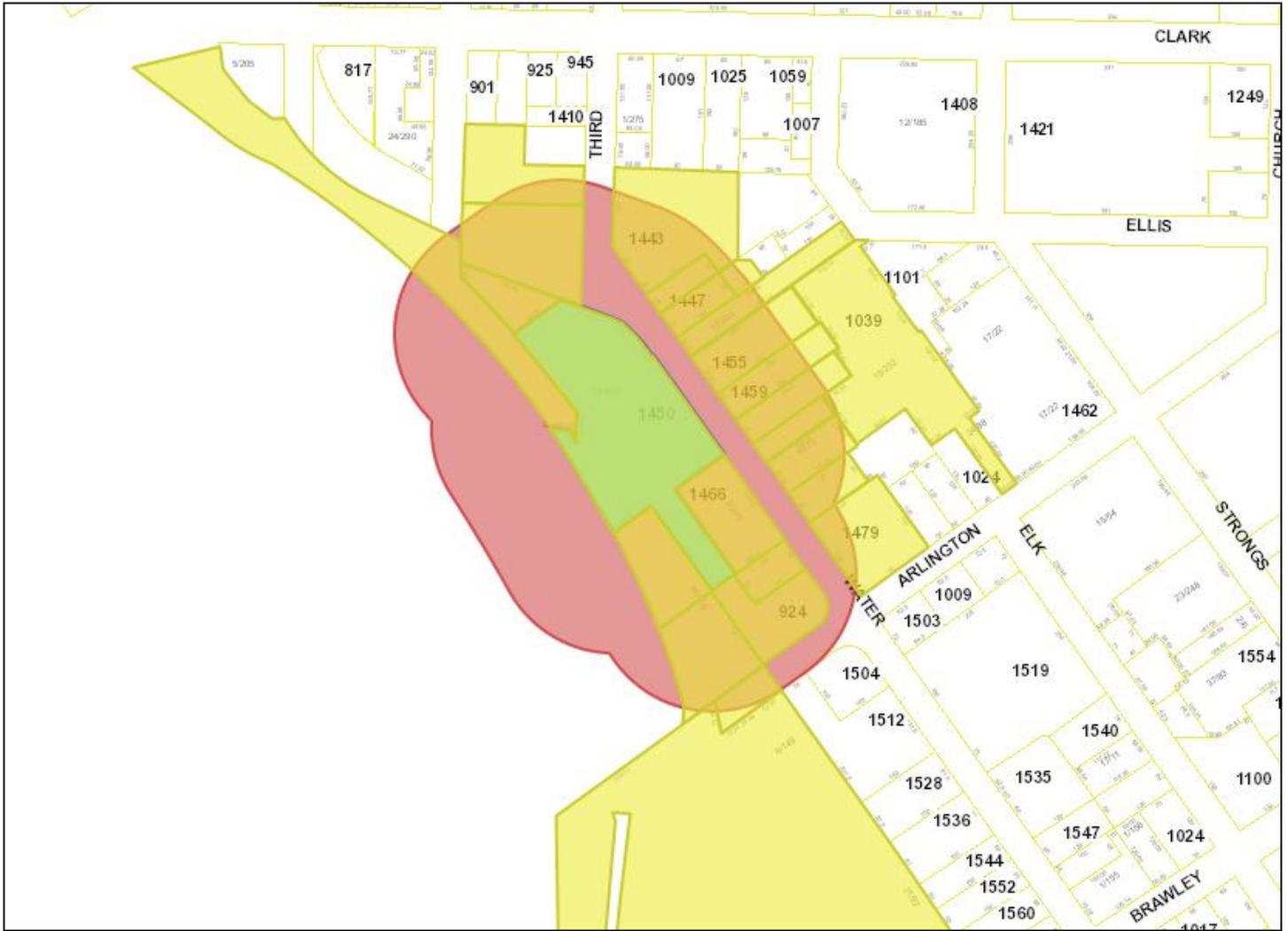
**PROPERTY IMAGE**



**PROPERTY SKETCH**



**1450 Water Street – Conditional Use – Occupancy & Off-Site Parking – Exhibit Map (200 Feet Boundary)**



Tax Key	Owner Name	Mailing Address	City & State	Zip	Property Address
281240832201307	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0 CLARK ST
281240832201905	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0 SECOND ST
281240832202044	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0 THIRD ST
281240832201930	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0 SECOND ST
281240832202051	WISCONSIN BELL INC	909 Chestnut Rm 36-M-1	St Louis MO	63101	0 WATER ST
281240832202053	ATN:INTERNAL SERVMS7857 FIRST FINANCIAL	206 N Wisconsin Ave	De Pere WI	54115	1039 ELLIS ST
281240832202010	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	1443 WATER ST
281240832202043	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0 THIRD ST
281240832201935	City of Stevens Point	1515 Strongs Ave	Stevens Point WI	54481	0 WATER ST
281240832202011	JOHN M SUPLICKI	1447 Water Street	Stevens Point WI	54481	1447 WATER ST
281240832202013	ATN:INTERNAL SERVMS7857 FIRST FINANCIAL	206 N Wisconsin Ave	De Pere WI	54115	1455 WATER ST
281240832201933	STEVENS POINT COM	1515 Strongs Avenue	Stevens Point WI	54481	1450 WATER ST
281240832202014	ATN:INTERNAL SERVMS7857	206 N Wisconsin	De Pere WI	54115	1459 WATER ST

	FIRST FINANCIAL	Ave			
281240832202015	ATN:INTERNAL SERVMS7857 FIRST FINANCIAL	206 N Wisconsin Ave	De Pere WI	54115	0 WATER ST
281240832202048	ATN:INTERNAL SERVMS7857 FIRST FINANCIAL	206 N Wisconsin Ave	De Pere WI	54115	0 WATER ST
281240832202017	ATN:INTERNAL SERVMS7857 FIRST FINANCIAL	206 N Wisconsin Ave	De Pere WI	54115	0 WATER ST
281240832202018	Portage County Historical Society Inc	P O Box 672	Stevens Point WI	54481	1475 WATER ST
281240832201931	Bob Chesbrough A & I BUILDING	PO Box 485	Wautoma WI	54982	1466 WATER ST
281240832202019	City of Stevens Point	1515 Strong's Ave	Stevens Point WI	54481	1479 WATER ST
281240832201934	STORA ENSO NA COR NEWOAGE WI SYSTEM INC	8540 Gander Creek Dr	Miamisburg OH	45342	0 WATER ST
281240832201912	Bob Chesbrough A & I BUILDING	PO Box 485	Wautoma WI	54982	0 WATER ST
281240832201911	Bob Chesbrough A & I BUILDING	PO Box 485	Wautoma WI	54982	924 ARLINGTON PL
281240832201936	STORA ENSO NA COR NEWOAGE WI SYSTEM INC	8540 Gander Creek Dr	Miamisburg OH	45342	0 ARLINGTON PL
281240832201999	City of Stevens Point	1515 Strong's Ave	Stevens Point WI	54481	0 ARLINGTON PL
281240832300255	STORA ENSO NA COR	8540 Gander Creek Dr	Miamisburg OH	45342	707 ARLINGTON PL

# 1450 Water Street, Stevens Point, WI 54481 (Edgewater Manor)



0 65 130 260 Feet



City of Stevens Point  
Community Development Department

-  1450 Water Street (Development Site)
-  Parcel Lines

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