

AGENDA
CITY PLAN COMMISSION

Monday, June 3, 2013 – 6:00 PM
Lincoln Center – 1519 Water Street, Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

Discussion and possible action on the following:

1. Report of the May 6, 2013 Plan Commission meeting.
2. Request from Gabe Thomas, representing Generations Property Development, for a preliminary plat review of a thirteen (13) lot subdivision, Washington Terrace, **south of Regent Street, between Saint Paul Street and Dearborn Avenue (Parcel ID 2408-28-4001-06)**.
3. Request from Jay Johnson, representing Riiser Energy, for a site plan review to construct an approximate 1,100 square foot addition onto their existing building at **5485 U.S. Highway 10 East (Parcel ID 2408-35-1300-01)**.
4. Request from Tom Deppiesse, representing Estate Wines, for a conditional use permit to operate a wine bar, serving wine, beer, and liquor at **1137 Main Street (Parcel ID 2408-32-2026-37)**.
5. Request from Bill Cooper, representing BP Gas Station, for a parking lot modification to repave the parking and fueling areas without meeting the landscape setback area requirements at **3209 Church Street (Parcel ID 2308-04-3007-02)**.
6. Amendment of the Revised Municipal Code of the City of Stevens Point, Chapter 25 Sign Ordinance, to allow wall signs to be placed on more than two walls (Section 25.04(7)(e)).
7. Conditional use permit renewals for the following place and activity:
 - 1001 Amber Avenue - Amber Grill (operate a tavern)
 - 1320 Strongs Avenue - Arbuckle's, (operate a tavern)
 - 200 Division Street – Pete's Sports Bar (operate a tavern)
 - 233 Division Street - Papa Joes Bar (operate a tavern)
 - 2301 Church Street - Middletown Grille (operate a tavern)
 - 1036 Main Street - Tech Lounge (operate an electronic amusement business)
8. First amendment to Reciprocal License Agreement between the Community Development Authority of the City of Stevens Point and Mid-State Technical College for the purposes of allowing encroachments onto the property south of **1001 Centerpoint Drive (Parcel ID 2408-32-2029-64)**.
9. Transferring and/or selling and/or assigning the rights to the property located at **1450 Water Street (Parcel ID 2408-32-2019-33)** and the adjacent unaddressed property (**Parcel ID 2408-32-2019-35**) from the Community Development Authority of the City of Stevens Point to Affordable Senior Housing of Central Wisconsin Inc.
10. Adjourn.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling 715-346-1567, during normal business hours.

Any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715)346-1569, TDD# 346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

PUBLISH: May 31, 2013 and June 7, 2013

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the Common Council of the City of Stevens Point, Portage County, Wisconsin, will hold a Public Hearing on Monday, June 17, 2013 at 7:00 PM in the Council Chambers of the County-City Building, 1516 Church Street, Stevens Point, Wisconsin, to hear the following:

- 1) Request from Gabe Thomas, representing Generations Property Development, for a preliminary plat review of a thirteen (13) lot subdivision, Washington Terrace, south of Regent Street, between Saint Paul Street and Dearborn Avenue (Parcel ID 2408-28-4001-06). This property being zoned "R-2" Single Family Residence and "R-3" Single and Two Family Residence Districts, and described as PRT NE SE S28 T24 R8 COM ON EL ST PAUL ST 650F E OW WL SD 40 & 130F N OF SL SD 40, TH N 464.5F. E250F, S560.2F, W125F N100F W125F TO POB 2.91A 191/220 606/1069-70, City of Stevens Point, Portage County, Wisconsin.
- 2) Request from Tom Deppiesse for a conditional use permit to operate a wine bar, serving wine, beer, and liquor at 1137 Main Street (Parcel ID 2408-32-2026-37). This property being zoned "B-3" Central Business District, and described as LOT 2 CSM #3218-11-176 BNG PRT NE NW S32 T24 R8 ESMT-457/524 682398-CERT 712606, City of Stevens Point, Portage County, Wisconsin.
- 3) Request from Amber Grill for a conditional use permit renewal to operate a tavern at 1001 Amber Avenue (Parcel ID 2408-36-2200-47). This property being zoned "B-5" Highway Commercial District, and described as LOT 1 CSM#8640-35-20 A & B BNG PRT LOT 4 PARKDALE SUB & BNG PRT SESW S25 & NENW S36 T24 R8 664658, City of Stevens Point, Portage County, Wisconsin.
- 4) Request from Arbuckle's for a conditional use permit renewal to operate a tavern at 1320 Strongs Avenue (Parcel ID 2408-32-2026-45). This property being zoned "B-3" Central Business District, and described as LOTS 3 & OUTLOT 2.1 CSM# 3218-11-176 BNG PRT NENW 32 T24 R8 ESMTS DES IN 457/524 & 545/573 545/574-5 681/964 645180, City of Stevens Point, Portage County, Wisconsin.
- 5) Request from Pete's Sports Bar for a conditional use permit renewal to operate a tavern at 200 Division Street (Parcel ID 2408-29-4003-09). This property being zoned "B-4" Commercial District, and described as LOT 2 CSM#7941-30-71&A BNG PRT BLK 2 BATTIN & OTHERS ADD EXC LOT 1 CSM#8046-31-26&A; ESMT FOR PRKG-576/323-25 705820, City of Stevens Point, Portage County, Wisconsin.
- 6) Request from Papa Joe's Bar for a conditional use permit renewal to operate a tavern at 233 Division Street (Parcel ID 2408-29-4002-04). This property being zoned "B-4" Commercial District, and described as PRT OF NE SE COM 433' 1/2" S & 25' E OF NW COR SD 40 E 130' S 126' W 130' N 126' TO POB ALSO INCL PT OF VACATED DIVISION ST DESC IN DOC#685644 S29 T24 R8 689440 & STIP 685644 704766-CERT, City of Stevens Point, Portage County, Wisconsin.
- 7) Request from Middletown Grill for a conditional use permit renewal to operate a tavern at 2301 Church Street (Parcel ID 2408-32-4035-20). This property being zoned "B-4" Commercial

District, and described as ALL LOT 4 & THAT PRT LOTS 5 & 6 LYG E OF CHURCH ST BLK 4 HELM ADD; EX HY DES 663015 S32 T24 R8 643928, City of Stevens Point, Portage County, Wisconsin.

- 8) Request from Tech Lounge for a conditional use permit renewal to operate an electronic amusement business at 1028-36 Main Street (Parcel ID 2408-32-2029-22). This property being zoned "B-3" Central Business District, and described as W 40' LOT 3 & S 3' OF THE W 36' LOT 20 BLK 29 VAL BROWN ADD (CLERK OF COURTS FILE 84CV-397);SUBJ TO AGRMT AS IN 655400 754424, City of Stevens Point, Portage County, Wisconsin.
- 9) Amendment of the Revised Municipal Code of the City of Stevens Point, Chapter 25 Sign Ordinance, to allow wall signs to be placed on more than two walls (Section 25.04(7)(e)).

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling 715-346-1567, during normal business hours.

All interested parties are invited to attend.

BY ORDER OF THE COMMON COUNCIL
OF THE CITY OF STEVENS POINT, WISCONSIN

John Moe, City Clerk

REPORT OF CITY PLAN COMMISSION

Monday, May 6, 2013 – 6:00 PM
Lincoln Center – 1519 Water Street

PRESENT: Mayor Andrew Halverson, Alderperson Jerry Moore, Commissioner Tony Patton, Commissioner Dave Cooper, and Commissioner Garry Curless (Commissioner Anna Haines excused).

ALSO PRESENT: Community Development Director Michael Ostrowski, Economic Development Specialist Kyle Kearns, City Attorney Beveridge, Comptroller Treasurer Corey Ladick, Director Joel Lemke, Director Tom Schrader, Alderperson Suomi, Alderperson Mary Stroik, Alderperson George Doxtator, Brandi Makuski, James Gostowski, Patty Dreier, Cathy Dugan, Gene Kemmeter, John Gardner, Bernice Kurzynski, Anne Dachyk, Ken Dachyk, John Glodowski, Barb Jacob, Reid Rocheleau, Kirk, Reimann, Steven Roloff, Carl Rasmussen, Kathy Genovese, Kristine Anderson, Jeff Piette, Jon Henson, George Acker, Shelly Janowski, Jason Sittig, Mark Olinyk, Vern Schroth, John Noel, Patty Noel, Fritz Schierl, Shong Lau, Beverly West, Kevin Quevillon, Aaron Cool, Carolyn Cook, and Jeff Schuller.

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1. Report of the April 1, 2013 Plan Commission meeting.
2. Public Hearing regarding the proposed project plan, boundaries, and creation of Tax Incremental District No. 9.
3. Consideration of "Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 9, City of Stevens Point, Wisconsin".
4. Request from D&L Signs, Inc., representing the Stevens Point Municipal Airport, for a sign variance to allow a freestanding sign to exceed the area and height requirements at **4501 Highway 66 (Parcel ID 2408-14-4300-01)**.
5. Presentation and discussion on a conceptual project review for a parking ramp on University property at **501 Reserve Street (Parcel ID 2408-28-3005-02)** and **2124 Fourth Avenue (Parcel ID 2408-28-3006-28)**.
6. Ground lease and property use agreement and occupancy agreement between the City of Stevens Point and the Boys & Girls Club of Portage County, Inc. for the property located at **2442 Sims Avenue and 933 Michigan Avenue (Parcel ID 2408-33-2001-05)**.
7. Adjourn.

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1. Report of the April 1, 2013 Plan Commission meeting.

Motion by Commissioner Patton to approve the report of the April 1, 2013 meeting; seconded by Commissioner Curless. Motion carried 5-0.

2. Public Hearing regarding the proposed project plan, boundaries, and creation of Tax Incremental District No. 9.

Reid Rocheleau, 408 Cedar Street, voiced his concerns about the past TIF districts not doing well. He also said that he was not for the annexation of these properties, and wished the city would wait until there was a real need for the TIF. He asked the commission to be cautious about the approval and to wait until the other TIF districts develop.

Barb Jacob, 1616 Depot Street, stated she is concerned for the planned Phase 2 showing the same costs of improvements, and not showing the progressive increase of cost of materials over time. She does not feel these are realistic costs, and feels that the city should wait until there is more interest in the area.

With no further requests to speak, Mayor Halverson declared the public hearing closed.

3. Consideration of "Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 9, City of Stevens Point, Wisconsin".

Mayor Halverson stated he wanted to point out several differences regarding this TIF district. He explained there are different kinds of TIF districts, which are used to spur growth and re-development. The two districts that are more challenged than others specifically relate to re-development TIF districts. Currently, the downtown is a challenged area in terms of property values and the amount of money we have had to spend on the front end to recoup it over a long term. The other version is a mixed use TIF district where you can have new commercial, residential, as well as industrial growth, or you could have a straight industrial TIF, which this is and very similar to TID 1, which was the most successful district that the City of Stevens Point has had thus far. Mayor Halverson continued stating that this particular acreage at 762 acres is nearly five times the size of the original Stevens Point Industrial Park and has the potential to attract global businesses because of its geographic proximity to the Chicago land area as well as Minneapolis Metro, and the NAFTA artery which runs along the northern edge of this particular commerce center. He continued stating it is unlikely that we would be spending the money every year on improvements. The numbers in the plan are an aggregate number that is split up evenly in the financial projections over the period of time that this TIF would be active. What you see here is projected at the largest amount of improvements that would be made to this district. Mayor Halverson pointed out that this district has been laid out in a way where the projected costs that we are looking at coincide with the revenue from tax collection off of approximately \$179 million of tax base that could be potentially developed. He added, we have the opportunity to market two, three or more hundred acres to one user at one time, with the flexibility and the dynamics of the types of businesses that it could attract.

Director Ostrowski stated there were a couple of changes within the project; regarding page 10 in the packet, he had handed out a larger map showing the wooded area; on page 16 the projects outside the districts added the Country Club underpass to the project plan outside of the district; page 18 included the map handed out at the Joint Review Board which would include the proposed or estimated project locations; and then page 20 includes the developer incentive, which would be carried out in a few more phases and at varying different levels and amounts of monetary value.

Commissioner Cooper asked where the city was with the certification, to which Director Ostrowski stated we are waiting the testing for the Karner blue butterfly which will occur in the first week of June. Once we test for them, we can carve out portions of the commerce center where lupine habitat or lupine are located. Once that has occurred, if needed, information regarding certification can be submitted to the state and hopefully receive certification shortly thereafter.

Commissioner Curless asked what would happen if there was no interest in this land, would we spend the money for improvements, to which Director Ostrowski answered that the improvements would only be done as the properties are developed. He added the value in doing the

improvements this way is to be flexible for a large developer to create the improvements for their needs. Mayor Halverson added the drawback of the current business park is that it does not have any lots over 20 acres available for development, where East Park Commerce Center will have 20, 40, and even 80 acre developments available for a wide variety of uses such as logistics, food production, and even data centers.

Commissioner Patton asked as those expenditures are going to be expended would you come back to the Common Council and Plan Commission for approval, to which Mayor Halverson answered they would not come back to the Plan Commission for approval, but would come back to the Finance Committee and the Common Council for approval.

Commissioner Curless asked if the city would be able to do this project if there was not a TIF district, to which Mayor Halverson explained no, unless you borrow several million dollars directly from the tax base of the city to install whatever utilities that you would need. You would then expose all of the taxpayers of the entire city to those costs as opposed to leverage the collections that in this case would be on a project by project basis to cover the improvements as it progresses. He added that there would be no way to be politically feasible to keep the tax rate at a manageable level to develop nearly 800 acres without using this mechanism.

Commissioner Patton pointed out that we have a history of the Portage County Business Park reaching a plateau and then a lot of land that isn't useable or isn't being developed, what is the confidence of the working group that this is going to be developed within a reasonable amount of time. Mayor Halverson stated this land can sit vacant for 20 years but with the partnerships with the state and with transportation benefits, this is a unique opportunity for development. It is not a guarantee, but with the TIF, this is the best way to ensure the development.

Motion by Commissioner Patton to approve the Resolution Designating Proposed Boundaries and the Project Plan for Tax Incremental District No. 9, City of Stevens Point, Wisconsin; seconded by Alderperson Moore. Motion carried 5-0.

4. Request from D&L Signs, Inc., representing the Stevens Point Municipal Airport, for a sign variance to allow a freestanding sign to exceed the area and height requirements at **4501 Highway 66 (Parcel ID 2408-14-4300-01)**.

Director Ostrowski explained that this request is unique in that the airport is in the R-2 residential zoning district that limits signs to five feet in height, and two square feet in area. Currently, they have a sign that is 15 feet in height and 31 square feet in area. The proposed new sign would be 25 feet tall and 55 square feet in area. He continued stating the intent of the sign is to direct aircrafts to the fueling station. In the review of the request, under our current code in commercial areas, we would not allow any other signs to exceed 20 feet in height. However, this sign location is so far in on this site, and hundreds of feet from the road, if it would go taller and larger, it should not hinder other development around this site.

Alderson Moore stated he knows the pilots have been having issues finding the location of the fueling station with the way it is signed right now. He does not see a problem with a larger sign. Everything at the airport is typically larger in size.

Motion by Alderson Moore to approve the sign variance to allow a freestanding sign that is 25 feet in height and 55 square feet in area; seconded by Commissioner Patton. Motion carried 5-0.

5. Presentation and discussion on a conceptual project review for a parking ramp on University property at **501 Reserve Street (Parcel ID 2408-28-3005-02)** and **2124 Fourth Avenue (Parcel ID 2408-28-3006-28)**.

Director Ostrowski explained this is a conceptual project review to give the developer an opportunity to present what their plan is in order to get public comment early so they can continue with their plan with the ability to make changes prior to spending a significant amount of money on the design. This request is to place a parking structure on lot T, which is north of Fourth Avenue and East of Reserve Street. He continued stating UWSP is looking at constructing a science building on Lot X, which would be just south of Fourth Avenue on the corner by Fremont and Stanley streets. The construction of the new science building would eliminate about 342 parking stalls in Lot X. With the loss of Lot X and T, and the construction of the parking structure, there would be a net gain of about 50 stalls.

Steve Roloff, Arnold and O'Sheridan Inc, was retained by UWSP for the conceptual review of a parking ramp on campus. He explained he is working with two other companies to come up with a functional design for the University. Mr. Roloff explained the current pre-design that was put together for the University has a net capacity of around 600 stalls as replacement for Lot X and combining it with Lot T. He continued explaining where the location of the parking structure would be on Lot T with the ingress/egress on the east and west sides, as well as one-way traffic on the ramp. He said the ramp would only be about half a level below ground with mechanical room in the middle of the ramp, stairs on the northeast and southwest corner and a stairs and an elevator and stairs in the northwest corner. Mr. Roloff then gave an explanation of the traffic study conducted including level of services and how it was decided for the ingress/egress on each side of the parking structure.

Commissioner Patton asked if pedestrian traffic was taken into account during the traffic study, to which Mr. Roloff stated the analysis did include traffic and pedestrian flow. This would decrease the efficiency of the pedestrian traffic, but the university was aware of this and is looking into the situation. Commissioner Patton asked what would be proposed to make it more efficient for the pedestrians, to which Mr. Roloff stated that they have not done any proposals yet due to this still being a pre-design. They are trying to identify the problems and develop solutions.

Commissioner Curless asked if the pedestrian analysis based on the new building being there, to which Mr. Roloff answered no, just on current traffic flow.

Mayor Halverson explained that one of the other issues which had been discussed with the University is that we are going to do a stop gap measure with the pavement management point on Fourth Avenue from Stanley Street to Division Street. He continued stating that this would probably give about three to four years. Once construction is finished on the new science building, we intend to enter into a special assessment project with the University where Fourth Avenue would be reconstructed from Division Street to Stanley Street with massive pedestrian improvements as part of that project.

Kris Anderson, from Ayres Associates, stated they have been looking at the traffic as well as the site design, the layout and the stormwater management. She continued stating the design shows a 10 foot setback on the south and east property lines. She also pointed out the University is concerned with parking for the Newman Center.

Commissioner Curless asked if the design showed parking on the west side right by the snow shoot, to which Ms. Anderson explained there is parking on the west side, but there is also room for the snow shoot without landing on parked cars. She continued stating with the stormwater management plan, there is a redevelopment to clean the water in a bio-retention area on the southwest side and a second area on the northeast side as another option.

Aldersperson Moore asked how it was decided that this is the best location for the ramp, to which Mr. Roloff referred the question to be answered by Carl Rasmussen from the University.

Kris Anderson continued explaining that the adjacent lot that is owned by the university, will have a stairwell leading into a sidewalk to Fourth Avenue and the lot would be landscaped and kept as a buffer zone between the sidewalk and the residential area. Mr. Roloff added that the dumpsters for Pray-Sims hall will have to be moved to the northeast side of the area.

Jeff Piette, from Kahler Slater, was given the task regarding the materials to be used in construction. He stated that the materials shown are a tan colored pre-cast concrete and brick. Mr. Piette added that the openings are large enough to meet code, from a parking garage perspective, but also meant to be window like in openings for security and safety in the stair towers. He added at the top of the garage there is interest in solar panels for sustainability.

Commissioner Patton asked if Mr. Piette had anything to do with the landscaping and if trees would be planted on the south edge, to which Mr. Piette answered this model is not representative of the landscaping now, but there will be some landscaping in the future. Mature trees near the site are the property of the residential land owners. He continued pointing out there is a limitation as to required openings on parking structures, but on the south side neighboring the residences can be made as transparent or opaque as people would like.

Carl Rasmussen, from UWSP, explained that with the construction of the new Chemistry and Biology building in Lot X starting in 2014, with completion in 2017, that this would be a replacement for the

parking from Lot X. Mr. Rasmussen explained that this lot would serve the academic core, as well as the commuter students and events that may be held at the Health Enhancement Center for evenings and weekends. He stated they did look at the other university lots, but lots E and R are both considered to be prime locations for future academic buildings. He added they have another academic building that is coming after the Chemistry and Biology building, that will serve the business majors as well as the communications majors combined into one new structure. Mr. Rasmussen added that Lot P was considered too linear of a form for a ramp structure; there is the need for more of a rectangle shape. He stated Lot Q currently has over a thousand cars and is more of a challenge being so remote from the academic core. Without acquiring residential areas around the campus or businesses from Division Street, Lot T could be used within its existing foot print.

Vern Schroth, 3313 Lindwood Springs, represented the Newman Parish and expressed his concern for parking for their area and the traffic pattern regarding the sidewalk on the west side. Mr. Roloff stated the sidewalk on the west was eliminated in this afternoons meeting, and off of the stair tower in the corner there will be a walk that connects over to Fourth and Fremont.

Dan Griffin, 516 Illinois, stated he liked having the UW in his back yard, but has a concern for his property value and how it will affect his ability to sell. He also had concerns with the increased heat from the structure and if there would be any compensation for landscape issues that may occur.

Kathy Genovese, 517 Illinois Avenue, asked what Plan B was if this project does not go through.

Chris Yahnke, 2324 Fourth Avenue, pointed out lots Q and T increase traffic on Illinois and Stanley, but he has a greater concern for the pedestrian traffic crossing at Fourth and Illinois. He also asked why not Lot J knowing it is farther away, but would not impact the residential neighborhood.

Reid Rocheleau, 408 Cedar Street, pointed out his concerns being the pedestrians and the plans to address the pedestrians on Fourth Avenue. He suggested that if Fourth Avenue would be reconstructed because of this, why not install tunnels under Fourth Avenue by the Quant Gym, and the corner of Illinois and Fourth Avenues. He added he is in favor of a parking structure and suggested sharing costs with the hospital.

Armin Nebel, 1100 Phillips Street, asked what types of outside lighting would be used, and if this would affect the future traffic pattern of a roundabout by the hospital.

Bridget Lohr, 2324 Fourth Avenue, feels that lot P or J would be the better location for the structure. She pointed out that if you build the structure for more people, more people will use it, and also she felt that parking fees should be increased since parking on campus is a privilege not a right. She is also concerned for the security.

Cathy Dugan, 615 Sommers Street, is pleased that the University is considering a parking ramp, but feels this plan is too much for this site, and will be too much for traffic. She pointed out that this

structure will dwarf the existing homes and the increase of traffic will cause issues. Her suggestion is multiple smaller scale ramps around campus.

Alderson Suomi supports the conceptual need for a parking structure, but not one that would be behind residential homes. She feels the assessment will have to go down on the homes because of it, and this will have a large impact on our tax base. Alderson Suomi also pointed out the safety of the students and residents as another concern and feels that a parking structure in lots P or Q would encourage the students to walk. She also feels the creation of this parking structure in Lot T will create blight in the neighborhood.

Steve Roloff, Arnold and O'Sheridan Inc, addressed the lighting stating the UW is big on sustainability and the plan is calling for an LED in the garage with the ability to dim the lights as natural light. In addition, the garage itself could have a solid wall on the residential side that would keep all light and noise in the ramp. He added with the stairwells and the elevator tower, there will be clear glass, to keep the sense of security as everything will be visible from the street.

Carl Rasmussen, from the University, states that parking costs are set by each university, and any structures built for parking are at the cost of the specific university and are not state funded. There are no taxpayer dollars that go into supporting parking construction, management, or snow removal. It has to be solely self funded and once this structure was constructed, no matter what location it would have to be self funded by the people who would park there.

Mr. Roloff addressed the traffic increase concern stating that at peak, it was seen as approximately 330 vehicles per hour, and with the ramp the projected increase is approximately 94 cars per hour.

Mr. Rasmussen addressed the Plan B as to looking at the other sites. The only other alternative is if this project does not go through, to which he stated the University would have to limit who can come and park on campus, such as eliminating freshman parking, which would directly affect the recruitment and retention of students.

Mayor Halverson explained one of the other challenges to the other lots is the adjacent topography and the soils. He continued stating that almost all or a third of the university land was previously marshland, the City also has the concern with the University of finding the balance between growth and keeping the neighborhoods.

Commissioner Patton asked how the City addressed the issues with the residents around Saint Michael's Hospital when they did the parking ramp. Mayor Halverson stated Saint Michael's did a very good job with the design as well as the landscape aesthetics to insulate the impact of the brick structure, and there again there was lots of conversation in regards to potential partnerships. He continued stating that one of the issues back in 2007 and 2008 when dealing with the University's Master Plan is the Common Council generally adopted that plan knowing that the Division Street corridor would be protected from a tax base prospective, but some residences would need to be

acquired especially along the Briggs Street corridor for continued expansion of surface parking in that vicinity.

Commissioner Curless asked the zoning of the properties to the south of the parking ramp, to which Director Ostrowski stated R-2 and R-3. Commissioner Curless suggested rezoning those properties to multi-family; this could prevent any loss of value.

6. Ground lease and property use agreement and occupancy agreement between the City of Stevens Point and the Boys & Girls Club of Portage County, Inc. for the property located at **2442 Sims Avenue and 933 Michigan Avenue (Parcel ID 2408-33-2001-05)**.

Director Ostrowski stated that for several years the Boys and Girls Club have been trying to find a suitable place to relocate. Currently, they are situated in a portion of 1007 Ellis Street in downtown, and their growth needs are limited at this location. With Mid-State Technical College vacating 933 Michigan Avenue this year and relocating downtown, 933 Michigan Avenue/2442 Sims Avenue has been identified as a potential location for the Boys and Girls Club. The City has also contemplated relocating many City Hall offices to this location

Director Ostrowski stated that in the packet there are two agreements (1) the ground lease and property use agreement, and (2) occupancy agreement. The ground lease and property use agreement governs the Parks and Recreation building located at 2442 Sims Avenue, and the occupancy agreement governs the use of the south wing of the MSTC building located at 933 Michigan Avenue.

Director Ostrowski outlined the two agreements. The ground lease and property use agreement for the current Park and Rec building would give the Boys and Girls Club exclusive use to their area of the building. The term is for 30 years, with automatic five year renewals, and the City must give two year notice if it intends not to renew. The property must be used as a boys and girls club, unless authorized by the City. The Boys and Girls Club would have exclusive rights to the gymnasium during specific times outlined in the agreement. Improvement costs would be borne by the Boys and Girls Club, such as a connecting passage between buildings, and the improvements must be approved by the City. The agreement is for a lease rate of \$1.00 per year. Utilities will be separately metered and be paid by the Boys and Girls Club for their use. In regards to maintenance and repairs, the Boys and Girls Club shall pay for all maintenance and repairs to their area, split costs with the City for the common areas, and the City would assume all costs for the parking lot. Alterations would be paid by the Boys and Girls Club with the City's consent. If the Boys and Girls Club would leave, the City would have to compensate them for the current fair market value of the improvements. In addition, the Boys and Girls Club would like a right of first refusal on the entire Parks and Rec building if the City decided to sell.

The occupancy agreement for the current MSTC building would require the City to give the Boys and Girls Club 180 days' notice to terminate. The property must be used as a boys and girls club. The

agreement for the lease is for \$1.00. - Repairs below \$500.00 shall be the responsibility of the Boys and Girls Club. Repairs between \$500.00-\$1,000.00 shall be borne by both parties. Repairs exceeding \$1,000.00 shall be the responsibility of the City.

Upon review of both agreements, staff has the following concerns. With regards to the ground lease agreement, the term of this agreement is for 30 years. A 30 year lease is a significant period of time. We understand that the Boys and Girls Club want stability in a location before making improvements, but 30 years, along with the five year automatic renewals, significantly hinders the ability of the City to make modifications to the agreement or proceed in another direction if warranted. In addition, the City is required to give the Boys and Girls Club a two year notice, while the Boys and Girls Club is only required to give a one year notice to terminate. Staff would recommend that the term of this agreement be reduced to reflect potential changes in City operations. Having specific times for the use of the gym within the agreement significantly hinders the operation of these facilities in the future. Programs can change and new opportunities may emerge. Staff would recommend that the use of this area be scheduled on an annual basis with the Parks and Recreation department. 4(c), Goerke Park, does not seem to be needed within the agreement. Improvements need to be more clearly defined. These shall be capital type items that have a life expectancy of greater than a certain number of years. Staff would recommend that the Boys and Girls Club pay a reasonable lease amount for the facility. The City is giving up space that it could otherwise use for its purposes if it so desired. In addition, leasing spaces for \$1.00 may set precedent with other non-profit type agencies. The Boys and Girls Club shall be responsible for all costs relating to separately metering the building for utilities. In addition, they should pay a fee for the common and/or gymnasium areas, as there is a cost to run utilities for these areas. Maintenance for the gym shall also include structural components, such as the floors, walls, windows, and doors. The Boys and Girls Club should be responsible for the maintenance and repair of the parking lot and related amenities. Staff would recommend increasing the amount of insurance coverage. While staff understands the reason why the surrender of premises section is included within the agreement, we do not feel that the City should bear any costs relating to the buyout of the improvements, especially if the Boys and Girls Club is only paying a lease rate of \$1.00 per year. Staff would recommend not doing a right of first refusal. The City should have the right to sell or transfer the property to any entity that it sees fit. Finally, staff would consider subletting a default within the agreement, and recommend making this at the sole discretion of the City, not "unreasonably withheld, conditioned, or delayed."

With regards to the occupancy agreement, staff would recommend that the Boys and Girls Club pay a reasonable lease amount. In addition, if they are the only occupant within the building, they should pay the entire utility amount, or pay for the cost to separately meter the building and then pay their full amount of the costs. If the Boys and Girls Club is the only occupant within the building, they should be required to pay for the entire maintenance and repair of the facility. The City should not be responsible for repairs over \$1,000, especially if we are only receiving \$1.00 in compensation. Staff would recommend making any alteration subject to City approval and at the sole discretion of the City, not "unreasonably withheld, conditioned, or delayed." Staff would recommend increasing the amount of insurance coverage. Finally, staff would consider subletting a default within the agreement, and recommend making this at the sole discretion of the City, not "unreasonably withheld, conditioned, or delayed."

Director Ostrowski said that while staff understands the need for the Boys and Girls Club to fundraise, and we applaud their efforts, there are certain things that staff would recommend

completing prior to any further negotiations, mainly, the organizational needs analysis and comprehensive space/facilities utilization assessment for city hall. The City recently executed a contract for \$24,000 for a firm to begin work on this study, which is estimated to be completed August, 2013.

Mayor Halverson pointed out that Plan Commission is not the negotiating body regarding entering into agreements, and that the Common Council has instructed officers to negotiate and protect a couple of interests that were of great importance to them. The first was protecting the ability of the main Mid-State building for specific flexibility of review of the facilities needs that will be done by Bray Architects, which is why the southern wing of the building is being dealt with via an occupancy agreement as opposed to a ground lease agreement. The second is to look at areas not used by the Parks Department and other agencies for the impact that we can have for the youth of this community. He added that the costs associated with the building are adequate as, he has no problem representing those costs as appropriate for investment of nearly \$1 million for what they are looking to do to the property. Mayor Halverson also pointed out that whether City Hall moves or not, we have a department that is very interested in staying specifically within their confines. He continued stating that he disagrees with the staff recommendations and feels that the negotiations that exist with current and former legal are very comfortable on the city side of this agreement.

Commissioner Curless stated he feels 30 years is outrageous. He stated that the Village of Plover rents on a month to month, and feels 10 years would be more than adequate. He asked if anyone had considered the university renting the building where we could get income from it, and suggested the Boys and Girls Club to purchase the Player's Lounge.

Aldersperson Moore stated he feels uncomfortable with making any decision until the study comes back and feels that was expressed at the last City Council meeting. He said that we should not move forward at all until the results of the study are received, and we better understand what the building would be used for, what the options are, and what our future plans are.

Motion by Aldersperson Moore to postpone the ground lease and property use agreement and occupancy agreement between the City of Stevens Point and the Boys & Girls Club of Portage County, Inc for the property located at 2442 Sims Avenue and 933 Michigan Avenue (Parcel ID 2408-33-20014-05) until the City Hall feasibility study is complete and presented at the August Common Council meeting; seconded by Commissioner Curless.

Mayor Halverson asked that we hear from the Boys and Girls Club before action was taken on this.

Commissioner Patton asked that the Plan Commission should try to do what they can and feels that is the best spot for the Boys and Girls Club.

Fritz Schierl, representing the Boys and Girls Club stated the 30 year term was needed for the efforts of fundraising. They need to be able to show a more stable location when asking donators for larger

sums of money. He then pointed out that the difference with the Village of Plover location was that the building was intact and did not need any expansion, where this location will and would be making a significant investment. He then explained the usage of the gym. Mr. Schierl explained that the occupancy agreement with the Mid-State Agreement is based on a 180 day revolving lease at no risk to the city; he feels that this would be a good utilization of a wing of the future City Hall.

Commissioner Curless stated that 30 years is too long.

Fritz Schierl stated that he feels that this is an investment in the youth of the community and this is a perfect geographical location for this facility.

Kevin Quevillon, Executive Director of the Boys and Girls Club, stated it is all about location and they have been working on finding a location for the last three years and feels they can serve the most kids being there.

Commissioner Curless pointed out that even if moved to the Player's Lounge area, there would still be the benefit to serve the kids, because the kids will still go there. He also pointed out that the city is getting \$1.00 and we could find a better use for that building and lease it to the University.

Mayor Halverson explained that there are two different elements, one of which is 180 day occupancy agreement where if city hall isn't there and we decided to lease it to the University we still have the freedom to lease 36,000 square feet. He pointed out that the real issue we are talking about it is that is generally temporary and would be a stop gap for the Boys and Girls Club specifically in the interim to start programming in this location. Commissioner Curless points out that we pay them whatever money they had invested, to which Mayor Halverson stated there would not be any money spent on the occupancy agreement. Mayor Halverson continued stating the conversation is about two different types of agreements.

Commissioner Patton asked if this would go before the Finance Committee and will we have some chances to work out some details prior to the August Common Council, to which Mayor Halverson stated when the Plan Commission gets an agreement like this, it needs to deal with it in its entirety and can't renegotiate a legally binding contract on the floor.

Reid Rocheleau, 408 Cedar Street, is supportive of the Boys and Girls Club, but feels this contract is too demanding, he suggested that the Boys and Girls Club buy the building so then they can do what they want with it.

Cathy Dugan, 615 Sommers Street, is in support of the staff recommendations and feels that the agreement should wait until the City Hall study is complete.

Barb Jacob, 1616 Depot Street, stated she is in support of staff recommendations and does support the Boys and Girls Club. She feels it is not a good idea to have the Boys and Girls Club in the middle

of City Hall, and due to the study not being completed, we do not know how to best utilize the property yet. If the Boys and Girls Club is the best alternative, then the City should sell them the property and not lease it to them. She feels the Boys and Girls Club was misled, and there are a lot of decisions that still need to be made and agrees to the postponement.

Commissioner Curless asked if this was still about collection of funds, and asked for further explanation. Mayor Halverson stated there is an occupancy agreement that relates to the southern wing of the of the Mid-State Building and they can be ejected from that particular wing with a 180 day notice, the ground lease is for the land just south and for the construction to connect to the Rec Center.

Commissioner Patton stated that given that we as a Plan Commission are not focused on the contract, but on approving the whole project, he asked if Alderperson Moore would retract his postponement motion so we can move this forward to the other committees for their review. Alderperson Moore stated no, he leaves his motion as it stands because he does not want any construction done until it is decided what the use would specifically be. They may need the vacant land available for the City, and feels the Boys and Girls Club can still fund raise without this agreement in place and there are current facilities for the program now.

Mayor Halverson stated there is currently 36,000 square feet of the building and we currently occupy 21,000 square feet including all city offices in City Hall as well as the Police Department. Given the 15,000-16,000 square feet of buffer, he feels comfortable with the foot print being adequate for 30-40 year growth factor. Mayor then said that with this motion, it would come back in September.

Motion by Alderperson Moore to postpone the ground lease and property use agreement and occupancy agreement between the City of Stevens Point and the Boys & Girls Club of Portage County, Inc for the property located at 2442 Sims Avenue and 933 Michigan Avenue (Parcel ID 2408-33-20014-05) until the City Hall feasibility study is complete and presented at the August Common Council meeting; seconded by Commissioner Curless. Motion carried 3-2, with Mayor Halverson and Commissioner Patton voting in the negative.

7. Adjourn

Meeting Adjourned 8:15 PM.

Administrative Staff Report

Washington Terrace Subdivision - Preliminary Plat
South of Regent St., Between Saint Paul St.
and Dearborn Ave.
June 3, 2013



Department of Community Development
1515 Strongs Avenue, Stevens Point, WI 54481
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p>Applicant(s):</p> <ul style="list-style-type: none">Gabe Thomas, Generations Property Development <p>Staff:</p> <ul style="list-style-type: none">Michael Ostrowski, Director mostrowski@stevenspoint.comKyle Kearns, Associate Planner kkearns@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">2408-28-4001-06 <p>Zone(s):</p> <ul style="list-style-type: none">"R-2" Single Family Residence District"R-3" Single and Two Family Residence District <p>Master Plan:</p> <ul style="list-style-type: none">Residential <p>Council District:</p> <ul style="list-style-type: none">District 8 – Patton <p>Lot Information:</p> <ul style="list-style-type: none">Actual Frontage: 507 feetEffective Frontage: 507 feetEffective Depth: 250 feetSquare Footage: 126,750Acreage: 2.71 <p>Current Use:</p> <ul style="list-style-type: none">Vacant - Woodland <p>Applicable Regulations:</p> <ul style="list-style-type: none">20 and 23.02(1)(e)	<p>Request</p> <p>Request from Gabe Thomas, representing Generations Property Development, for a preliminary plat review of a thirteen (13) lot subdivision, Washington Terrace, south of Regent Street, between Saint Paul Street and Dearborn Avenue (Parcel ID 2408-28-4001-06).</p> <p>Attachment(s)</p> <ul style="list-style-type: none">Parcel Data SheetExhibit MapApplicationPreliminary Plat <p>Findings of Fact</p> <ul style="list-style-type: none">The property is split zoned, R-2 and R-3.Thirteen (13) lots are proposed within the subdivision.Single family homes are proposed and are permitted.Lots are proposed to be developed individually.The area of the lots are either 9,500 or 10,000 square feet (0.22 or 0.23 acres).Frontage for the lots are either 77 or 80 feet.Depth for each lot is 125 feet.All lots meet the requirements of the R-2 and R-3 zoning districts.The division of land into five or more lots shall be considered a major subdivision and required to receive Plan Commission and Common Council approval. <p>Staff Recommendation</p> <p>Based upon the findings below, regarding the proposed use, surrounding neighborhood, zoning and plat, staff recommends approving the preliminary subdivision plat of Washington Terrace with the following conditions:</p> <ul style="list-style-type: none">While not required, staff would recommend that a rezoning request be submitted to the Plan Commission and Common Council requesting a single zoning classification of "R-2" single family so that all the property has a consistent zoning classification.Sidewalks shall be installed along the west side of Dearborn Avenue and the east side of Saint Paul Street.A hydrant shall be installed on the northwest corner at the intersection of Jordan Lane and Saint Paul Street.
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- A park fee shall be submitted to the City of Stevens Point in the amount of \$250.00 per lot.
- A final plat per Chapter 20, Subdivision Control Ordinance shall be submitted and reviewed by the Plan Commission and Common Council within six (6) months of the preliminary plat approval date, conforming to the provisions of Chapter 20 and Chapter 236 of the Wisconsin Statutes.

Vicinity Map



Background

Generations Property Developers is proposing a single family residential subdivision consisting of 13 lots. Lot details are below. Major subdivision plats, anything with 5 or more subdivided lots, shall be reviewed by the Plan Commission and approved by the Common Council.

Proposed Lot Details:

Square footage:	9,500 - 10,000
Acreage:	0.22-0.23 acres
Frontage:	77' - 80'
Depth:	125'

The property is "split zoned," however it is important to note that single family residential homes are permitted within both the R-2 and R-3 district.

Standards of Review

- 1) The proposed subdivision or land division shall be compatible with adjacent land uses and shall maintain the general land use pattern of the area in question.

Analysis: The following are the current City zoning classifications and uses of adjacent properties:

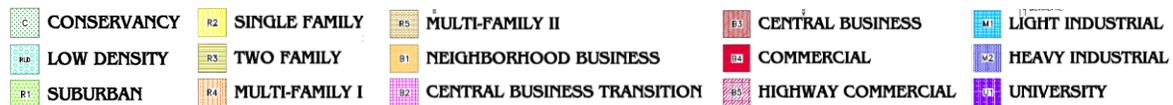
Direction	Zoning	Use
North	"R-4" Multi-Family 1 Residence District	Apartments (2-story)
South	"R-2" Single Family Residence District	Homes & Church
East	"R-3" Single & Two Family Residence District "R-2" Single Family Residence District	Church Homes
West	"R-4" Multi-Family 1 Residence District "R-2" Single Family Residence	Vacant Homes

City of Stevens Zoning Map



Findings: Multi-family residential zoning exists on two sides of the property, to the west and north, with two-family zoning existing on the east. Single family zoning also exists to the east and is very prevalent to the south. One single-family home exists directly adjacent to the property, near the southwest corner.

It is important to note that the property is "split zoned" meaning that the single parcel carries two zoning classifications. The proposed subdivision meets the minimum performance standards in both districts; therefore the property is not required to be rezoned. However, for consistency purposes staff would recommend rezoning the entire parcel to "R-2" Single Family Residence District. About 120' of the north part of the parcel is zoned R-3.



- 2) The proposed subdivision or land division shall result in a development pattern which is compatible with surrounding developments and land uses. Measures of compatibility shall consider at least but not limited to lot sizes, traffic generation, access, noise and visual features.

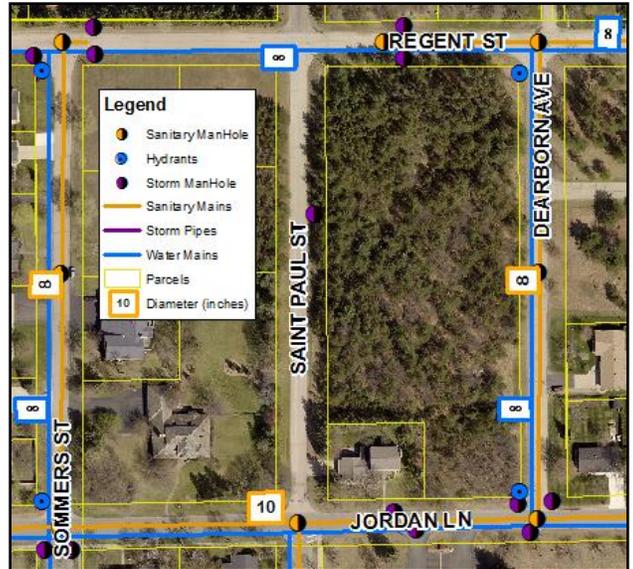
Analysis: Several blocks of single family homes exist to the south with similar lot sizes.

Findings: The development pattern is similar in nature to the uses to the south. The use of duplexes provides for a transition to the more intense uses to the south. Traffic generation noise and visual features will likely be similar in nature to the development to the south.

- 3) The proposed subdivision or land division and the resulting development shall not demonstrably adversely affect the City’s ability to provide future public utilities, install future public improvements or accomplish future annexations. The Plan Commission may consider annexation agreements with the property owner in order to comply with this requirement. The Plan Commission may also consider whether the City and Town(s) have reached an agreement on necessary public improvements and public services facilities required to serve the development.

Analysis: Utilities are being provided to serve the area, specifically along Saint Paul Street, between Regent Street and Jordan Lane.

Findings: The subdivision does not adversely affect the City’s ability to provide future improvements to the area. This standard is met. Staff would however recommend sidewalks be installed on the east side of Saint Paul Street and the west side of Dearborn Avenue to match that of the residential neighborhood and school to the south. Additionally, as hydrants are required at every 300 feet, staff would recommend a hydrant to be installed at the northwest corner at the intersection of Jordan Lane and Saint Paul Street.

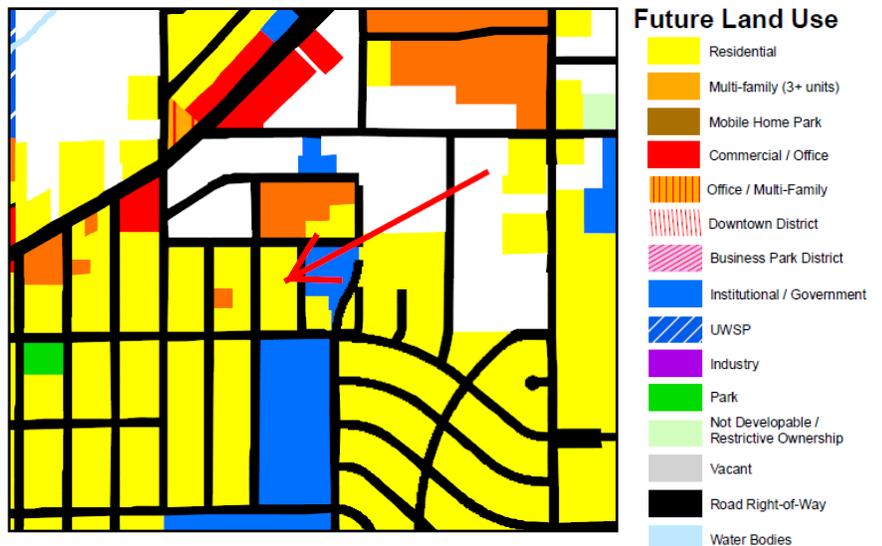


- 4) The proposed subdivision or land division shall comply with one of the following:
- The proposed subdivision or land division shall represent infilling of vacant land. Infilling is defined as a subdivision or land division which will accommodate the development of vacant land located such that surrounding existing land uses render the land impractical for any but similar uses.
 - The proposed subdivision or land division shall provide permanent open space lands for use by the general public in conformance with the adopted Parks and Open Space Plan for Portage County, Wisconsin, the City of Stevens Point adopted Parks and Open Space Plan or the City’s other adopted Comprehensive Plan elements. The permanent open space lands shall be accessible and open for use by the general public.

Analysis: The subdivision is infill development. The development creates 13 lots on a vacant, wooded parcel within a developed area. The City's Comprehensive Plan identifies the future use of the area as single family residential development.

Findings: This standard is met.

*Future Land Use Map
2005 Stevens Point Comprehensive Plan*



[Return to Search Page](#)

[View Map](#)

[Tax Data](#)

[Return to Results Page](#)

2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS		
Viking Holding Inc P O Box 366 Stevens Point, WI 54481		
PARCEL #	240828400106	
PROPERTY ADDRESS	St Paul St & Jordan Ln	
SUBDIVISION	Metes And Bounds	
LAND USE	Vacant Land - Residential	
NEIGHBORHOOD	255 Jnck PlvrH Boy Rslyn Cntrl	
ZONING	R2-SINGLE	

SITE DATA		PERMIT HISTORY			
ACTUAL FRONTAGE	DATE	NUMBER	AMOUNT	PURPOSE	NOTE
507					
FRONTAGE	507.0				
DEPTH	250.0				
SQUARE FOOTAGE	126,750.0				
ACREAGE	2.91				

ASSESSED VALUE 2013					
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
2013 Assessed Values are not yet available. Please select the 2012 tab above to view 2012 assessments.					

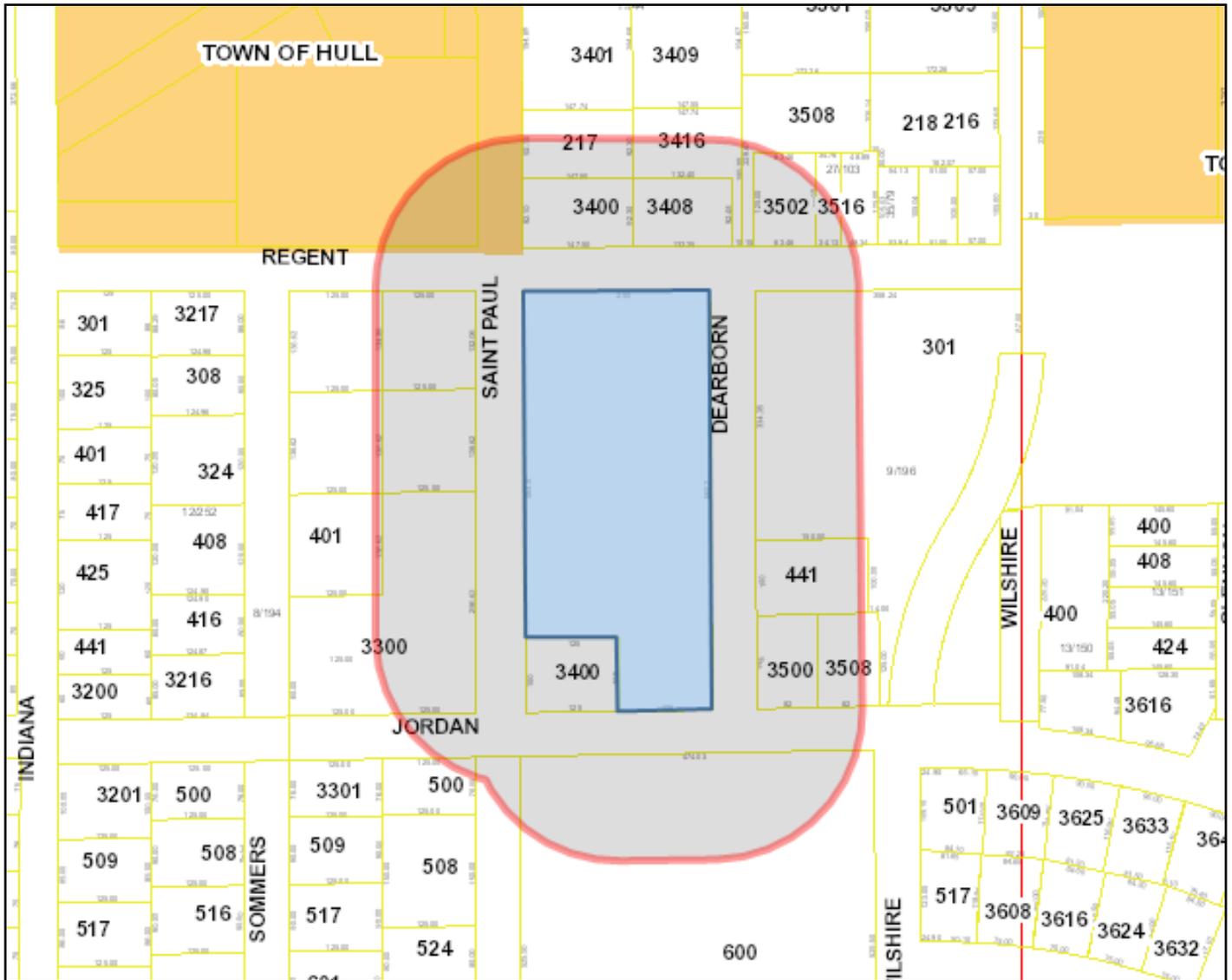
LEGAL DESCRIPTION

PRT NE SE S28 T24 R8 COM ON EL ST PAUL ST 650F E OW WL SD 40 & 130F N OF SL SD 40, TH N 464.5F. E250F, S560.2F, W125F N100F W125F TO POB 2.91A 191/220 606/1069-70

Disclaimer: Information shown here is considered accurate but not guaranteed.
* Additional data may be available by contacting the assessors office.

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Please contact [Webmaster](#) if you have any comments or questions about our site.

Preliminary Subdivision Plat, "Washington Terrace" – south of Regent Street between Dearborn Avenue and Saint Paul Street – Exhibit Map (200 Feet Boundary)



TaxKey	Property Address	Owner Name	Mailing Address	City	State	Zip Code
240828400124	3400 Regent Street	Frank J Laskowski	2503 Torun Road	Stevens Point	WI	54482
240828400123	217 Saint Paul Street	Frank J Laskowski	2503 Torun Road	Stevens Point	WI	54482
240828400106	Saint Paul Street and Jordan Lane	Viking Holding Inc.	P.O. Box 366	Stevens Point	WI	54481
240828400110	3400 Jordan Lane	Saint Paul's Methodist Church	600 Wilshire Blvd	Stevens Point	WI	54481
240828400122	3416 Regent Street	Joshua Y & Amber Y Garbe	324 Indiana Ave N	Stevens Point	WI	54481
240828400125	3406-08 Regent Street	Don R Scaffidi	201 Green Ave N	Stevens Point	WI	54481
240828400107	301 Dearborn Ave	Hmong Alliance Church of Stevens	301 Dearborn Avenue	Stevens Point	WI	54481

		Point Inc.				
240828400104	441 Dearborn Ave	Elmer H & Julie E Krause	441 Dearborn Ave	Stevens Point	WI	54481
240828400102	3500 Jordan Lane	Robert & R Stoltz	3500 Jordan Lane	Stevens Point	WI	54481
240828400103	3508 Jordan Lane	Jeff J & Bevin R Piantino	3508 Jordan Lane	Stevens Point	WI	54481
240828401801	600 Wilshire Blvd	Saint Paul's United Methodist Church	600 Wilshire Blvd	Stevens Point	WI	54481
240828400126	3500-02 Regent Street	Duane A Schultz	717 Mary Ann Ave	Stevens Point	WI	54481
240828400121	3508 Regent Street	Donald J & Florence V Woyak	2931 Birch St	Stevens Point	WI	54481
240828400131	3516 Regent St	Patricia S Stewart	3516 Regent St	Stevens Point	WI	54481
240828400132	3518 Regent St	Jacqueline L Hoppen	3518 Regent St	Stevens Point	WI	54481
240828401701	500 Saint Paul St	Richard & L Fossen	500 Saint Paul St	Stevens Point	WI	54481
240828400220	3300 Jordan Lane	Hans O & Laura L Hofmeister	3300 Jordan Lane	Stevens Point	WI	54481
240828400214	401 Sommers St Unit A	Earle D & Elizabeth Sievwright	401 Sommers St Unit A	Stevens Point	WI	54481
240828400221	Saint Paul St	Viking Holding Inc.	P.O. Box 366	Stevens Point	WI	54481
240828400213	Sommers St	Viking Holding Inc.	P.O. Box 366	Stevens Point	WI	54481
240828400212	Sommers & Regent St	Viking Holding Inc.	P.O. Box 366	Stevens Point	WI	54481
240828400211	Regent & Saint Paul St	Viking Holding Inc.	P.O. Box 366	Stevens Point	WI	54481



PRE-APPLICATION CONFERENCE REQUEST FORM

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Pre-Application Conference Date		Assigned Case Manager					

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	Generations Property Development	Contact Name	Gabe Thomas
Address	3716 Simons St	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	715 346 8819	Telephone	
Fax		Fax	
Email	gthomasc@construction@gmail.com	Email	

PROJECT SUMMARY

Project Type (Select All Applicable)					
Zoning Permit (Optional)	<input type="checkbox"/>	Conditional Use Permit (Required)	<input type="checkbox"/>	Zoning Map Amendment (Required)	<input type="checkbox"/>
Administrative Adjustment (Optional)	<input type="checkbox"/>	Major Site Plan (Required)	<input type="checkbox"/>	Text Amendment (Required)	<input type="checkbox"/>
Variance (Optional)	<input type="checkbox"/>	Minor Subdivision (Required)	<input checked="" type="checkbox"/>		
Minor Site Plan (Optional)	<input checked="" type="checkbox"/>	Major Subdivision (Required)	<input type="checkbox"/>		
Major Site Plan (Required)	<input type="checkbox"/>	Planned Development (Required)	<input type="checkbox"/>		
Project Address:	0 Saint Paul street				
Parcel 1 – Assessor's Parcel ID Number	Parcel 2 – Assessor's Parcel ID Number (if needed)	Parcel 3 – Assessor's Parcel ID Number (if needed)			
281240828400106					
Designated Future Land Use Category			Current Zone District(s)		
Is there a current application associated with this project?					NO
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)					
13 lot development, single family homes.					

SIGNATURES

Signature of Applicant	Date	Signature of Property Owner's (If not the Applicant)	Date
	4/30/13		

Upon turning in this request form, staff will contact you to set up a time to meet to discuss your project.



APPLICATION FOR SUBDIVISION APPROVAL

(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications (if any)		Assigned Case Manager					
Pre-Application Conference Date		Major Subdivision	<input type="checkbox"/>	Minor Subdivision	<input type="checkbox"/>		

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	Generations Property Development	Contact Name	Case Thomas
Address	3716 Simons St	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	715 346 8829	Telephone	
Fax		Fax	
Email	gthomasconstruction@gmail.com	Email	

OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? <input type="checkbox"/>)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subdivision Name		Former Subdivision Name (if any)	
Area of Subject Property (Acres/Sq Ft)	2.93 acres	Proposed Number of Lots	13
Project Address:	0 Saint Paul St.		
Parcel 1 - Assessor's Parcel ID Number	Parcel 2 - Assessor's Parcel ID Number (if needed)	Parcel 3 - Assessor's Parcel ID Number (if needed)	
281240828400106			
Current Use of Subject Property			
Proposed Use of Subject Property	Single family houses		
Designated Future Land Use Category	Current Zone District(s)		
Is there an associated request for a Zoning Map Amendment? If yes provide the application Number?			
Number of Residential Units Proposed	Proposed Gross Residential Density	Commercial Space Proposed Sq. Ft.	
13			
Common Open Space Proposed Sq. Ft.	Primary Open Space Designations (Cluster)	Secondary Open Space Designation (Cluster)	

Source of Utilities:		Streets Created or Extended as part of Subdivision? If Yes What Types?	
Water		Sewer	
Number of Each Type of Building and Individual Units		Proposed Density (Units/Acre)	
Single-Family House	13		
Attached House (duplex)			
Row House (Number of Units)			
Apartment (Number of Units)			
Commercial Building			
Mixed Use Building (number of residential units)			
Industrial Building			
Civic Building / Institutional			
Open Lot			

Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)

Current Zoning Surrounding Subject Property

North:		South:	
East:		West:	

Current Land Use Surrounding Subject Property

North:		South:	
East:		West:	

EXHIBITS (MAJOR SUBDIVISION)

Owner Information Sheet	<input type="checkbox"/>	Additional Exhibits If Any (List):
Letter to District Alderperson	<input type="checkbox"/>	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	<input type="checkbox"/>	
Site Plan (designating primary, side, and service street frontages)	<input type="checkbox"/>	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	<input type="checkbox"/>	
Open Space Plan if Cluster Subdivision	<input type="checkbox"/>	
Street Plan with Cross-sections	<input type="checkbox"/>	
Utility Plan	<input type="checkbox"/>	
Landscape Plan (including any equivalent alternative landscaping requests)	<input type="checkbox"/>	
Stormwater Plan	<input type="checkbox"/>	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner's (If not the Applicant)	Date
	A/30/13		

APPLICANT & OWNER INFORMATION SHEET

Any applicant for a subdivision must provide the applicant's name, address, and respective ownership interest, if any, on the application. In addition, the applicant must provide, in the space provided on this form, a list of all the owners of the property and the holders of any deeds of trust, identifying which owners and holders of deeds of trust are represented by the applicant.

Application Number	Applicant's Name	
	Generations Property Development	
Property Address(es)		
0 St. Paul Street		
Applicant's Address		
3716 Simonis St. Stevens Point WI		
NOTE: If the applicant is not the property owner, this form must be accompanied by a Power of Attorney statement from the property owner.		
Indicate as accurately as possible the form of interest in the property, and the amount held by the individual or entity listed as "applicant" above.		
Fee Title Owner (Has Deed of Ownership)	All	<input type="checkbox"/>
	A Portion	<input type="checkbox"/>
Contract Owner	All	<input type="checkbox"/>
	A Portion	<input type="checkbox"/>
Holder of a Security Interest	All	<input type="checkbox"/>
	A Portion	<input type="checkbox"/>
List the names and addresses of all owners and holders of Deeds of Trust for the property, if any, and indicate which owners or holders of deeds of trust are represented by the applicant in the space below (please add additional pages, if needed).		
Signature of Applicant	Date Signed	
	5/6/13	

PRELIMINARY PLAT OF: WASHINGTON TERRACE

A SUBDIVISION LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 28,
TOWNSHIP 24 NORTH, RANGE 8 EAST, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

SUBDIVIDER

GENERATIONS PROPERTY DEVELOPMENT
c/o GABE THOMAS
3716 SIMONIS STREET
STEVENS POINT, WI 54481

OWNER

VIKING HOLDING INC.
P.O. BOX 366
STEVENS POINT, WI 54481

PROPERTY INFO

TAX PARCEL No: 24082840106
ZONED: R2

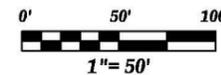
ELEVATIONS

ELEVATIONS ARE REFERENCE TO THE
CITY OF STEVENS POINT DATUM.

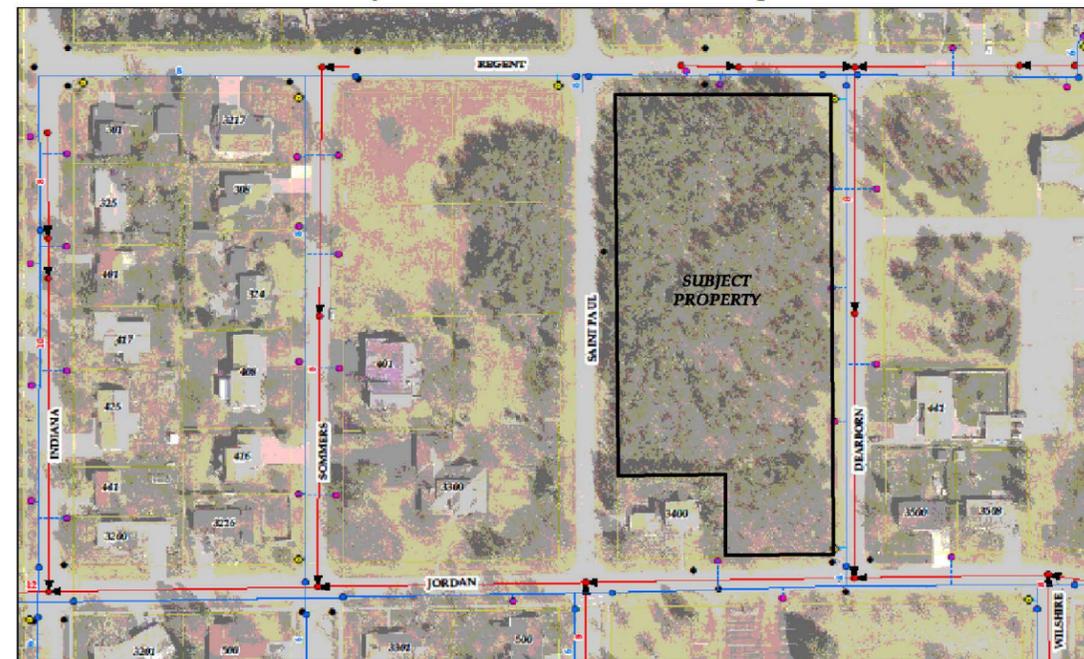
LOCATION SKETCH



SECTION 28, T 24N, R 8 E
(NOT TO SCALE)



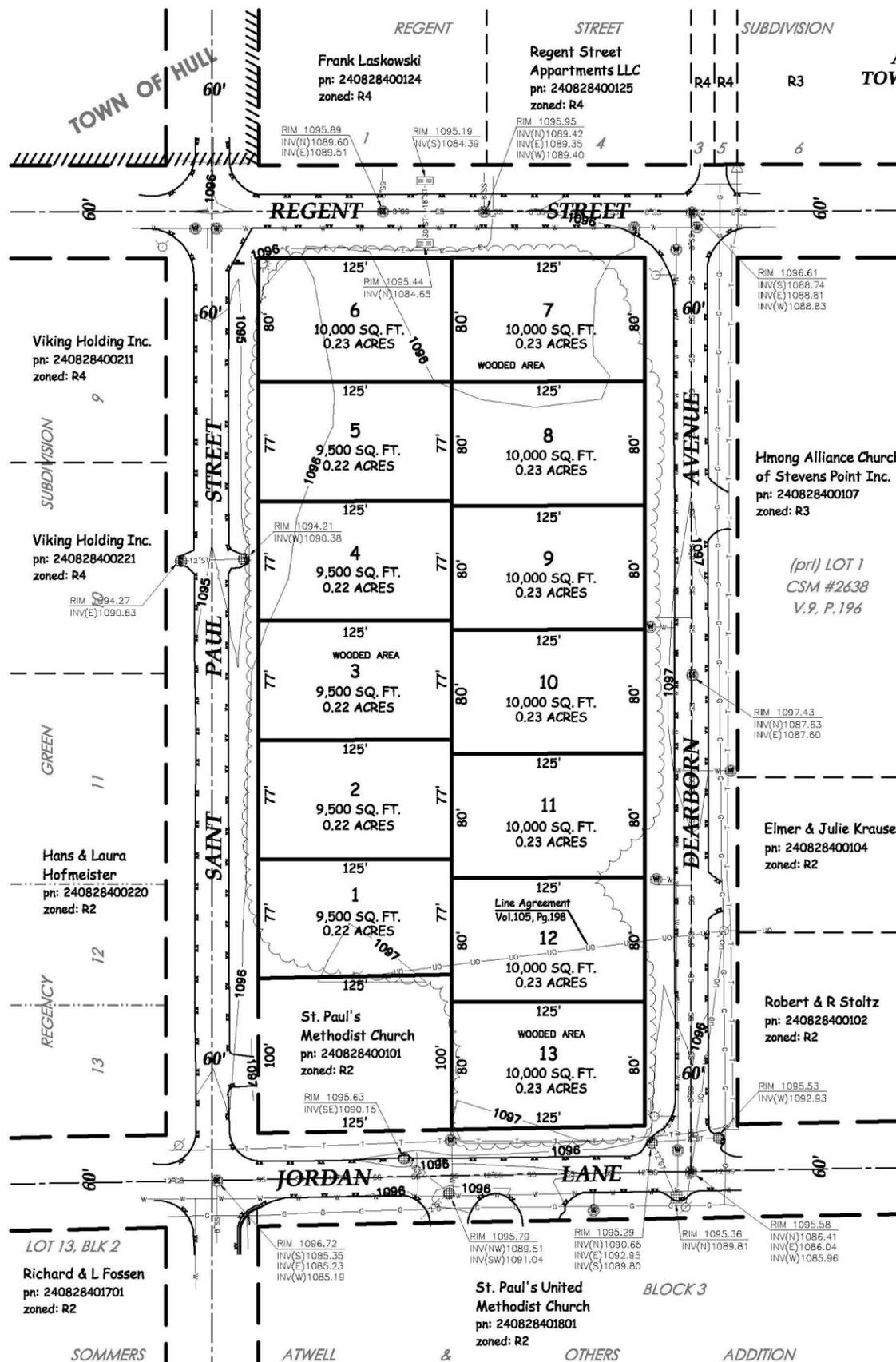
City of Stevens Point Public Utilities Map



LEGEND	
These standard symbols will be found in the drawing.	
	SANITARY SEWER
	STORM SEWER
	OVERHEAD UTILITIES
	BURIED ELECTRIC
	BURIED GAS
	BURIED TELEPHONE
	WATERMAIN
	FIBER OPTICS
	EDGE OF BITUMINOUS CONTOUR LINE
	RECTANGULAR CATCH BASIN
	CIRCULAR CATCH BASIN
	STORM MANHOLE
	SANITARY MANHOLE
	WATER MANHOLE
	GUY WIRE
	HYDRANT
	LIGHTPOLE
	POWERPOLE
	TELEPHONE PEDESTAL
	SIGN

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT. SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS - LOCATIONS ARE APPROXIMATE. PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON MAP. CONTACT DIGGERS HOTLINE FOR LOCATIONS. FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION. UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE. TICKET No.'s: 20131822072, 20131822078, 20131822083, 20131822086, 20131822091.



POB
Point of Beginning

Land Surveying
Engineering
Landscape Architecture
Donald J. Buza, RLS #2338
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (PH) 715.344.9922 (FX)

DATE: MAY 6TH, 2013

REVISIONS	
DATE	5/22/13

SHEET 1 OF 1



Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Plan Staff
CC:
Date: 6/3/2013
Subject: Request from Jay Johnson, representing Riiser Energy, for a site plan review to construct an approximate 1,100 square foot addition onto their existing building at 5485 U.S. Highway 10 East (Parcel ID 2408-35-1300-01).

Jay Johnson, representing Riiser Energy, is requesting a site plan review for an addition to their gas station and convenience store along Highway 10 East. Details pertaining to the building addition are below.

Addition Details:

- 1,124 square feet
- 1-story
- Interior space to be utilized for retail sale of goods.
- Materials to be painted block, brick, red aluminum flashing, and glass.

City ordinance requires the following regarding development along Highway 10 East:

Chapter 23.02(2)

e) "B-5" Highway Commercial

- 5) Site Plan Review. In addition to the standards contained in this and other City ordinances, no building or zoning permit shall be issued for a new use or renovation of any part of an existing use in this Highway Commercial District until the Common Council has approved the site plan for the proposed use. This requirement is adopted to protect the health, safety, and welfare of the citizens of the City and the property owners, to protect the safety of the users of the adjacent highway and the users of the commercial sites of this district, to protect pedestrians, and to protect property values. Site plan review shall include but not be limited to review of compliance with highway access safety considerations, reduction of access points along the highway, alignment of access points directly or almost directly across from each other consistent with the adopted Highway Access Plan, the sharing of drive*

access points between adjacent properties, provisions for access easements necessary to implement the access plan, parking lot layout, joint parking provisions, building setback and entrance/service drive positioning, internal traffic circulation, and compliance with all standards contained in City ordinances.

The site plan shall first be reviewed by the Plan Commission. The Common Council may affirm, affirm with modification, or reject the recommendation of the Plan Commission. If the Plan Commission fails to act upon the request of any applicant within 45 days of the submission of the application, the request may be taken directly to the Common Council without benefit of recommendation by the Plan Commission. The Plan Commission may modify the provision contained in this ordinance if, in their opinion, the policies contained in this ordinance are met.

Staff has reviewed the proposed site plan and concluded that it does not adversely affect surrounding property owners or traffic. Please see the attached site plan and building elevations/renderings. Furthermore, requirements within the district are met, such as parking and screening. With that said, staff recommends approval of the proposed site plan and building addition for Riiser Energy at 5485 Highway 10 East.

[Return to Search Page](#)

[View Map](#)

[Tax Data](#)

[Return to Results Page](#)

2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000
1999	1998	1997											

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS		
Delzell Oil Co c/o R-Store #25 PO Box 239 Wausau, WI 54402		
PARCEL #	240835130001	
PROPERTY ADDRESS	5485 Highway 10 E	
SUBDIVISION	Certified Survey Map	
LAND USE	Store, Mini Mart w/Gas/Car Was	
NEIGHBORHOOD	Hwy 10/39 & East of (Comm)	
ZONING	B5-HWY COMM	

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	284.0	2/16/2012	12-0067	\$38,426	042 Interior Renov/Remodel	bathrooms remodeled
DEPTH	443.0	2/16/2012	12-0067	\$22,980	066 Plumbing	replace bath fixtures
SQUARE FOOTAGE	125,812.0	2/16/2012	12-0067	\$3,665	020 Electrical	repl fixtures/switches
ACREAGE	2.89	6/16/2010	37089	\$18,000	099 Sign	LED price sign/message ctr
		10/12/2005	33618	\$15,697	036 Garage	24 x 30 detached
		9/9/2004	32734	\$3,000	042 Interior Renov/Remodel	remove & install walls
		6/6/2003	31645	\$2,000	099 Sign	canopy
		9/25/1996	26348	\$59,000	110 Storage Bldg/Shed /Gazebo	Building Addition

ASSESSED VALUE 2013					
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
<p>2013 Assessed Values are not yet available. Please select the 2012 tab above to view 2012 assessments.</p>					

LEGAL DESCRIPTION

LOT 1 CSM #3467-12-125 BNG PRT SW NE S35 T24 R8 2.89A ANNEXED -536/124 526/899

BUILDING SUPERSTRUCTURE DATA

BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Gas Station Mini Mart (C avg)	1992	2,334	Masonry - Avg	11
1	2	Gas Station Mini Mart (C avg)	1996	528	Masonry - Avg	11
2	1	Car Wash-Drive Thru (C avg)	1993	864	Masonry - Avg	13
3	1	Warehse, Storage (D low)	2005	720	Wood/Stl Frm - Low	8

STRUCTURE DATA

AGE	21
YEAR BUILT	1992
EFF. YEAR	1995
ONE BEDROOM	
TWO BEDROOM	
THREE BEDROOM	
TOTAL UNITS	
STORIES	1
BUSINESS_NAME	Mobil w/ car wash & mini mart

Disclaimer: Information shown here is considered accurate but not guaranteed.
 * Additional data may be available by contacting the assessors office.

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 Please contact [Webmaster](#) if you have any comments or questions about our site.



City of Stevens Point
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481
(715) 346-1567
(715) 346-1498
communitydevelopment@stevenspoint.com
<http://stevenspoint.com>

PRE-APPLICATION CONFERENCE REQUEST FORM

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted	4-12-13	Fee Required	\$150.00	Fee Paid	--
Pre-Application Conference Date	4-17-13			Assigned Case Manager			

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	Jay Johnson, Agent for Owner - Riiser Energy	Contact Name	Jay Johnson - Ellis Stone Construction Co., Inc.
Address	3201 Stanley Street, PO Box 366	Address	same
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	same
Telephone	715-345-5000	Telephone	same
Fax	715-345-5007	Fax	same
Email	jay@ellisstone.com	Email	same

PROJECT SUMMARY

Project Type (Select All Applicable)			
Zoning Permit (Optional)	<input type="checkbox"/>	Conditional Use Permit (Required)	<input checked="" type="checkbox"/>
Administrative Adjustment (Optional)	<input type="checkbox"/>	Major Site Plan (Required)	<input checked="" type="checkbox"/>
Variance (Optional)	<input type="checkbox"/>	Minor Subdivision (Required)	<input type="checkbox"/>
Minor Site Plan (Optional)	<input type="checkbox"/>	Major Subdivision (Required)	<input type="checkbox"/>
Major Site Plan (Required)	<input type="checkbox"/>	Planned Development (Required)	<input type="checkbox"/>
Project Address: 5485 US Hwy 10 East, Stevens Point			
Parcel 1 - Assessor's Parcel ID Number	Parcel 2 - Assessor's Parcel ID Number (if needed)	Parcel 3 - Assessor's Parcel ID Number (if needed)	
Designated Future Land Use Category		Current Zone District(s)	
B5 Highway Commercial (Gas Station & Convenience Store)		B5 Highway Commercial (Gas Station & Convenience Store)	
Is there a current application associated with this project?			No
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)			
<p>Riiser Energy is planning to expand and remodel their existing Mobil Gas Station & Convenience Store located at 5485 US Hwy 10 East in Stevens Point. A 1124 square foot addition to the convenience store is planned to the south of the existing 2880 square foot existing store. It is also anticipated that the exterior of the store will receive a face-lift to match the current Riiser Energy Gas Station & Convenience Store Prototype. Construction to begin mid-year 2013.</p>			

SIGNATURES

Signature of Applicant	Date	Signature of Property Owner's (If not the Applicant)	Date
	04-12-13	VP	4/12/13

Upon turning in this request form, staff will contact you to set up a time to meet to discuss your project.



P.O. Box 366 • Stevens Point, WI 54481 • (715) 345-5000 Fax: (715) 345-5007
 UPS Address • 3201 State Hwy 66 • Stevens Point, WI 54481

TO: **Michael Ostrowski**
City of Stevens Point
Community Development Director
1515 Strongs Avenue
Stevens Point, WI 54481

DATE: April 30, 2013	PROJECT NO. 12242
ATTENTION: Michael Ostrowski	
RE: Stevens Point R-Store – Remodeling for	
Riiser Energy – 5485 US Hwy 10 East, S.P.	

WE ARE SENDING YOU Attached Under separate cover via Hand Carried The following items:

COPIES	DATE	DESCRIPTION
1	4-29-13	Application for a Site Plan Review & Check No. 084821 for \$150
1	4-29-13	Copy of Notification Letter E-Mailed to Roger Trzebiatowski
3	4-22-13	Copies of Full-Sized Plans & 3-Dimensional Exterior Renderings
10	4-22-13	Copies of Plans Reduced to 11" x 17" Paper & 3D Renderings Reduced to 8.5"x 11"

if enclosures are not as noted, kindly notify us at once.

REMARKS:

Michael,

This is our submittal for the Site Plan Review by the Stevens Point Plan Commission of the proposed building addition to the Riiser Energy Hwy 10 East Mobil Store. Please add this project to the agenda for the June 3, 2013 Plan Commission Meeting.

Thank you,
 Ellis Stone Construction Co., Inc.
 Jay Johnson, Architect

COPY TO: FILE


 JAY JOHNSON, ARCHITECT



APPLICATION FOR A SITE PLAN REVIEW

(Pre-Application Conference is Required for Major and Minor Site Plan Reviews)

ADMINISTRATIVE SUMMARY (Staff Use Only)

1.05245

Application #		Date Submitted		Fee Required	\$150.00	Fee Paid	\$50.00
Associated Applications (if any)				Assigned Case Manager			
Pre-Application Conference Date				Minor Site Plan	<input type="checkbox"/>	Major Site Plan	<input type="checkbox"/>

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	Jay Johnson, Agent for Owner (Ellis Stone Constr.)	Contact Name	Jay Johnson - Ellis Stone Construction Co., Inc.
Address	3201 Stanley Street, PO Box 366	Address	same
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	same
Telephone	715-345-5000	Telephone	same
Fax	715-345-5007	Fax	same
Email	jay@ellisstone.com	Email	same

OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? <input type="checkbox"/>)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name	Riiser Energy - Todd Kopplin (Agent for Owner)	Owner's Name	
Address	709 South 20th Ave. (PO Box 0239)	Address	
City, State, Zip	Wausau, WI 54401 (54402-0239)	City, State, Zip	
Telephone	715-849-6325	Telephone	
Fax		Fax	
Email	tkopplin@riiser.com	Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
5485 Hwy 10 East, Stevens Point		
Legal Description of Subject Property		
Lot 1 of Portage County Certified Map 3467-12-125.		
Area of Subject Property (Acres/Sq Ft)		Area of Requested Rezoning (Acres/Sq Ft)
2.890 Acres		N.A.
Current Zoning District(s)		
B-5 Highway Commercial		

Designated Future Land Use Category	Current Use of Property	Proposed Use of Property
Same	B-5 Hwy Commercial - Gas Station	Same

Describe land use and the development proposed for the subject property. Include the time schedule (If any) for development. (Use additional pages if necessary)

Proposed 1124 square foot building addition to the south & west of the existing convenience store to increase retail sales area for the convenience store.

Current Zoning Surrounding Subject Property			
North:	B-5 Highway Commercial	South:	? - Town of Hull - Residential?
East:	B-5 Highway Commercial	West:	B-5 Highway Commercial
Current Land Use Surrounding Subject Property			
North:	Credit Union	South:	Residential in Town of Hull?
East:	Cap Services Office	West:	Overhead Door Company

EXHIBITS

Owner Information Sheet	<input type="checkbox"/>	Additional Exhibits If Any (List):
Letter to District Alderperson	<input checked="" type="checkbox"/>	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	<input type="checkbox"/>	
Site Plan (designating primary, side, and service street frontages)	<input checked="" type="checkbox"/>	
Building Elevations	<input checked="" type="checkbox"/>	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	<input type="checkbox"/>	
Street Plan with Cross-sections	<input type="checkbox"/>	
Utility Plan	<input type="checkbox"/>	
Landscape Plan (Including any equivalent alternative landscaping requests)	<input type="checkbox"/>	
Stormwater Plan	<input type="checkbox"/>	
Outdoor Lighting Plan (location of fixtures, illumination levels)	<input type="checkbox"/>	← not applicable for this project. ← hard surface area not changing ← relocating wall pack light to new south wall

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner (If not the Applicant)	Date
	04.29.13	 VP	4/29/13



**ELLIS STONE
CONSTRUCTION CO.**

P.O. Box 366 • Stevens Point, WI 54481-0366 • (715) 345-5000 • FAX # (715) 345-5007

04-29-13

Roger Trzebiatowski
Stevens Point 7th District Alderperson
3309 McCulloch St.
Stevens Point, WI 54481

Re: Letter required to be sent to the Alderperson of the district of where the request is taking place for a Site Plan Review, explaining the request for:

A Proposed Building Addition to the Convenience Store at the
Riiser Energy Stevens Point Highway 10 East Mobil Gas Station & Convenience Store
5485 Hwy 10 East
Stevens Point, WI

Mr. Trzebiatowski,

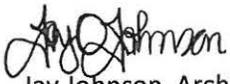
We have been asked by the City of Stevens Point to send this letter to you, as the Stevens Point 7th District Alderperson, explaining the intention of Riiser Energy to add a 1124 square foot building addition to the south and west of their existing Mobil convenience store located at 5485 Hwy 10 East in Stevens Point. The current Stevens Point Zoning Code for the Highway Commercial District states that no building or zoning permit shall be issued for a new use or renovation of any part of an existing use in the Highway Commercial District until the Common Council has approved the site plan for the proposed use.

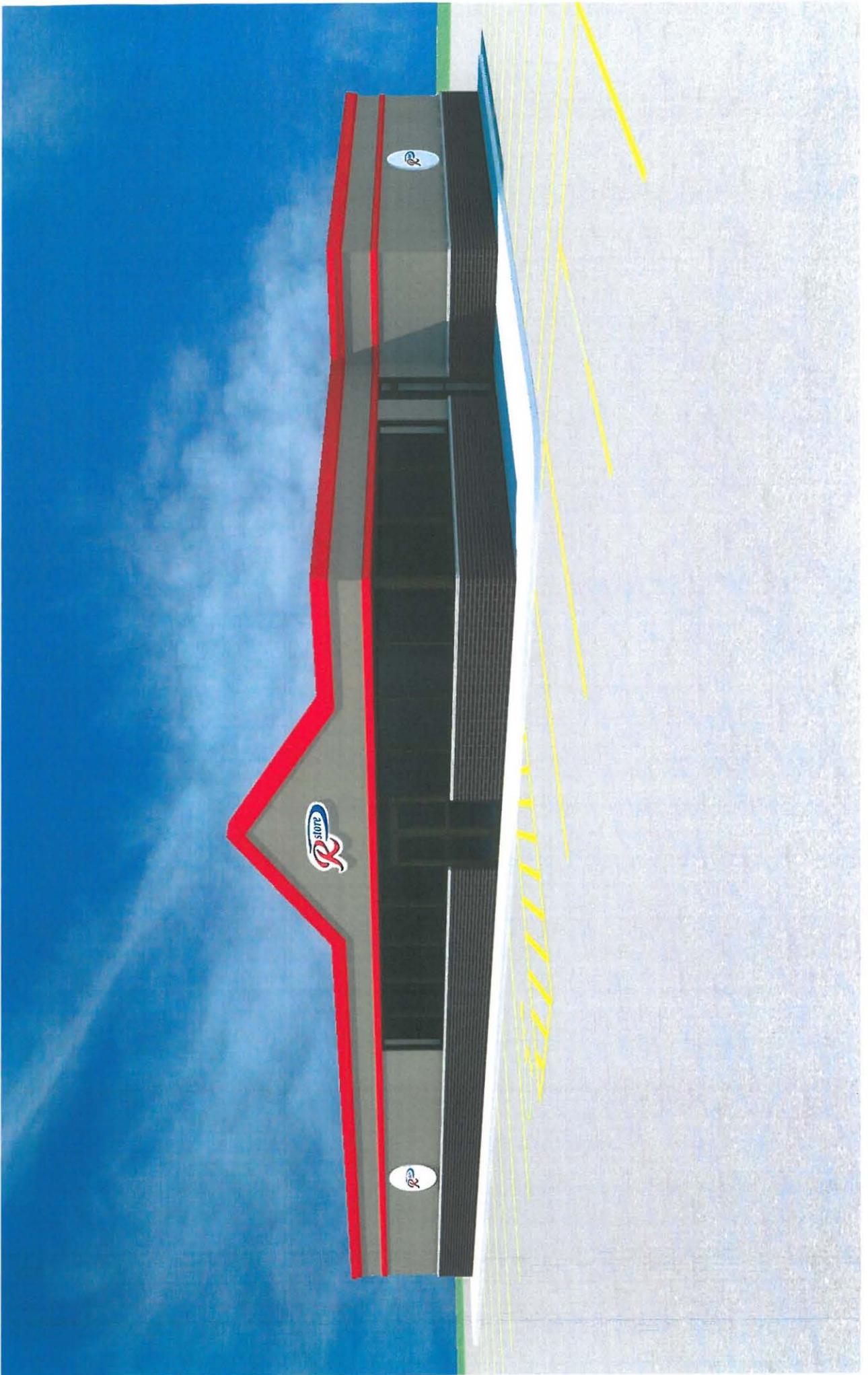
The intent for the use of the building addition by Riiser Energy is to increase their retail sales area for the convenience store. Riiser Energy is in need of additional cooler, freezer, and retail sales area, which will be housed in this building addition. As part of this project, the exterior of the building will be updated to match their new prototype that has been established at a couple of their existing gas stations in the Wausau area.

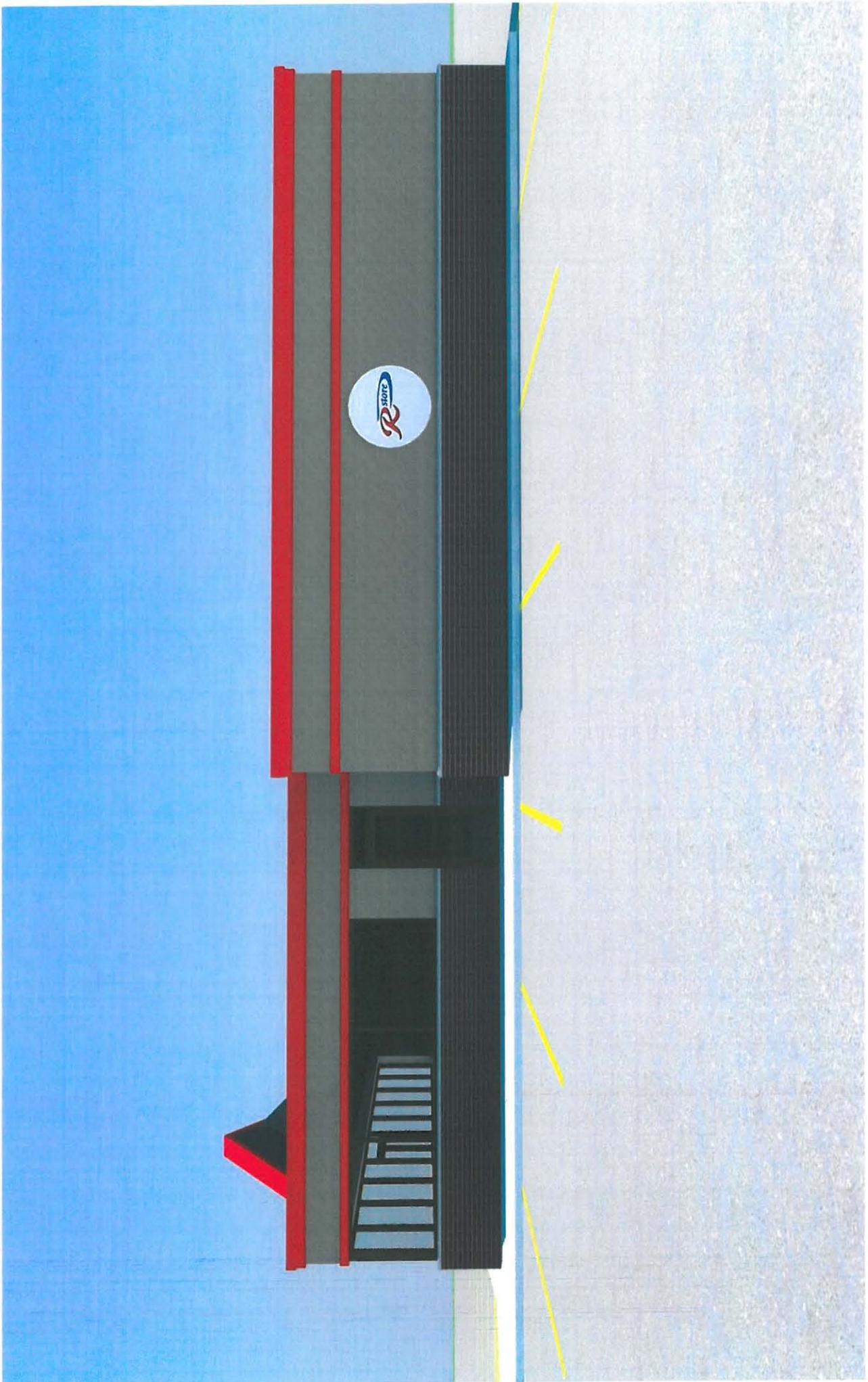
Included with this letter are a site plan, floor plan, exterior building elevations, and 3-dimensional images showing the proposed building addition and the re-facing of the building.

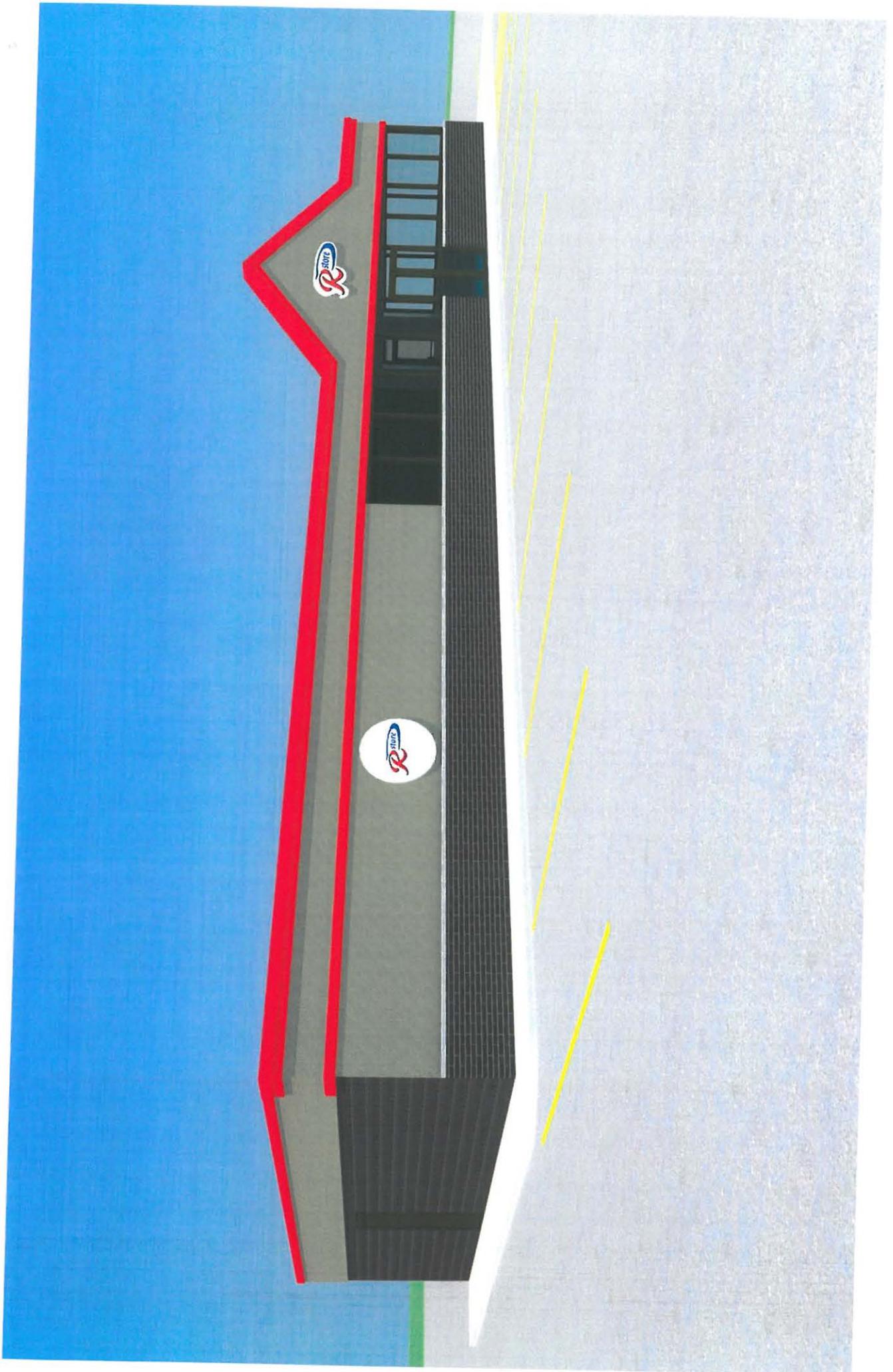
The proposed building addition and remodeling work will begin in late spring or early summer with a proposed construction schedule of approximately 2 to 3 months. We are submitting our application for a site plan review to the city by May 6, 2013, so that the project will be added on the agenda for the June 3, 2013 Plan Commission Meeting and the June 17, 2013 Common Council Meeting.

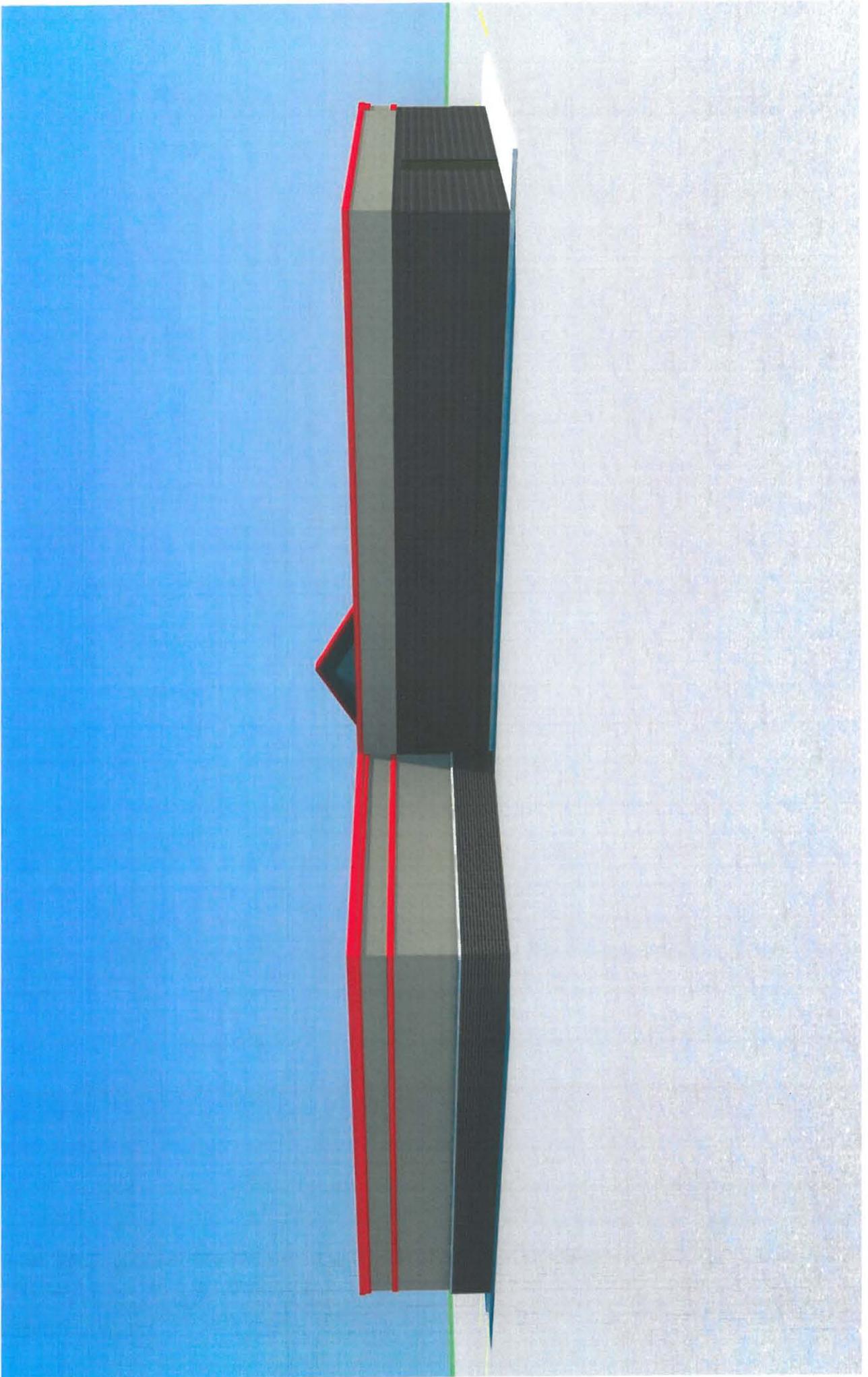
Sincerely,
Ellis Stone Construction Co., Inc.

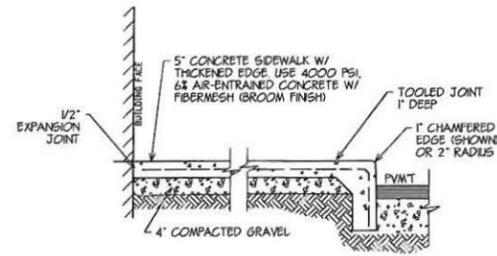

Jay Johnson, Architect



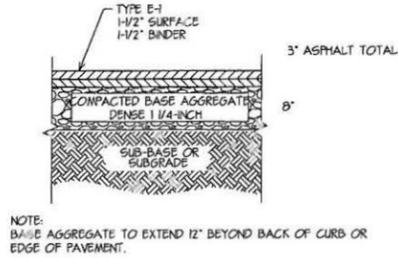




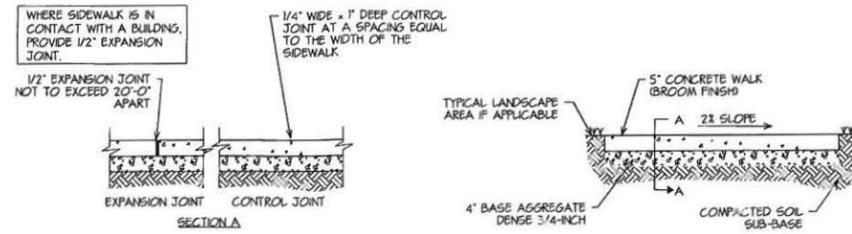




C SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



B ASPHALT PAVEMENT
NOT TO SCALE



A SIDEWALK SECTION
NOT TO SCALE

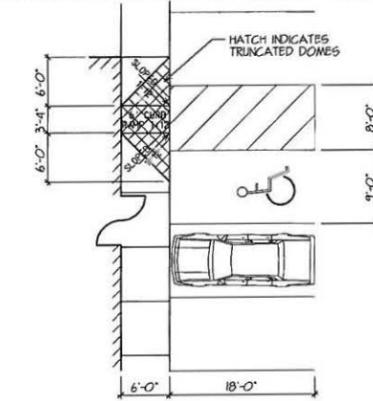
1055 TRUNCATED DOWNS
- DETECTABLE WARNING SURFACES SHALL HAVE TRUNCATED DOWNS COMPLYING WITH SECTION 7055

1055.1 SIZE
- TRUNCATED DOWNS SHALL HAVE A BASE DIAMETER OF 0.9 INCH MIN. TO 1.4 INCH MAX. AND A TOP DIAMETER OF 50 PERCENT MIN. TO 65 PERCENT MAX. OF THE BASE DIAMETER.

1055.2 HEIGHT
- TRUNCATED DOWNS SHALL HAVE A HEIGHT OF 0.2 INCHES.

1055.3 SPACING
- TRUNCATED DOWNS SHALL HAVE A CENTER-TO-CENTER SPACING OF 16 INCHES MIN AND 2.4 INCHES MAX. AND A BASE-TO-BASE SPACING OF 0.65 INCH MIN. MEASURED BETWEEN THE MOST ADJACENT DOWNS ON THE GRID.

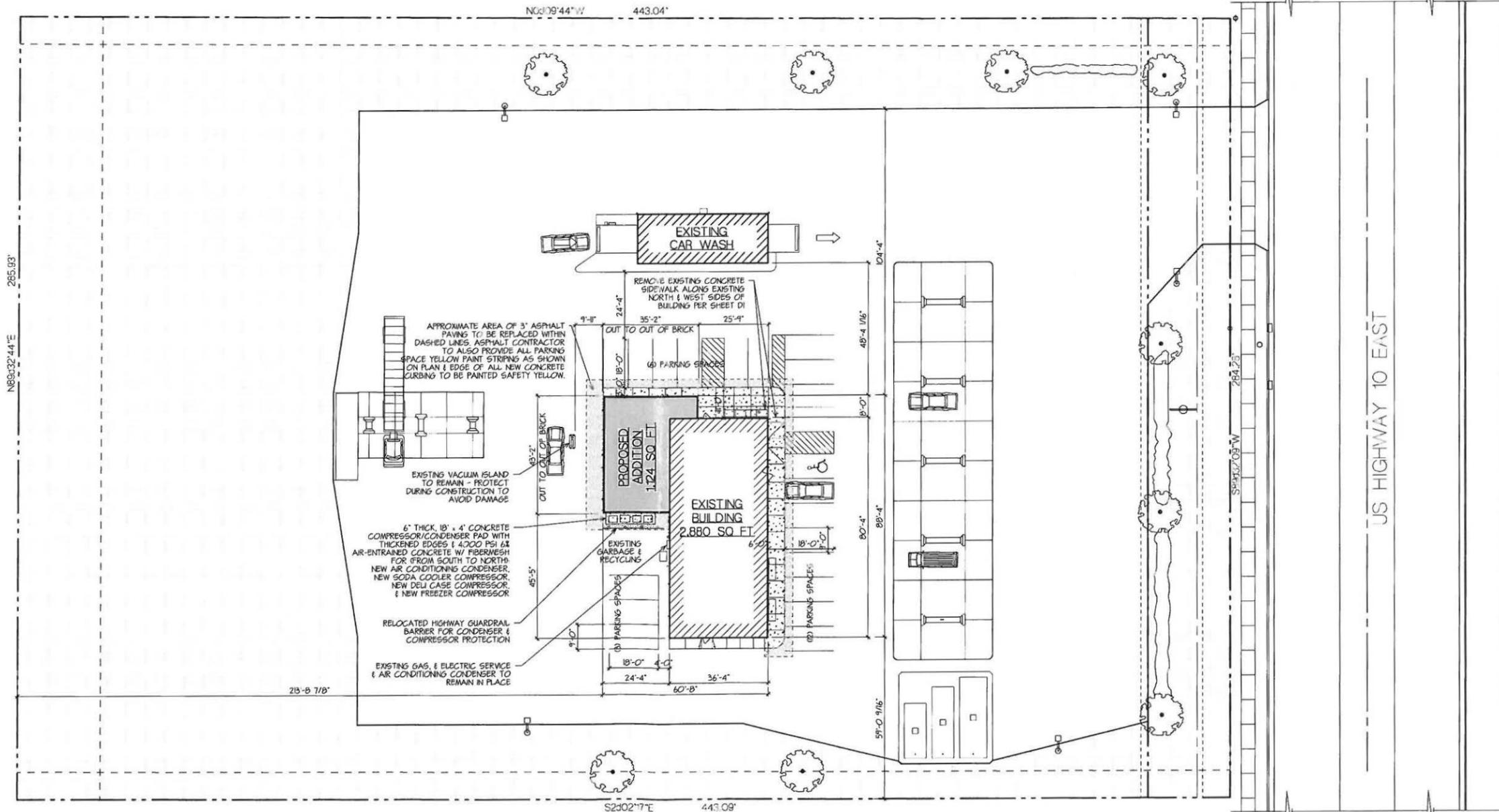
1055.4 ALIGNMENT
- TRUNCATED DOWNS SHALL BE ALIGNED IN A SQUARE GRID PATTERN.



2 ADA CURB RAMP & STALL
NOT TO SCALE

EXISTING BUILDING - 2,880 SQ FT
PROPOSED ADDITION - 1,124 SQ FT
PROPOSED TOTAL - 4,004 SQ FT

PARKING REQUIREMENT - 1 PER 200 SQ FT RETAIL
RETAIL AREA - 2,310 SQ FT
TOTAL GROSS AREA - 4,004 SQ FT
REQUIRED PARKING - @ ADA AND (20) STANDARD
PROPOSED PARKING - @ ADA AND (20) STANDARD



1 SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS

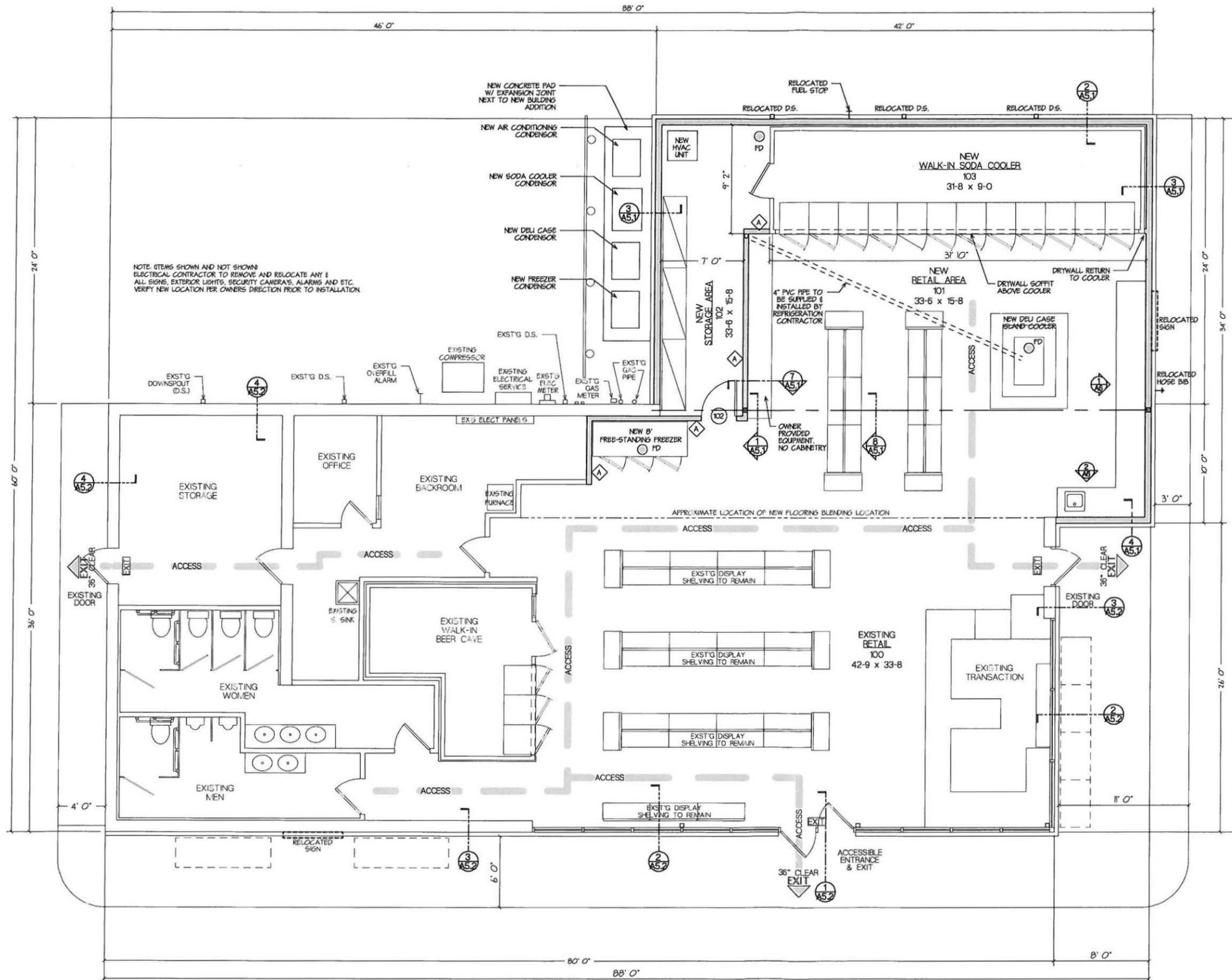
ellis
ELLIS STONE
CONSTRUCTION CO., INC.
P.O. Box 246, Stevens Point, WI 54481-0246
(715) 345-5000, Fax: (715) 345-5007, www.ellisstone.com

STEVENS POINT R-STORE
REMODELING FOR RIBER ENERGY
5495 US HWY 10 EAST
STEVENS POINT, WI 54481

SITE PLAN

DRAWN BY: TD/SC
CHECKED BY: JAY
FILE # 12242-riser_hwy 10 remodel.dwg
DATE: 4-22-23
PROJECT No. 12242
SHEET No.

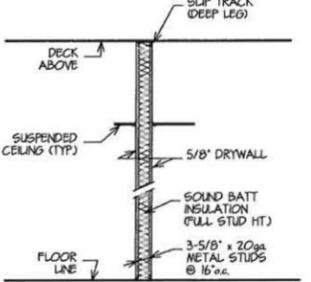
C1



NOTE: ITEMS SHOWN AND NOT SHOWN ELECTRICAL CONTRACTOR TO REMOVE AND RELOCATE ANY & ALL SIGNS, EXTERIOR LIGHTS, SECURITY CAMERAS, ALARMS AND ETC. VERIFY NEW LOCATION PER OWNERS DIRECTION PRIOR TO INSTALLATION.

- GENERAL NOTES:**
1. ALL WORK BY ALL TRADES TO BE PER NATIONAL, STATE & LOCAL CODES.
 2. CONTRACTORS SHOULD REVIEW ALL DRAWINGS ASSOCIATED WITH THIS PROJECT TO IDENTIFY THE SCOPE OF THEIR RESPECTIVE WORK.
 3. BUILDING IS NON-SPRINKLERED.
 4. SEE CABINETRY PLANS / ELEVATIONS FOR LAYOUT, DIMENSIONS, ADDITIONAL INFORMATION, ETC.
 5. SEE CEILING PLAN FOR DROP-WALLS, SOFFITS, EXTENT OF GRID WORK, ETC.
 6. DIMENSIONS ARE TO FACE OF NEW DRYWALL OR AS NOTED ON PLANS.
 7. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING NEW WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 8. SEE FINISH PLANS / SCHEDULES FOR ROOM FINISHES, WALL-MOUNTED ITEMS, MSC, SPECIALTIES, ETC.

- FRAMING & DRYWALL NOTES:**
1. USE 5/8" DRYWALL THROUGHOUT UNLESS NOTED. ALL DRYWALL TO RUN FULL HEIGHT TO UNDERSIDE OF ROOF DECK. FIRE RATED DRYWALL SHOULD NOT BE NECESSARY.
 2. INSTALLATION OF METAL STUDS & DRYWALL SHALL BE PER APPLICABLE MANUFACTURER AND TRADE STANDARDS.
 3. KEEP DRYWALL 1/2" ABOVE CONCRETE FLOOR SLAB. PROVIDE ACOUSTICAL SEALANT, SMOKE SEALANT, ETC. AS REQUIRED.
 4. INSTALL WOOD BLOCKINGS AS NECESSARY FOR CABINETS, SINKS, SHELVES, WALL-MOUNTED EQUIPMENT, ETC. REVIEW ALL DRAWINGS.
 5. PROVIDE MOISTURE RESISTANT DRYWALL AS NECESSARY.
 6. STUD AND DRYWALL CONTRACTOR TO PROVIDE BRACING, ANCHORS, CLIPS, SCREWS, STRAPS, SHIMS, AND ALL ACCESSORIES FOR A COMPLETE INSTALLATION.
 7. PROVIDE (2) STUDS ON EACH SIDE OF DOORWAYS.
 8. ALL WALLS LONGER THAN 12' BETWEEN CORNERS TO HAVE HORIZONTAL BRACING INSTALLED THRU STUDS AT 48"oc AND TO BE BRACED TO STRUCTURE OR ADJACENT CONSTRUCTION.
 9. PROVIDE STUD BLOCKINGS WITHIN STUD FRAMING AT ALL WALLS FOR CABINETS, GRAB BARS, DOOR STOPS, CHAIR RAIL, ETC.
 10. TYPICAL DRYWALL TO BE INSTALLED HORIZONTALLY, WITH STAGGERED JOINTS ON ADJACENT ROWS. FULL HEIGHT DRYWALL TO BE FINISHED TO 6" ABOVE CEILING AND CONTINUE UP TO STRUCTURE WITH ONE COAT TAPE AND FINISH ON AREAS THAT WILL BE CONCEALED.
 11. ALL EXPOSED DRYWALL TO BE FINISHED (TAPE, MUDD, SANDED SMOOTH - READY TO PAINT).
 12. PROVIDE DRYWALL CONTROL JOINTS PER STANDARD TRADE PRACTICES AND AS FOLLOWS:
 - AT ONE SIDE OF OPENINGS LONGER THAN 12' AND TALLER THAN 1/3 OF WALL HEIGHT
 - AT ONE SIDE OF OPENINGS LONGER THAN 8' WITHIN 2' OF ANOTHER OPENING
 - TO BREAK UP A CONTINUOUS WALL INTO SECTIONS NOT TO EXCEED 30 LIN FEET
 - AT ONE OR BOTH ENDS OF SOFFITS OF DROP-WALLS SUSPENDED FROM STRUCTURE AND LONGER THAN 12' THAT CONNECT TO FLOOR-STANDING WALLS.



◆ NEW INTERIOR WALL (TYPICAL)
 (FOR EXTERIOR WALLS, SEE WALL SECTIONS)

2 PARTITION TYPES
 NOT TO SCALE

- WALL KEY:**
- ===== NEW WALL - SOLID HATCH
 - EXISTING WALL - NO HATCH

1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"



REVISIONS

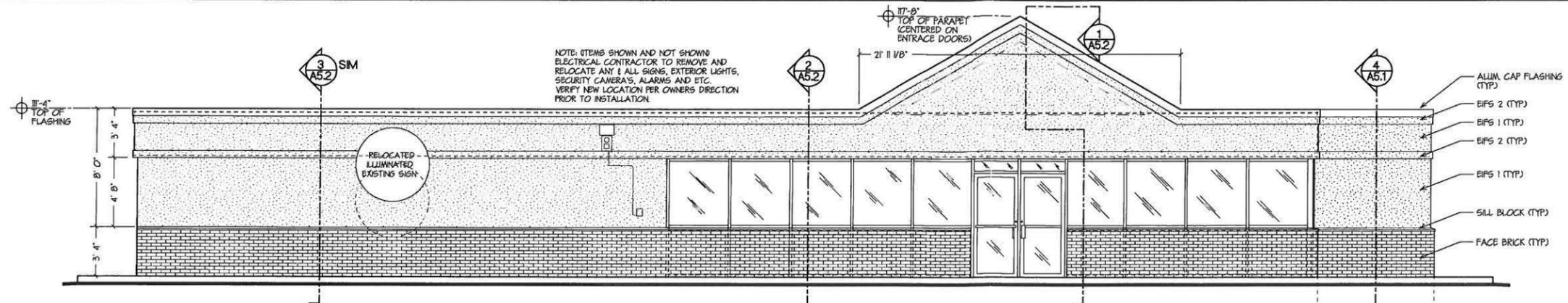
ELLIS STONE CONSTRUCTION CO.
 BUILDING FOR THE FUTURE™
 P.O. Box 355 Stevens Point, WI 54481-0355
 (715) 345-5000, Fax: (715) 345-5001, www.ellisstone.com

STEVENS POINT R-STORE
 REMODELING FOR RIEGER ENERGY
 5496 US HWY 10 EAST
 STEVENS POINT, WI 54481

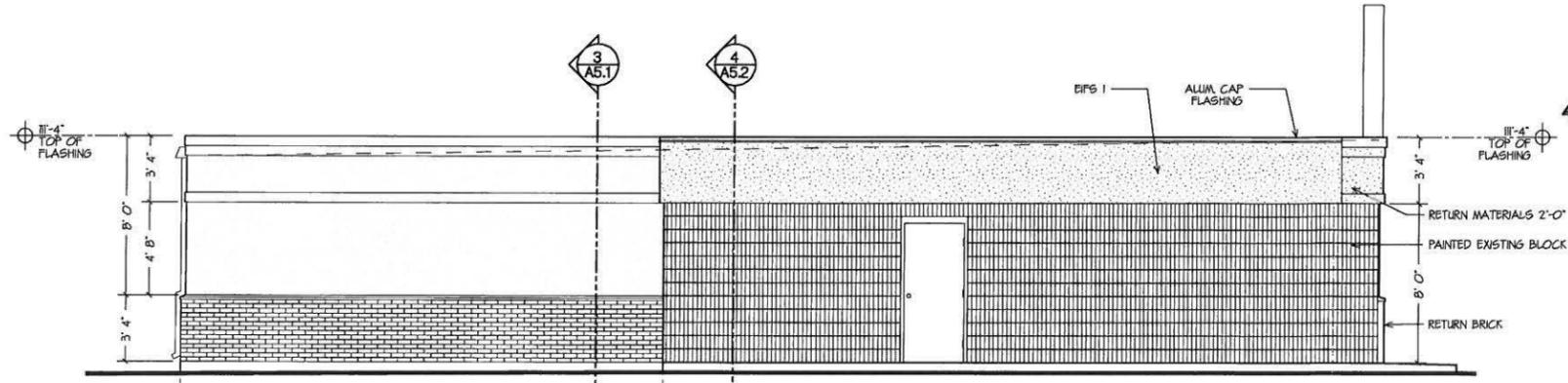
FLOOR PLAN

DRAWN BY:
 TD/SC
 CHECKED BY:
 JAY
 FILE:
 12242-risar hwy 10 remodel.dwg
 DATE:
 4-22-13
 PROJECT NO.
 12242
 SHEET NO.
 A1

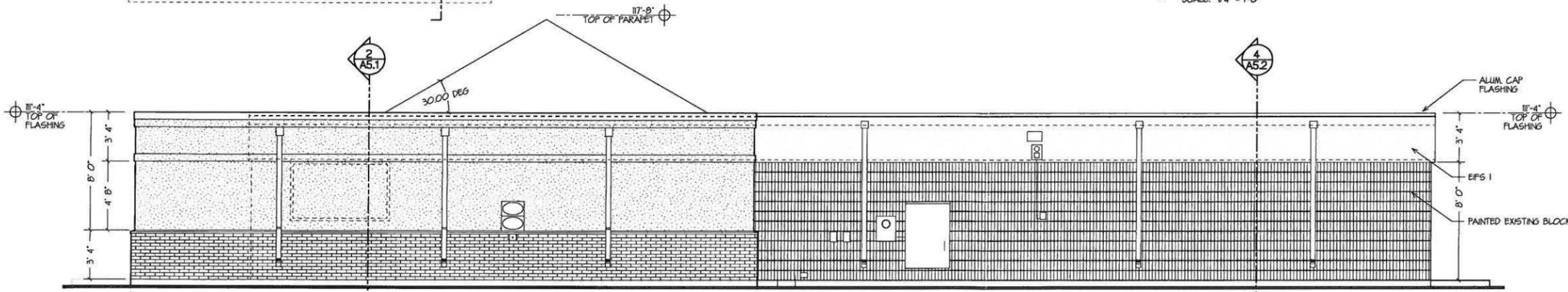
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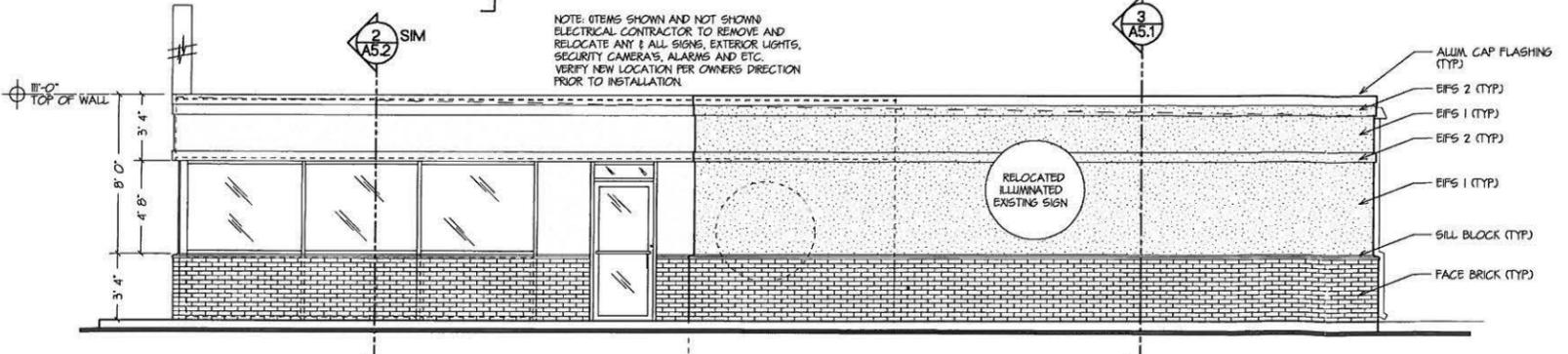
4 NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: ITEMS SHOWN AND NOT SHOWN ELECTRICAL CONTRACTOR TO REMOVE AND RELOCATE ANY & ALL SIGNS, EXTERIOR LIGHTS, SECURITY CAMERAS, ALARMS AND ETC. VERIFY NEW LOCATION PER OWNERS DIRECTION PRIOR TO INSTALLATION.

NOTE: ITEMS SHOWN AND NOT SHOWN ELECTRICAL CONTRACTOR TO REMOVE AND RELOCATE ANY & ALL SIGNS, EXTERIOR LIGHTS, SECURITY CAMERAS, ALARMS AND ETC. VERIFY NEW LOCATION PER OWNERS DIRECTION PRIOR TO INSTALLATION.

EXTERIOR MATERIALS:

- FACE BRICK
HEBRON BRICK COMPANY
SIZE: MODULAR, TEXTURE: VEGOUR, COLOR: BRANDYWINE
- SILL BLOCK
MANUFACTURE TO BE DETERMINED
SIZE: TBD, TEXTURE: TBD, COLOR: TBD
- EXTERIOR INSULATED FINISH SYSTEM
SEE SHEETS A5.1 AND A5.2 FOR DETAIL.
COLOR & TEXTURE TO BE DETERMINED BY OWNER TO MATCH CORPORATE STANDARDS
TEXTURE: TBD
COLOR: TAN
COLOR: RED (MATCH CAP FLASHING)
- PAINTED EXISTING BLOCK
EXISTING BLOCK - APPLY BLOCK FILLER AND (2) COATS OF ELASTOMERIC PAINT
COLOR: BROWN (MATCH FACE BRICK)
- OPEN DOWNSPOUTS & SCUPPERS
ALUMINUM MATERIALS BY ROOFING CONTRACTOR
COLOR: WHITE (MATCH EXISTING)
- PREFINISHED CAP FLASHING
ALUMINUM GRAVEL STOP BY ROOFING CONTRACTOR
COLOR: RED (MATCH EIFS COLOR 2)
- ROOF SYSTEM
CARLISLE .045H REINFORCED MECHANICALLY FASTENED SINGLE-PLY ROOF SYSTEM

REVISIONS

ellis
ELLIS STONE
CONSTRUCTION CO.
"BUILDING FOR THE FUTURE"
P.O. Box 284, Stevens Point, WI 54481
(715) 345-5000, Fax: (715) 345-5007, www.ellisstone.com

STEVENS POINT R-STORE
REMODELING FOR RISER ENERGY
5485 US HWY 10 EAST
STEVENS POINT, WI 54481

EXTERIOR ELEVATIONS

DRAWN BY:
TD/SC
CHECKED BY:
JAY
FILE #:
12242-riser hwy
10 remodel.dwg
DATE:
4-22-15
PROJECT NO.
12242
SHEET NO.

A4

Administrative Staff Report

**Estate Wines
Conditional Use Request
1137 Main Street
June 3, 2013**

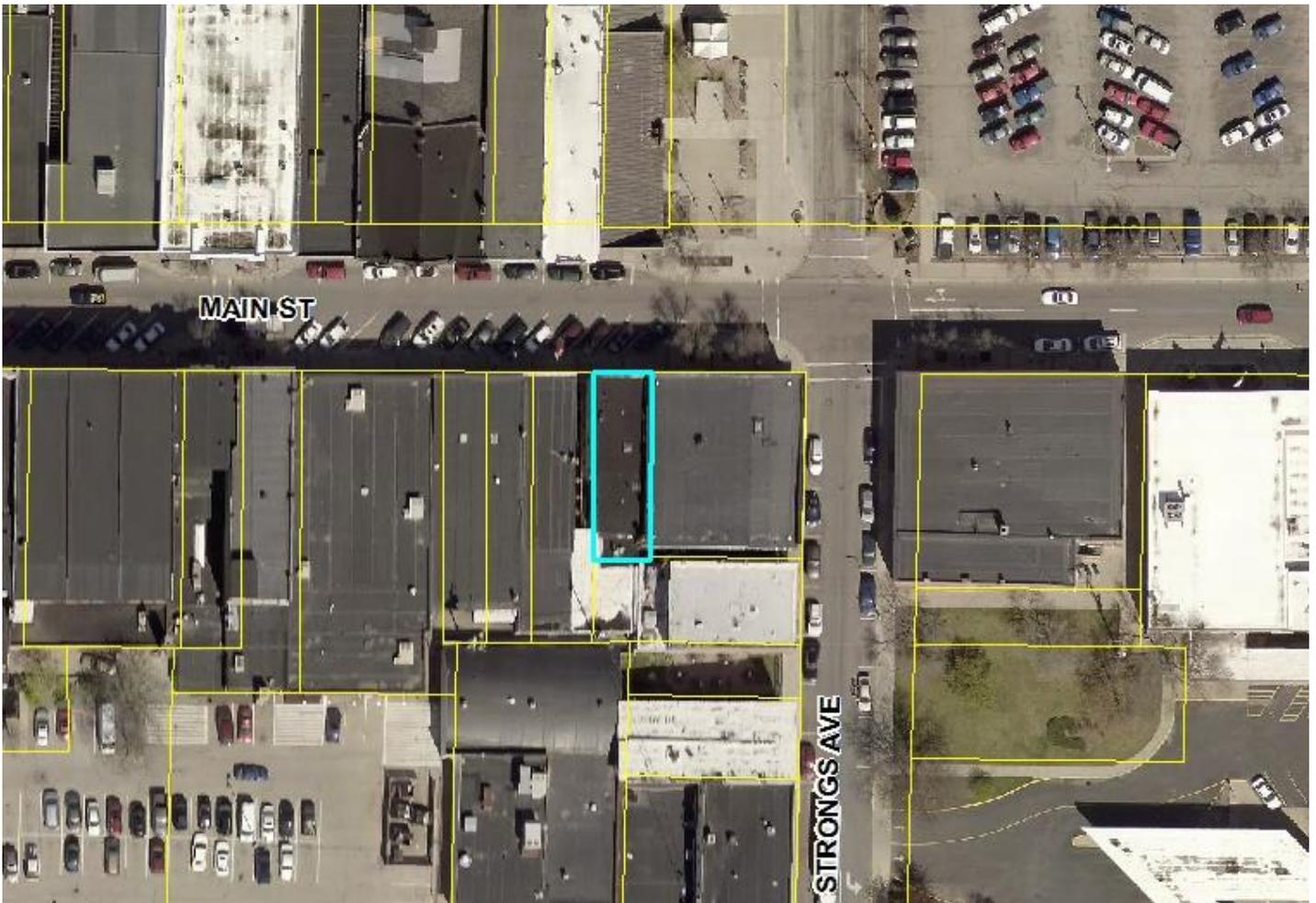


Department of Community Development
1515 Strongs Avenue, Stevens Point, WI 54481
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p>Applicant(s):</p> <ul style="list-style-type: none">• Tom Deppiesse <p>Staff:</p> <ul style="list-style-type: none">• Michael Ostrowski, Director mostrowski@stevenspoint.com• Kyle Kearns, Associate Planner kkearns@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">• 2408-32-2026-37 <p>Zone(s):</p> <ul style="list-style-type: none">• "B-3" Central Business District <p>Master Plan:</p> <ul style="list-style-type: none">• Downtown District <p>Council District:</p> <ul style="list-style-type: none">• District 1 – Doxtator <p>Lot Information:</p> <ul style="list-style-type: none">• Actual Frontage: 25 feet• Effective Frontage: 25 feet• Effective Depth: 84 feet• Square Footage: 2,100• Acreage: 0.05 <p>Current Use:</p> <ul style="list-style-type: none">• Vacant First Floor, Apartments on Second Floor <p>Applicable Regulations:</p> <ul style="list-style-type: none">• 23.01(16), and 23.02(2)(c)	<p>Request</p> <p>Request from Tom Deppiesse, representing Estate Wines, for a conditional use permit to operate a wine bar, serving wine, beer, and liquor at 1137 Main Street (Parcel ID 2408-32-2026-37).</p> <p>Attachment(s)</p> <ul style="list-style-type: none">• Property Data• Exhibit Map• Application <p>Findings of Fact</p> <ul style="list-style-type: none">• The property is zoned "B-3" Central Business District.• The building is currently unoccupied.• The request is to operate a wine bar, serving wine, beer, and liquor, which would require a conditional use permit. <p>Staff Recommendation</p> <p>Approve subject to Plan Commission and staff comments, including the following condition(s):</p> <ul style="list-style-type: none">• The licensee shall maintain order and peace in the licensed premises.• The business must be operated in a manner that music heard from outside the building does not unreasonably disturb the peace and enjoyment of the surrounding properties.• The licensee shall require that all exterior doors be kept closed during hours with live music so that noise does not unreasonably disturb the peace and enjoyment of the surrounding properties. If noise levels become a concern, the City reserves the right to revoke the conditional use permit.• The licensee shall require that the area surrounding the premises be kept clean and orderly. All cups, bottles, cans, garbage, rubbish, cigarettes, etc. shall be properly disposed of at the end of each day, and not left on the property or public right-of-way.• All refuse containers shall be screened from view.• A sidewalk café license may be issued without amending this conditional use.• The establishment must close by midnight daily, and not reopen before 6:00 AM.• The conditional use permit shall expire June 30, 2015.• Any licensed premise established, operated, or maintained in violation
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of any of the provisions or requirements of this conditional use permit shall be grounds for suspension or revocation of this conditional use permit and/or declared to be unlawful and a public nuisance. The City may, in addition to or in lieu of, any other remedies set forth in the Chapter 12 of the Stevens Point Revised Municipal Code, commence an action to enjoin, remove, or abate such nuisance in the manner provided by law and shall take such other steps and apply to such court or courts as may have jurisdiction to grant such relief as will abate or remove such public nuisances, and restrain and enjoin any person(s) from establishing, operating, or maintaining said conditional use contrary to the provisions of this conditional use permit.

Vicinity Map



Background

Mr. Deppiesse, owner of Estate Wines, is requesting a conditional use permit for the purposes of operating a wine bar at 1137 Main Street. The building was previously occupied by a restaurant, and has been vacant for several months. Furthermore, Mr. Deppiesse would serve wine, liquor, beer and an assortment of appetizers. As a full liquor license would be needed to operate and serve alcoholic beverages, a conditional use would be required. Little renovation is needed in the space, as it was renovated to serve its previous use as a restaurant. Estate Wines is proposed to open in July of 2013.

Standards of Review

- 1) The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

Analysis: A restaurant formerly existed within the building and operated for a few years before closing. The owner intends to offer a fine dining experience in a relaxing atmosphere. Although a full menu of food will not be offered, alcoholic beverages will be. Proposed hours of operation differ throughout the week but are primarily from 11 AM to midnight.

Findings: The proposed use is not in conflict with the surrounding area as several restaurants and taverns exist downtown. Furthermore, the proposed use is not a typical tavern or bar, open until 2:00 AM, playing loud music, with several patrons crowded inside. To ensure that noise is minimal and public welfare and safety is maintained, staff would recommend the following conditions:

1. The business must be operated in a manner that music heard from outside the building does not unreasonable disturb the peace and enjoyment of the surrounding properties.
2. The establishment must close to the public as midnight.

- 2) The use will not be injurious to the use and for the purpose already permitted;**

Analysis: The B-3 district is established to provide a single contiguous district encompassing the central business district or downtown area which will encourage primarily retail uses and a variety of supporting uses. This district is intended to help implement the community's specialized development goals and planning principles, for the CBD, particularly the development and maintenance of the downtown area as a specialized pedestrian-oriented shopping and community center.

Findings: The proposed use compliments permitted uses within the B-3 district.

- 3) The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

Analysis: The respective area is an established area of the City.

Findings: The proposed use is not in conflict with the surrounding uses or area.

- 4) The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

Analysis: The respective area is an established area of the City.

Findings: The current building matches the surrounding area in terms of architectural appeal and general function. No exterior changes are planned, except for changes to signage.

- 5) Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

Analysis: The respective area is an established area of the City.

Findings: Utilities currently exist in this area. This standard is met.

- 6) Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

Analysis: The establishment does not have any off street parking, as it is located within the B-3 district, which does not require any.

Findings: Traffic and parking will occur mainly on Main Street.

- 7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

Analysis: The proposed use is within the Central Business District.

Findings: The proposed use is not in conflict with the objectives or the general intent of the Central Business District.

- 8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The lot and building exist. Any exterior improvements shall meet the zoning requirements for the district.

Findings: This standard is met.

- 9) The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

N/A

- 10) Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

- 11) Access to the site shall be safe.**

Analysis: The establishment does not have any off street parking, as it is located within the B-3 district, which does not require any.

Findings: Traffic and parking will occur mainly on Main Street.

- 12) There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

Analysis: The property currently exists, and adequate utilities exist at the site.

Findings: This standard is met.

13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

a. Mechanical equipment including refuse storage shall be screened from neighboring properties.

Analysis: Refuse storage is stored behind the building.

Findings: All containers shall be screened from view.

b. Lighting shall be located to minimize intrusion onto the neighboring properties.

Analysis: No change in lighting is planned.

Findings: This standard is met.

c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.

Analysis: The business will be operating within the confines of the building.

Findings: Staff would recommend that a condition(s) be placed on the conditional use that will ensure that noise levels heard outside the establishment are minimal. If noise levels become a concern, the Commission shall reserve the right to review and recommend the revocation of the conditional use.

14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

N/A

[Return to Search Page](#)

[View Map](#)

[Tax Data](#)

[Return to Results Page](#)

2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000
1999	1998	1997											

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS K Bueno LLC PO Box 651 Stevens Point, WI 54481		
PARCEL #	240832202637	
PROPERTY ADDRESS	1137 Main St	
SUBDIVISION	Certified Survey Map	
LAND USE	Restaurant w/ Apt(s)	
NEIGHBORHOOD	Cntrl Bus & 2nd St area(Comm)	
ZONING	B3-CENTRAL BUSINESS	

OWNERSHIP HISTORY						
OWNER	SALE DATE	AMOUNT	CONVEYANCE	VOLUME	PAGE	SALE TYPE
K Bueno LLC	1/2/2008	\$157,000	Warranty Deed	712606		Land & Buildings
David M Slowinski	12/2/2005	\$145,000	Warranty Deed	682399		Land & Buildings

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE	DATE	NUMBER	AMOUNT	PURPOSE	NOTE	
25	3/5/2008	35315	\$18,500	042 Interior Renov/Remodel		
FRONTAGE 25.0	8/25/1995	25283	\$630	099 Sign		
DEPTH 84.0	8/15/1995	25247	\$32,000	042 Interior Renov/Remodel		
SQUARE FOOTAGE 2,100.0						
ACREAGE 0.05						

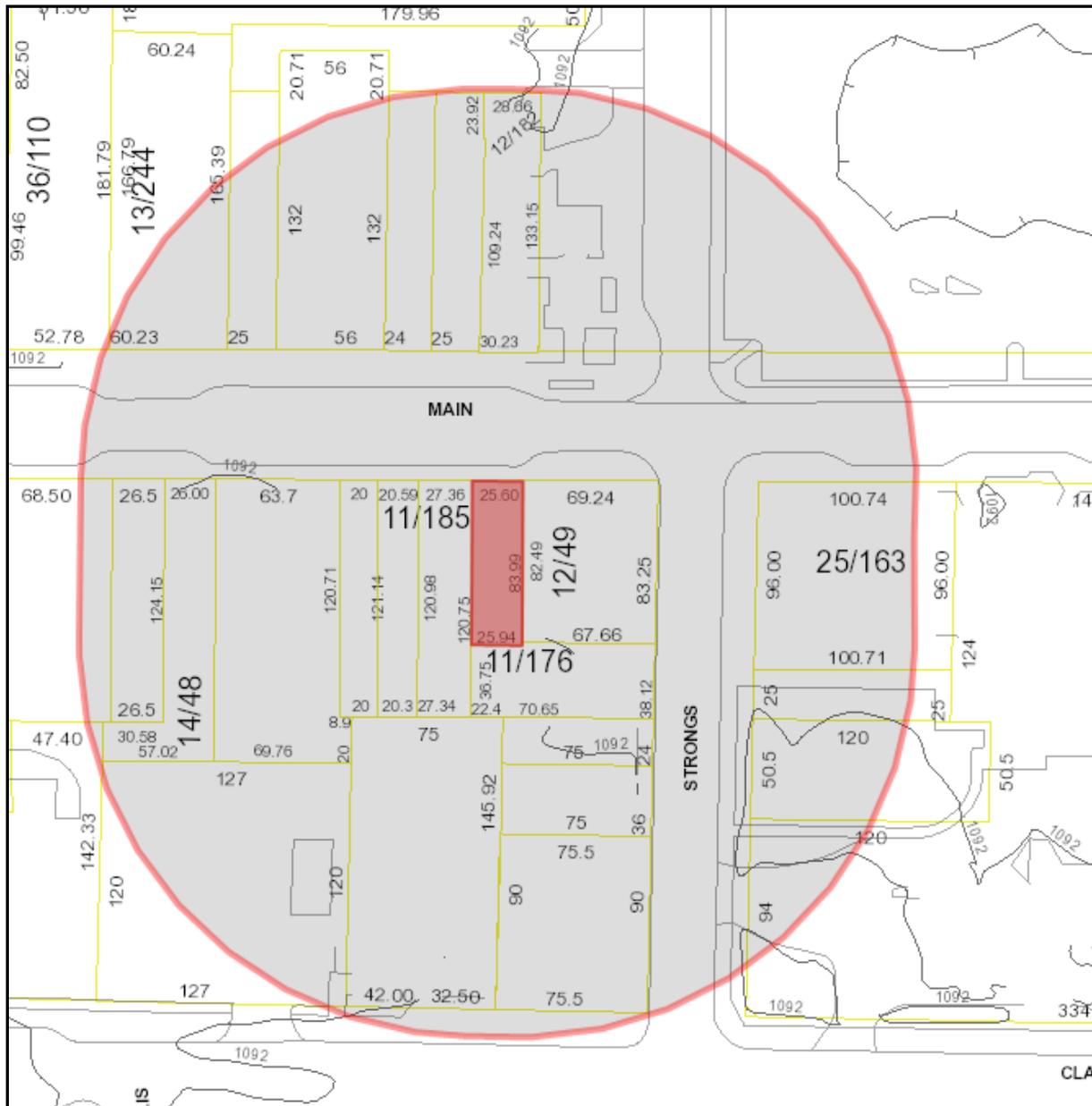
ASSESSED VALUE 2013						
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE	
2013 Assessed Values are not yet available. Please select the 2012 tab above to view 2012 assessments.						

LEGAL DESCRIPTION
LOT 2 CSM #3218-11-176 BNG PRT NE NW S32 T24 R8 ESMT-457/524 682398-CERT 712606

BUILDING SUPERSTRUCTURE DATA						
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Restaurant (D avg)	1900	1,971	Wood Frame - Avg	12

1	2	Apts (D avg)	1900	1,647	Wood Frame - Avg	10
BASEMENT DATA						
BLDG	SEC	ADJUSTMENT DESCRIPTION	AREA			
1	1	Store, Retail - Unfin Bsmnt	1,647			
STRUCTURE DATA						
AGE					113	
YEAR BUILT					1900	
EFF. YEAR					1975	
ONE BEDROOM					1	
TWO BEDROOM					1	
THREE BEDROOM						
TOTAL UNITS					2	
STORIES					2	
BUSINESS_NAME					K Bueno w/ apt above	
Disclaimer: Information shown here is considered accurate but not guaranteed. * Additional data may be available by contacting the assessors office.						
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Conditional Use Permit – Operate a Wine Bar – 1137 Main Street – Exhibit Map (200 Feet Boundary)



Tax Key	Name	Mailing Address	City	Zip	Property Address
281240832202938	BCK RENTALS LLC	1052 Main St LL3	Stevens Point WI	54481	1052 MAIN ST
281240832202939	CENTRAL WISCONSIN CHILDRENS MUSEUM INC	1100 Main St Stop 1	Stevens Point WI	54481	1100 MAIN ST
281240832202929	JEANETTE L & ADA SANDERS	1249 Clark Street	Stevens Point WI	54481	1116 MAIN ST
281240832202928	JEANETTE L & ADA SANDERS	1249 Clark Street	Stevens Point WI	54481	1108 MAIN ST
281240832202930	WILLIAM J & LUANN M STREUR TRUST	1000 S Lynddale Dr	Appleton WI	54914	1136 MAIN ST
281240832202931	GUU INC	1140 Main St	Stevens Point WI	54481	1140 MAIN ST
281240832202932	KARLENE PROPERTIES LLC	1224 Strongs Ave	Stevens Point WI	54481	1148 MAIN ST
281240832202651	CITY OF STEVENS POINT	1515 Strongs Avenue	Stevens Point WI	54481	1001 MAIN ST
281240832202611	ROBERT T WRAY	853 ALABAMA SHORES RD	MUSCLE SHOALS AL	35661	1055 MAIN ST

281240832202610	JEROME L & CARRIE L KAWSKI	2893 River Road	Junction City WI	54443	1059 MAIN ST
281240832202609	PATRICK D & DIANA BARLOW	1497 Old Wausau Road	Stevens Point WI	54481	1101 MAIN ST
281240832202653	PDKB HOLDINGS LLC	1497 Old Wausau Road	Stevens Point WI	54481	1105 MAIN ST
281240832202606	BONITA A BROWN	1121 Main St	Stevens Point WI	54481	1121 MAIN ST
281240832202639	KARL S PNAZEK & BONITA A BROWN	3411 Plover Rd	Plover WI	54467	1125 MAIN ST
281240832202638	KARL S PNAZEK & BONITA A BROWN	3411 Plover Rd	Plover WI	54467	1129 MAIN ST
281240832202637	K BUENO LLC	PO Box 651	Stevens Point WI	54481	1137 MAIN ST
281240832202601	RURAL ESTATES LLC	8215 County Rd I	Custer WI	54423	1141 MAIN ST
281240832202706	BCK RENTALS LLC	1052 Main St LL3	Stevens Point WI	54481	1201 MAIN ST
281240832202704	FIRST NATL BANK	111 West Monroe St	Chicago IL	60603	1245 MAIN ST
281240832202645	TLB PROPERTIES LLC	1720 Ridgewood Circle	Plover WI	54467	1320 STRONGS AVE
281240832202707	FIRST NATL BANK	111 West Monroe St	Chicago IL	60603	1323 STRONGS AVE
281240832202634	TLB PROPERTIES	1720 Ridgewood Cir	Plover WI	54467	0 STRONGS AVE
281240832202630	ELKS LODGE #641	1132 Clark St	Stevens Point WI	54481	1132 CLARK ST
281240832202708	FIRST NATL BANK	111 West Monroe St	Chicago IL	60603	1329 STRONGS AVE
281240832202629	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54484	0 CLARK ST
281240832202633	Larry & SARA RAIKOWSKI	4025 County Road H & O	Junction City WI	54443	1332 STRONGS AVE
281240832202632	JEFFERY W BROWN & KRISTEN M MERTES	1159 Wilshire Dr	Stevens Point WI	54481	1140 CLARK ST
281240832202965	COMMUNITY DEVELOPMENT AUTHORITY	1515 STRONGS AVE	STEVENS POINT WI	54481	CENTERPOINT DR



1515 Strongs Avenue, Stevens Point, WI 54481
(715) 346-1567
(715) 346-1498
communitydevelopment@stevenspoint.com
http://stevenspoint.com

APPLICATION FOR A CONDITIONAL USE PERMIT
(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #	-	Date Submitted	07/0/13	Fee Required		Fee Paid	\$250
Associated Applications if Any	-	Assigned Case Manager	Kyle Kearns	Conditional Use Permit Request	Use <input type="checkbox"/>		1-52585 5/15/13
Pre-Application Conference Date	-						

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant?) <input checked="" type="checkbox"/>	
Applicant Name	Tom Deppresse	Contact Name	
Address	2902 Frontenac Ave	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	414-899-9892	Telephone	
Fax		Fax	
Email	iwantgoodwine@yahoo.com	Email	

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? <input type="checkbox"/>)		PROPERTY OWNER 2 INFORMATION (If Needed)	
Owner's Name	Rael Halsey	Owner's Name	
Address	1137 Main St.	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	715-630-9333	Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]

Parcel 1	Parcel 2	Parcel 3
2408-32-2026-37		

Legal Description of Subject Property

Lot 2 CSM # 3218-11-176 BNG PRT NE NW S32 T24 R8
ESMT - 457/524 682398 - CBRT 712606

Designated Future Land Use Category	Current Use of Property
Downtown District - Commercial	Commercial

Explain the land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)

The plan is to open up a upscale wine bar with appetizers. I will be offering wine by the glass or bottle and will have the following summer hours;
Monday - closed, Tuesday 11am - 10pm, Wednesday 11am - 11pm, Thursday 11am - mid night
Friday 11am - mid night, Saturday 11am - mid night, Sunday Noon - 6pm

How will the proposed development reinforce the existing or planned character of the neighborhood? (Use additional pages if necessary)

Filling vacant building

Outline steps that will be taken to reduce any negative impacts on adjacent property. (Use additional pages if necessary)

Since I am running an upscale type of business and will not be open late, I shouldn't have issues with late night party goers

Current Zoning Surrounding Subject Property

North:	B-3 Central Business	South:	" "
East:	" "	West:	" "

Current Land Use Surrounding Subject Property

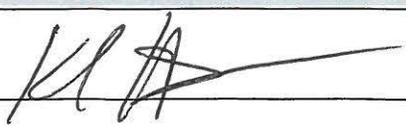
North:	Mixed Use (Com. & Res)	South:	" "
East:	" "	West:	" "

EXHIBITS

Owner Information Sheet	<input type="checkbox"/>	Additional Exhibits If Any:
Letter to District Alderperson	<input type="checkbox"/>	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	<input type="checkbox"/>	
Site Plan (designating primary, side, and service street frontages)	<input type="checkbox"/>	
Building Elevations	<input type="checkbox"/>	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	<input type="checkbox"/>	
Street Plan with Cross-sections	<input type="checkbox"/>	
Utility Plan	<input type="checkbox"/>	
Landscape Plan (including any equivalent alternative landscaping requests)	<input type="checkbox"/>	
Stormwater Plan	<input type="checkbox"/>	
Outdoor Lighting Plan (location of fixtures, illumination levels)	<input type="checkbox"/>	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner's (if not the Applicant)	Date
	5/10/13		5/10/13

APPLICANT & OWNER INFORMATION SHEET

Any applicant for a conditional use permit must provide the applicant's name, address, and respective ownership interest, if any, on the application. In addition, the applicant must provide, in the space provided on this form, a list of all the owners of the property and the holders of any deeds of trust, identifying which owners and holders of deeds of trust are represented by the applicant.

Application Number	Applicant's Name
	Tom Deppierse

Property Address(es)
1137 Main Street

Applicant's Address
2902 Frontenac Ave

NOTE: If the applicant is not the property owner, this form must be accompanied by a Power of Attorney statement from the property owner.

Indicate as accurately as possible the form of interest in the property, and the amount held by the individual or entity listed as "applicant" above.

Fee Title Owner (Has Deed of Ownership)	All	<input type="checkbox"/>
	A Portion	<input type="checkbox"/>
Contract Owner	All	<input type="checkbox"/>
	A Portion	<input type="checkbox"/>
Holder of a Security Interest	All	<input type="checkbox"/>
	A Portion	<input type="checkbox"/>

List the names and addresses of all owners and holders of Deeds of Trust for the property, if any, and indicate which owners or holders of deeds of trust are represented by the applicant in the space below (please add additional pages, if needed).

Signature of Applicant	Date Signed
	5/10/13

Administrative Staff Report

Cooper Oil Site Plan & Parking Lot Review
3209 Church Street
June 3, 2013



Department of Community Development
1515 Strongs Avenue, Stevens Point, WI 54481
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p>Applicant(s):</p> <ul style="list-style-type: none">• Bill Cooper <p>Staff:</p> <ul style="list-style-type: none">• Michael Ostrowski, Director mostrowski@stevenspoint.com• Kyle Kearns, Associate Planner kkearns@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">• 2308-04-3007-02 <p>Zone(s):</p> <ul style="list-style-type: none">• "B-4" Commercial District <p>Master Plan:</p> <ul style="list-style-type: none">• Commercial/Office/Multi-Family <p>Council District:</p> <ul style="list-style-type: none">• District 10 – Phillips <p>Lot Information:</p> <ul style="list-style-type: none">• Actual Frontage: 95 feet• Effective Frontage: 95 feet• Effective Depth: 148 feet• Square Footage: 14,060• Acreage: 0.32 <p>Current Use:</p> <ul style="list-style-type: none">• Gas / Convenience Store <p>Applicable Regulations:</p> <ul style="list-style-type: none">• 23.01(14)	<p>Request</p> <p>Request from Bill Cooper, representing BP Gas Station, for a parking lot modification to repave the parking and fueling areas without meeting the landscape setback area requirements at 3209 Church Street (Parcel ID 2308-04-3007-02).</p> <p>Attachment(s)</p> <ul style="list-style-type: none">• Property Data• Application• Site Plan <p>Staff Recommendation</p> <p>Approve, subject to the following conditions:</p> <ul style="list-style-type: none">• A stormwater drainage plan shall be submitted and reviewed by the Public Works department, meeting all stormwater requirements.• A permit shall be obtained from the Community Development department for the parking lot reconstruction.• Clearview requirements shall be maintained.• Parking stalls shall be striped, clearly identifying them on the property.
---	--

Vicinity Map



Background

Bill Cooper is requesting a site plan review to reconstruct a parking lot at 3209 Church Street. The property and parking lot currently exist, however, the parking lot is in rough condition. Black top will be replaced along with new drains to better serve stormwater. Furthermore, he has submitted a site plan outlining the building, parking, setbacks, and layout of the property. Our Zoning Ordinance requires the following pertaining to the reconstruction of parking lots:

Common Requirements

Any parking lot containing ten (10) or more contiguous spaces shall be hard-surfaced with bituminous or Portland cement concrete. On the site of a building or open lot use providing an off-street parking area of five (5) or more contiguous spaces, there shall be provided landscaping between such area and the street right-of-way and/or property line as follows:

- a) Parking Lot Setback. In all zoning districts, parking lots shall be setback from the property line as required by the attached charts. Said strip shall be planted with trees and groundcover as described below:*

PARKING LOT SETBACK – STREET RIGHT OF WAY SETBACK

SIDE AND REAR YARD PARKING LOT SETBACK

USE	ACROSS FROM ZONING DISTRICT												USE	ACROSS FROM ZONING DISTRICT											
	R1	R2	R3	R4	R5	B1	B2	B3	B4	B5	M1	M2		R1	R2	R3	R4	R5	B1	B2	B3	B4	B5	M1	M2
Cons & RLD	30	30	30	30	30	30	30	30	30	30	30	30	Cons & RLD & R-2	10	10	10	10	10	10	10	10	10	10	10	10
R-1 & R-2	25	25	25	25	25	25	25	25	25	25	25	25	R-3	10	10	10	10	10	10	10	10	10	10	10	10
R-3	25	25	25	25	25	25	25	25	25	25	25	25	R-4	10	10	10	10	10	10	10	10	10	10	10	10
R-4	25	25	25	25	25	15	15	15	15	15	15	10	10	R-5	10	10	10	10	10	10	10	10	10	10	10
R-5	15	15	15	15	15	15	15	15	15	15	15	10	10	B-1	5	5	5	5	5	5	5	5	5	5	5
B-1	5	5	5	5	5	5	5	5	5	5	5	5	5	B-2	3	3	3	3	3	3	3	3	3	3	3
B-2	3	3	3	3	3	3	3	3	3	3	3	3	3	B-3	3	3	3	3	3	3	3	3	3	3	3
B-3	3	3	3	3	3	3	3	3	3	3	3	3	3	UI&B4	5	5	5	5	5	5	5	5	5	5	5
UI&B4	5	5	5	5	5	5	5	5	5	5	5	5	5	B-5	5	5	5	5	5	5	5	5	5	5	5
B-5 <small>See 23.02(2)(e)</small>	30/5	30/5	30/5	30/5	30/5	30/5	30/5	30/5	30/5	30/5	30/5	30/5	M-1	5	5	5	5	5	5	5	5	5	5	5	5
M-1	5	5	5	5	5	5	5	5	5	5	5	5	M-2	5	5	5	5	5	5	5	5	5	5	5	5
M-2	5	5	5	5	5	5	5	5	5	5	5	5													

4) Landscaping Required When Expanding or Reconstructing Existing Parking Lots.

Landscaping requirements in this Ordinance apply to all parking areas of 5 or more contiguous spaces and must be met prior to the expansion or reconstruction of any existing parking lot affected by this Ordinance. This shall include:

a) Any new addition to an existing parking lot. (Only the newly developed area must comply with the requirements of this ordinance).

b) Reconstruction of an existing lot. Reconstruction is defined as removing over fifty (50) percent of the existing surface and reconstructing that surface. In the event that a property owner has problems complying with landscape standards associated with reconstructing a parking lot including the loss of a significant number of parking spaces, the Plan Commission shall consider and grant variations to these requirements based upon a mutually acceptable plan. Variations denied by the Plan Commission may be appealed to the Common Council.

1) Existing lot less than 75 parking spaces: Landscaping shall be added which will not result in the loss of parking spaces and shall not decrease the parking dimensions of the reconstructed lot to less than the parking dimensions contained in this ordinance plus one additional foot added to each dimension contained in this ordinance.

A five foot street, side and year setback is required for parking lots within the "B-4" Business District. The applicant is requesting to be allowed to deviate from the five foot, side yard, and street setback requirement. Very little property would be left to serve the business and parking if setback requirements were met on all sides. Therefore, the applicant is requesting a modification to these requirements.

The business is required a total of 10 parking spaces as City Ordinance requires 1 space per 200 sq. ft. of store area, in this case, 1,970 exists.

Again, the Plan Commission may grant variations to the parking lot and landscape requirements. Below are standards of review pertaining to this request.

Standards of Review

- 1) Any parking lot containing ten (10) or more contiguous spaces shall be hard-surfaced with bituminous or Portland cement concrete.**

Analysis: The parking lot will be constructed of asphalt.

Findings: This standard is met.

- 2) On the site of a building or open lot use providing an off-street parking area of five (5) or more contiguous spaces, there shall be provided landscaping between such area and the street right-of-way and/or property line.**

Analysis: The property is zoned B-4 Commercial District and would require a five foot setback around the entire parking lot.

Findings: The proposed setback for the parking lot on all sides of the property line is zero feet. It is important to note that the property to the east is under the same ownership as the property in question. Furthermore, the use has existed on the property for several years. The applicant is proposing the zero foot setback in order to maintain drive aisles for gas pumps, parking stalls, signage, and underground tank location. Meeting all setback requirements would involve significant loss of pavement, along with major renovation to ingress/egress points. Additionally, the property has been identified by a consultant contracted by the City of Stevens Point to be acquired during a 2016 Business 51 (Church St.) corridor reconstruct project. While at this time it is not known if this property would be acquired, it is noted in this report for background purposes. As noted above, our Zoning Ordinance allows the Plan Commission to allow modifications to the setback and landscape requirements. One of the key factors in determining to make modifications is if it can be shown that meeting the setback requirement would seriously affect the site development potential and/or layout of the site in question. From the findings above regarding the compact site, staff would recommend approving the proposed deviations from setback and landscaping standards contingent upon the submission of a drainage plan by the applicant, to be reviewed by staff in Community Development and Public Works.

- 3) Parking areas being screened from a public right-of-way, residentially property or parking areas within a residentially developed area: 1 tree per 50 lineal feet - for parking areas being screened from commercial or industrial zoned district: 1 tree per 75 lineal feet. Any off-street parking spaces or parking lot abutting the public street right-of-way or property zoned R-1, R-2, R-3, and R-4 or used for residential purposes shall provide continuous screening.**

Analysis: The property borders vacant residentially zoned property under the same ownership. Landscaping does not exist between the commercial zoned property and residential property, or between the rights-of-way. Furthermore, the applicant has not submitted a landscaping plan as a request is being made to deviate from the landscaping standards.

Findings: The property currently exists and operates as a gas station. As stated above, meeting setbacks and landscaping standards would significantly reduce the space for which activities related to the use could occur. Staff would recommend that approval to deviate from the setback and landscaping standards be contingent upon the submission of a drainage plan by the applicant, to be reviewed by staff in Community Development and Public Works.

4) **Protection of Landscape Strips and Plantings from Vehicular Encroachment.** One of the following methods must be provided to eliminate vehicular encroachment in an area where parking spaces abut a landscaped area of the site: Wheel stops of masonry, steel, or heavy timber construction shall be provided at a distance of two (2) feet from the edge of the planting area. The parking space shall not extend into the required parking area setback unless approved. Curb. If curb is used, a minimum five (5) foot landscape strip shall be required. It is intended that two (2) feet of said strip may be utilized for vehicle overhang and may be credited to stall depth.

Analysis: Curb currently exists between the neighboring commercial lot to the south and between the parking lot and building. Landscaping areas currently do not exist and are proposed not to exist.

Findings: Staff would recommend that parking stalls be striped, allowing for users to clearly identify them.

For the reasons outlined above regarding this request, staff would recommend approving the applicant's request to deviate from the parking lot setback and landscaping standards.

2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000
1999	1998	1997											

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS		
James E & Katherine G Cooper P O Box 165 Stevens Point, WI 54481		
PARCEL #	230804300702	
PROPERTY ADDRESS	3209 Church St	
SUBDIVISION	Heffron Addn	
LAND USE	Store, Mini Mart w/ Gas	
NEIGHBORHOOD	Division St/Church St (Comm)	
ZONING	B4-COMMERCIAL	

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	95.0	8/28/2007	35024	\$2,500	099 Sign	price pylon/remove old
DEPTH	148.0					
SQUARE FOOTAGE	14,060.0	5/8/2007	34707	\$13,000	002 Air Conditioning & Furnace	
ACREAGE	0.32					
		3/23/2007	34589	\$61,742	042 Interior Renov/Remodel	
		7/31/2003	31838	\$700	066 Plumbing	hwh
		8/16/2001	30263	\$10,000	099 Sign	

ASSESSED VALUE 2013						
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE	
<p>2013 Assessed Values are not yet available. Please select the 2012 tab above to view 2012 assessments.</p>						

LEGAL DESCRIPTION
LOTS 1 & 2 HEFFRON'S ADD 363/104 - 513/153

BUILDING SUPERSTRUCTURE DATA						
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Gas Station Mini Mart (C avg)	1988	1,970	Masonry - Avg	10

STRUCTURE DATA	
AGE	25
YEAR BUILT	1988
EFF. YEAR	2000
ONE BEDROOM	
TWO BEDROOM	
THREE BEDROOM	
TOTAL UNITS	
STORIES	1
BUSINESS_NAME	BP Gas Station
Disclaimer: Information shown here is considered accurate but not guaranteed. * Additional data may be available by contacting the assessors office.	
Copyright © 2013 Ruekert/ Mielke. All rights reserved. Please contact Webmaster if you have any comments or questions about our site.	



PRE-APPLICATION CONFERENCE REQUEST FORM

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #	—	Date Submitted	05/09/13	Fee Required	\$150.00	Fee Paid	
Pre-Application Conference Date	05/09/13			Assigned Case Manager	Kyle Kearns		

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input checked="" type="checkbox"/>)	
Applicant Name	Bill Cooper	Contact Name	Chris Loken
Address	3209 Church St.	Address	P.O. Box 98
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	Mosinee, WI 54455
Telephone		Telephone	715-693-5200
Fax		Fax	—
Email		Email	cloken@matny.com

PROJECT SUMMARY

Project Type (Select All Applicable)		
Zoning Permit (Optional) <input type="checkbox"/>	Conditional Use Permit (Required) <input type="checkbox"/>	Zoning Map Amendment (Required) <input type="checkbox"/>
Administrative Adjustment (Optional) <input type="checkbox"/>	Major Site Plan (Required) <input type="checkbox"/>	Text Amendment (Required) <input type="checkbox"/>
Variance (Optional) <input type="checkbox"/>	Minor Subdivision (Required) <input type="checkbox"/>	
Minor Site Plan (Optional) <input checked="" type="checkbox"/>	Major Subdivision (Required) <input type="checkbox"/>	
Major Site Plan (Required) <input type="checkbox"/>	Planned Development (Required) <input type="checkbox"/>	
Project Address: 3209 Church Street, Stevens Point, WI 54481		
Parcel 1 – Assessor's Parcel ID Number	Parcel 2 – Assessor's Parcel ID Number (if needed)	Parcel 3 – Assessor's Parcel ID Number (if needed)
230804300702	—	—
Designated Future Land Use Category		Current Zone District(s)
Commercial - Gas Station		B-4 Commercial
Is there a current application associated with this project?		
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
Re-surfacing of parking lot (asphalt). As soon as possible June plan commission meeting for approval.		

SIGNATURES

Signature of Applicant	Date	Signature of Property Owner's (If not the Applicant)	Date

Upon turning in this request form, staff will contact you to set up a time to meet to discuss your project.



APPLICATION FOR A SITE PLAN REVIEW

(Pre-Application Conference is Required for Major and Minor Site Plan Reviews)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted	5/17/13	Fee Required	\$150.00	Fee Paid	\$150
Associated Applications (if any)	-	Assigned Case Manager	Kyle Kearns				1-52619
Pre-Application Conference Date	05/08/13	Minor Site Plan	<input checked="" type="checkbox"/>	Major Site Plan	<input type="checkbox"/>		

51713

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	COOPER OIL CO	Contact Name	BILL COOPER
Address	2172 PRAIRIE ST	Address	SAME
City, State, Zip	STEVENS POINT, WI 54481	City, State, Zip	SAME
Telephone	715-344-9132	Telephone	SAME
Fax	715-344-6568	Fax	SAME
Email	COOPOIL@SOLARUS.NET	Email	SAME

Parking

OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? <input type="checkbox"/>)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name	JIM & KAY COOPER	Owner's Name	
Address	1908 PINE ST	Address	
City, State, Zip	STEVENS POINT, WI 54481	City, State, Zip	
Telephone	715-344-6380	Telephone	
Fax	715-344-6568	Fax	
Email	COOPOIL@SOLARUS.NET	Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
230804300702	-	-
Legal Description of Subject Property		
Lot 1 & 2 Hoffman's Add 363/104 - 513/153		
Area of Subject Property (Acres/Sq Ft)		Area of Requested Rezoning (Acres/Sq Ft)
0.32 acres		
Current Zoning District(s)		
B-4 Commercial		

Designated Future Land Use Category	Current Use of Property	Proposed Use of Property
-	Commercial - Gas Station	" "

Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)

COOPER OIL WOULD LIKE TO REPLACE EXISTING BLACK TOP THAT HAS POT HOLES, CRACKS & INADEQUATE DRAINAGE. GOING IN WOULD BE ALL NEW BLACK TOP WITH TWO ADDITIONAL DRAINS. THE LOT WOULD BECOME SAFER AND MORE APPEALING TO THE PUBLIC.

Current Zoning Surrounding Subject Property

North:	B-4	South:	B-4
East:	B-4 R-2	West:	B-4

Current Land Use Surrounding Subject Property

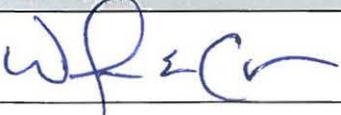
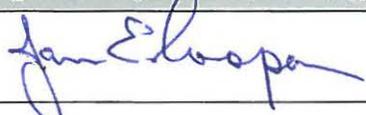
North:	Commercial	South:	Commercial
East:	Commercial / Residential	West:	Commercial

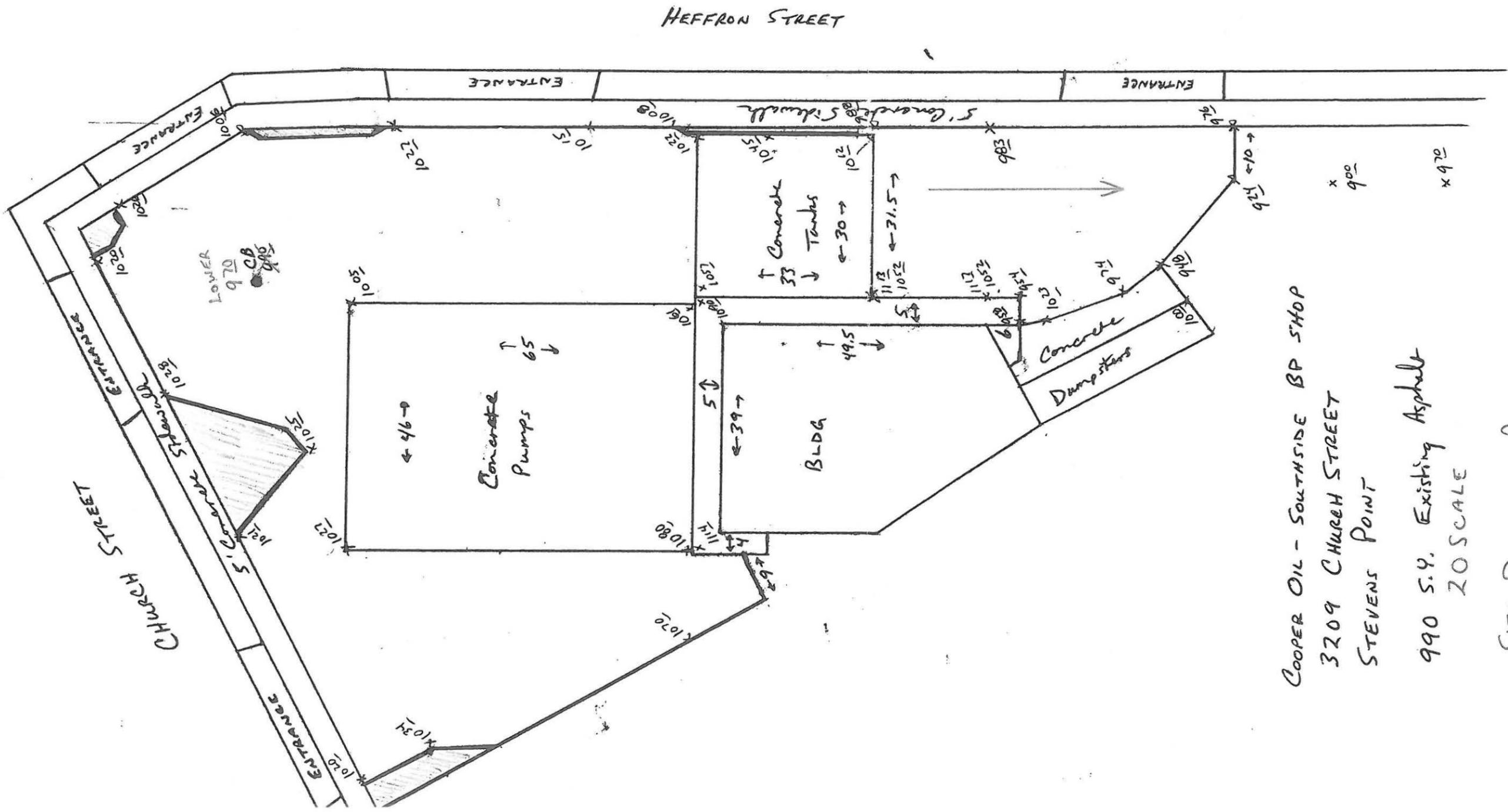
EXHIBITS

Owner Information Sheet	<input type="checkbox"/>	Additional Exhibits If Any (List):
Letter to District Alderperson	<input checked="" type="checkbox"/>	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	<input checked="" type="checkbox"/>	
Site Plan (designating primary, side, and service street frontages)	<input checked="" type="checkbox"/>	
Building Elevations	<input type="checkbox"/>	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	<input type="checkbox"/>	
Street Plan with Cross-sections	<input type="checkbox"/>	
Utility Plan	<input type="checkbox"/>	
Landscape Plan (including any equivalent alternative landscaping requests)	<input type="checkbox"/>	
Stormwater Plan	<input type="checkbox"/>	
Outdoor Lighting Plan (location of fixtures, illumination levels)	<input type="checkbox"/>	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner (If not the Applicant)	Date
	5-15-13		5/17/13



COOPER OIL - SOUTHSIDE BP SHOP
 3209 CHURCH STREET
 STEVENS POINT
 990 S.Y. Existing Asphalt
 20 SCALE

SITE DRAINAGE PLAN
 OPTION #1 - LOWER EXISTING CATCH BASIN
 OTHER GRADES REMAIN UNCHANGED



Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Michael Ostrowski and Kyle Kearns
CC:
Date: 6/3/2013
Re: Chapter 25: Sign Ordinance Amendment

Currently the City's sign ordinance limits wall signs to two building facades. Additional wall signs on more than two facades can be approved by Common Council. Businesses typically seek one or two wall signs, as they only front on one street or are part of a strip center. However, there are cases where business front several streets, or are stand alone buildings that are visible from all sides. In those instances, it is very advantageous for the business to identify itself. In order to do this however, approval is needed from Council which prolongs the process for the business owner. As street frontage determines total wall sign square footage, those businesses fronting multiple streets can adequately advertise, whereas those that front one are limited to much smaller signs if they chose to advertise on multiple building facades. With that, staff would recommend removing the requirement that limits wall signs to two facades without Common Council approval. The ordinance amendment can be found below.

Chapter 25.04 (7)

(7) SIGN REGULATIONS FOR THE "B-1", "B-2", "B-4" AND "B-5" COMMERCIAL AND "M-1" AND "M-2" INDUSTRIAL ZONING DISTRICTS

E. AREA REQUIREMENTS FOR WALL SIGNS

Wall signs shall not exceed 1 square foot or sign area per lineal foot of street frontage. The maximum area of wall signage allowed is 500 square feet. ~~Wall signs shall not be placed on more than two walls without Common Council Approval~~



Memo

Michael Ostrowski, Director

Community Development

City of Stevens Point

1515 Strongs Avenue

Stevens Point, WI 54481

Ph: (715) 346-1567 • Fax: (715) 346-1498

mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Michael Ostrowski and Kyle Kearns
CC:
Date: 5/28/2013
Re: Conditional Use Renewal

Several conditional use permits are up for renewal. These permits include:

1. Amber Grill, **1001 Amber Avenue (Parcel ID 2408-36-2200-47)** to operate a tavern.
2. Arbuckle's, **1320 Strongs Avenue (Parcel ID 2408-32-2026-45)** to operate a tavern.
3. Pete's Sports Bar, **200 Division Street (Parcel ID 2408-29-4003-09)** to operate a tavern.
4. Papa Joes Bar, **233 Division Street (Parcel ID 2408-29-4002-04)** to operate a tavern.
5. Middletown Grille, **2301 Church Street (Parcel ID 2408-32-4035-20)** to operate a tavern.
6. Tech Lounge, **1036 Main Street (Parcel ID 2408-32-2029-22)** to operate an electronic amusement business.

All businesses are operational under their current conditional use. It is important to note that Rhody's, at 2301 Church Street is now Middletown Grille. Furthermore, they have met all of the conditions placed upon them. No complaints pertaining to the use have been made towards any of the above properties and no severe or repeated violations or offenses have been recorded by the Police Department; therefore, staff would recommend the approval to renew the conditional use permits for the six businesses identified above with an expiration date of June 30, 2015.

The current resolutions are attached

2048

759059



CYNTHIA A WISINSKI
PORTAGE COUNTY REGISTER OF DEEDS
RECEIVED FOR RECORD
June 21, 2011 AT 01:05PM

CYNTHIA A WISINSKI, REGISTER OF DEEDS
Fee Amount: \$30.00
Total Pages 1

RESOLUTION

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **1001 Amber Avenue**, described as LOT 1 CSM#8640-35-20 A & B BNG PRT LOT 4 PARKDALE SUB & BNG PRT SESW S25 & NENW S36 T24 R8, Stevens Point, Portage County, Wisconsin, a Conditional Use Permit for the purpose of Operating a Tavern with the following conditions:

- 1) No food service, drinking, or music be allowed on the exterior seating area after 11:00 p.m.
- 2) Conditional use to expire June 30, 2013.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved:

Andrew J. Halverson, Mayor

Attest:

John Moe, City Clerk

Dated: May 16, 2011

Adopted: May 16, 2011

Drafted by: Michael Ostrowski

Return to: City Clerk

[Return to Search Page](#)

[View Map](#)

[Tax Data](#)

[Return to Results Page](#)

2013	2012	2011	2010	2009	2008	2007	2006	2005
------	------	------	------	------	------	------	------	------

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS		
Hospitality Group of Central Wisconsin LLC Holiday Inn Hotel Conv Ctr & Water Park 1001 Amber Ave Stevens Point, WI 54482		
PARCEL #	240836220047	
PROPERTY ADDRESS	1001 Amber Ave	
SUBDIVISION	Parkdale Subdivision	
LAND USE	Motel/Restaurant	
NEIGHBORHOOD	Hwy 10/39 & East of (Comm)	
ZONING	B5-HWY COMM	

OWNERSHIP HISTORY

OWNER	SALE DATE	AMOUNT	CONVEYANCE	VOLUME	PAGE	SALE TYPE
Hospitality Group of Central Wisconsin LLC	11/4/2004	\$1,100,000	Warranty Deed	664658		Land

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	1062.48	10/6/2010	37502	\$3,100	099 Sign	Amber Grill
DEPTH	1,062.5	9/24/2010	37375	\$2,290	066 Plumbing	replace hwh
SQUARE FOOTAGE	510.0	1/26/2010	36795	\$500	020 Electrical	hook up for sign
ACREAGE	541,864.8	1/18/2010	36786	\$12,000	099 Sign	new Holiday Inn letters
	12.44	8/21/2007	34997	\$640,000	060 New Construction	20 unit addition on hotel
		5/16/2006	33948	\$29,000	060 New Construction	outside bar/gazebo
		5/9/2006	33957	\$4,000	066 Plumbing	Irrigation Stub Out
		12/8/2005	33691	\$400,000	003 Addition	Convention Center 6624 sq ft
		11/15/2005	33666	\$13,000	099 Sign	Holiday Inn wall sign
		9/21/2005	33549	\$14,300	099 Sign	Rudy's Red Eye Grille
		6/22/2005	33307	\$4,500,000	060 New Construction	Rudy's Red Eye Grille

5/9/2005	33172	\$3,000,000	060 New Construction	Convention Center Building
4/27/2005	33103	\$1,661,000	060 New Construction	Water Park
3/11/2005	33010	\$63,510	099 Sign	11 x 15 Parkdale/Holiday Inn
1/24/2005	32995	\$6,000,000	060 New Construction	Holiday Inn
4/19/2012	12-0209	\$15,000	066 Plumbing	Replace 2 hwh
4/19/2012	12-0209	\$0	020 Electrical	

ASSESSED VALUE 2013

CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
(2) - B-Commercial	\$1,070,400	\$9,571,100	\$10,641,500	100.00 %	\$10,641,500
TOTAL	\$1,070,400	\$9,571,100	\$10,641,500		\$10,641,500

LEGAL DESCRIPTION

LOT 1 CSM#8640-35-20 A & B BNG PRT LOT 4 PARKDALE SUB & BNG PRT SESW S25 & NENW S36 T24 R8 664658

BUILDING SUPERSTRUCTURE DATA

BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Motel (D good)	2005	91,816	Wd or Stl Frm w/ Mas Ven or St	10
1	2	Convention Center (C avg)	2005	46,428	Masonry - Avg	24
1	3	Encl Pool Bldg	2005	7,496	Wd or Stl Frm w/ Mas Ven or St	24
1	4	Restaurant (D good)	2005	10,537	Wood Frame - Good	20

BASEMENT DATA

BLDG	SEC	ADJUSTMENT DESCRIPTION	AREA
1	3	Motel Unfinished Bsmnt	451

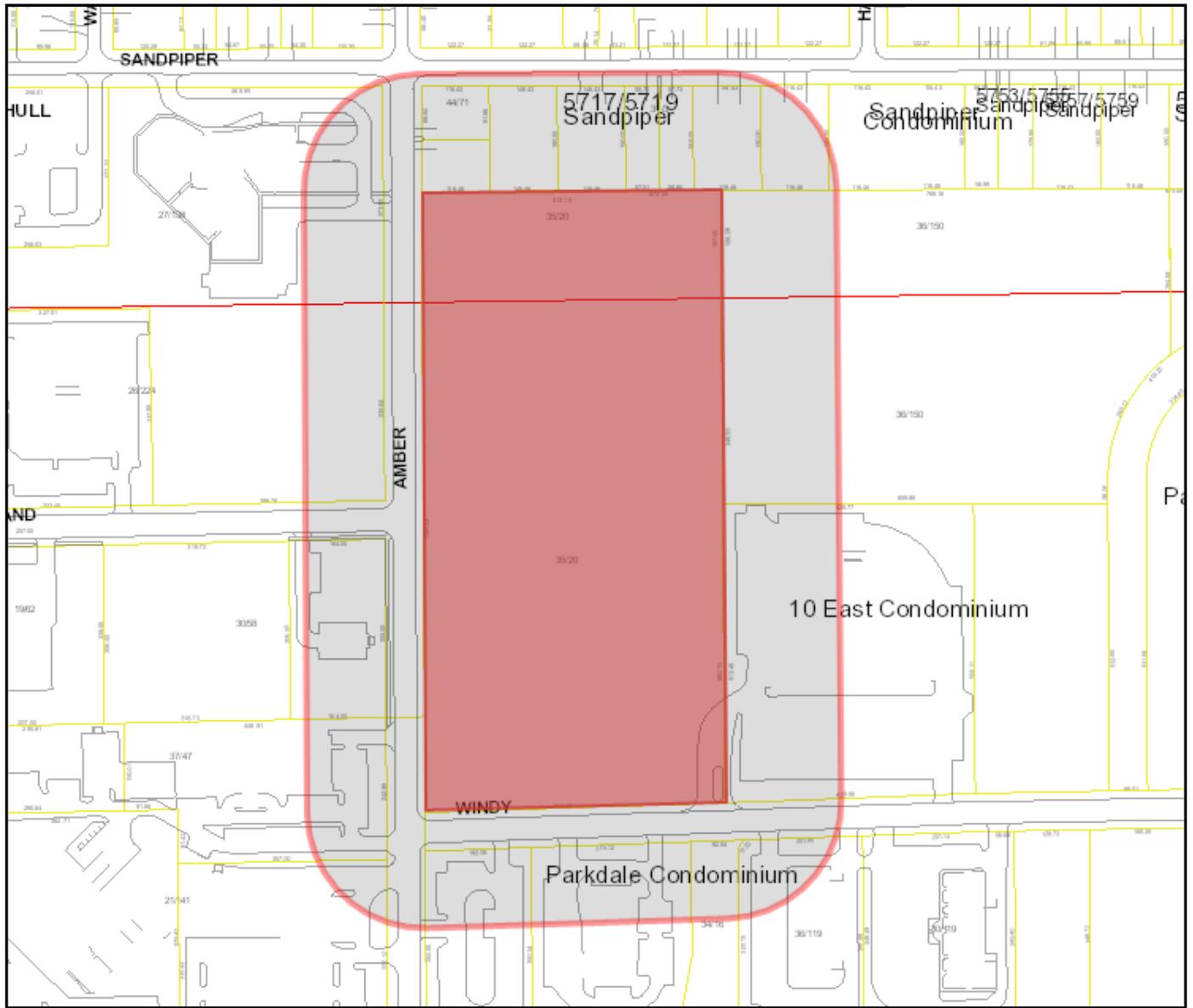
STRUCTURE DATA

AGE	8
YEAR BUILT	2005
EFF. YEAR	2005
ONE BEDROOM	147
TWO BEDROOM	
THREE BEDROOM	
TOTAL UNITS	147
STORIES	3
BUSINESS_NAME	Holiday Inn/Water Park/Convention

Disclaimer: Information shown here is considered accurate but not guaranteed.
 * Additional data may be available by contacting the assessors office.

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Conditional Use Permit Renewal – Operate a Tavern – 1001 Amber Avenue – Exhibit Map (200 Feet Boundary)



Tax Key	Name	Mailing Address	Street	Zip	Property Address
281240825340201	THOMAS L & KATHERINE M EKSTRAND	5745 SANDPIPER DR	STEVENS POINT WI	54482	5745 SANDPIPER DR
281240825340106	ONWARD & UPWARD LLC	7677 Andrews Ln	Custer WI	54423	5741 SANDPIPER DR
281240825340105	JEFFREY P WIERZBA	940 E Third St Unit 20	Long Beach CA	90802	5733 SANDPIPER DR
281240825340188	DOUGLAS R SIEVWRIGHT JR	5727 Sandpiper Dr	Stevens Point WI	54482	5727 SANDPIPER DR
281240825340187	JOHN T COATS	374 WOODLAND DR	Stevens Point WI	54482	5725 SANDPIPER DR
281240825340205	CRYSTAL M ELLIOT & JACOB T RICHTER	5717 Sandpiper Dr	Stevens Point WI	54482	5717 SANDPIPER DR
281240825340102	THOMAS TREDER	5709 Sandpiper Dr	Stevens Point WI	54482	5709 SANDPIPER DR
281240825340216	DAVID M & LAURA T BART	803 Amber Ave	Stevens Point WI	54482	803 AMBER AVE
281240825330008	IRET PROPERTIES EMERITUS SENIOR LIVING	PO Box 1988	Minot ND	58702	5625 SANDPIPER DR
281240836220049	PARKDALE APTS LLC	5424 Highway 10 E Ste A	Stevens Point WI	54482	924 SONGBIRD LN

281240836220047	HOLIDAY INN HOTEL CONV	1001 Amber Ave	Stevens Point WI	54482	1001 AMBER AVE
281240836220031	HESCH FAMILY PARTNERSHIP	5720 Windy Dr	Stevens Point WI	54482	5720 WINDY DR
281240836220026	EAST POINTE PROFESSIONAL PROPERTIES	5625 Woodland St	Stevens Point WI	54482	5625 WOODLAND ST
281240836220004	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0
281240836220051	HOLIDAY INN EXPRESS	1100 Amber Ave	Stevens Point WI	54482	1100 AMBER AVE
281240836220037	HILIFE INVESTMENTS LLP	5756 Kingfisher Dr	Stevens Point WI	54481	5725 WINDY DR
281240836220038	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0
281240836220039	RIVER CITIES BANK	P O Box 907	Wisconsin Rapids WI	54495	5709 WINDY DR
281240836220008	J & J OSTROWSKI ENT LLC	1082 Maple Road North	Stevens Point WI	54482	5701 WINDY DR
281240836220001	ALDI INC	PO Box 267	Oak Creek WI	53154	5632 HIGHWAY 10 E
281240825340215	CLARK R & BETTY JANE PALLER	801 Amber Ave	Stevens Point WI	54482	801 AMBER AVE
281240836220040	PARKDALE INVESTMENTS LLC	3021 Patton Dr	Plover WI	54467	5709 WINDY DR
281240836220041	RIVER CITIES BANK	P O Box 907	Wisconsin Rapids WI	54495	5709 WINDY DR
281240836220032	PARKDALE INVESTMENTS LLC	3021 Patton Dr	Plover WI	54467	5720 WINDY DR
281240825340202	JENNIFER A LARSEN	5747 Sandpiper Dr	Stevens Point WI	54482	5747 SANDPIPER DR
281240825340203	MATTHEW J & SARAH B LORENZ	5749 Sandpiper Dr	Stevens Point WI	54482	5749 SANDPIPER DR
281240825340204	CHEN CHEN LIU PAISUNG SHIH	5751 Sandpiper Dr	Stevens Point WI	54482	5751 SANDPIPER DR
281240825340206	NICOLE FLETCHER AND JUDE NELLESSEN	5719 Sandpiper Dr	Stevens Point WI	54482	5719 SANDPIPER DR

2049

759060



CYNTHIA A WISINSKI
PORTAGE COUNTY REGISTER OF DEEDS
RECEIVED FOR RECORD
June 21, 2011 AT 01:05PM

CYNTHIA A WISINSKI, REGISTER OF DEEDS
Fee Amount: \$30.00
Total Pages 1

RESOLUTION

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **1320 Strong's Avenue**, described as LOTS 3 & OUTLOT 2.1 CSM# 3218-11-176 BNG PRT NENW 32 T24 R8, and COM OF EL OF OL 5 OF SE&O ADD 126' N OF COR STRONGS AV & CLARK TH N 24', TH W 75', TH S 24', TH E 75'; EQUITY IN S 1/2 OF 45' WALL ON NORTH, Stevens Point, Portage County, Wisconsin, is hereby granted a Conditional Use Permit for the purpose of extending the liquor license premises to include the exterior seating area as shown on the attached drawing, with the following conditions:

- 1) The site plan is developed as shown on the attached plan and be approved by the Historic Preservation/Design Review Commission.
- 2) Concrete pavers are used for the patio.
- 3) Metal fencing encloses the area with the spacing of the fence to be of a size to prevent passing of cups.
- 4) Seating area is separated from the sidewalk by at least 5 feet.
- 5) The area along the sidewalk be landscaped.
- 6) No stones larger than 1/2 inch in diameter be used as mulch within 2 feet of the fence/sidewalk.
- 7) No drinking or music be allowed on the deck after 10 p.m.
- 8) Conditional use to expire June 30, 2013.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved:

Andrew J. Halverson, Mayor

Attest:

John Moe, City Clerk

Dated: May 16, 2011

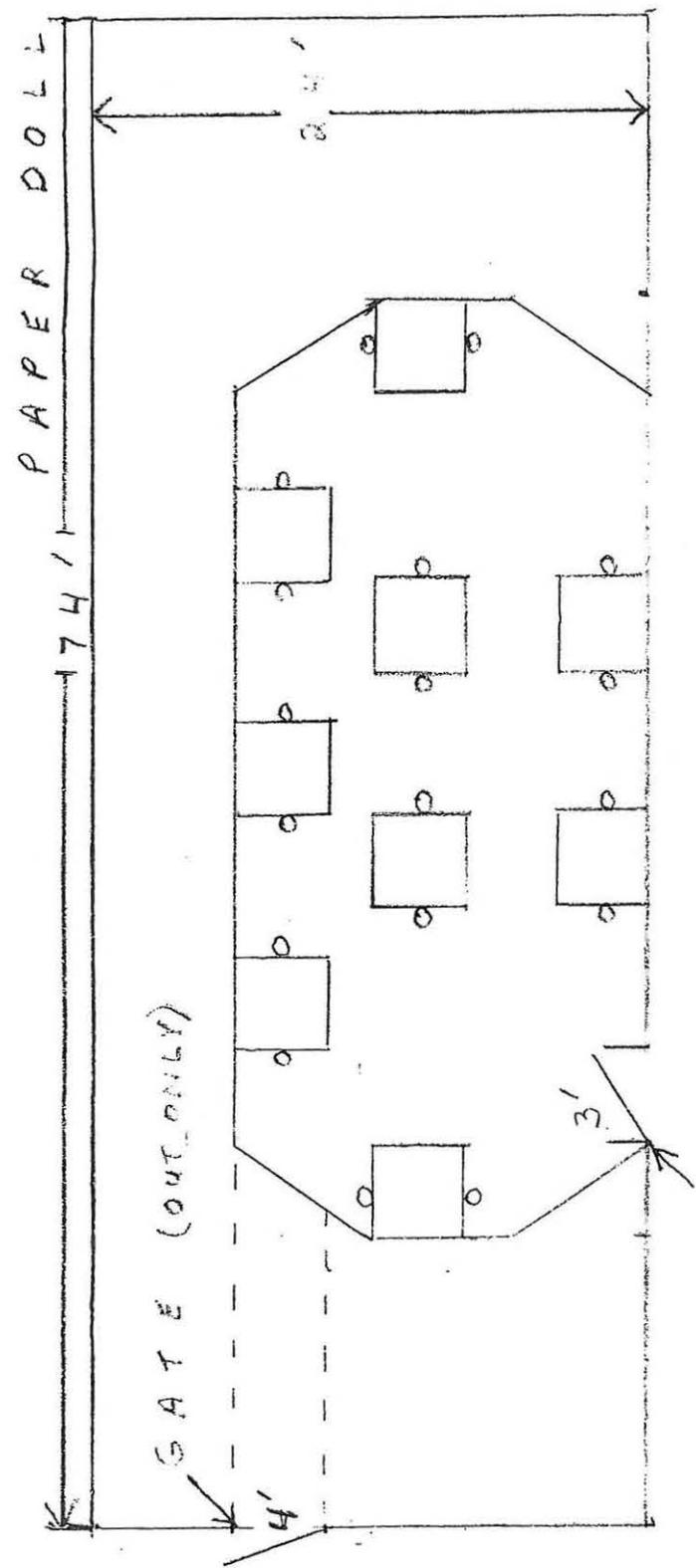
Adopted: May 16, 2011

Drafted by: Michael Ostrowski

Return to: City Clerk

ARBUCKLES
 EATERY & PATIO
 OUTDOOR PATIO

ELKS LODGE



ARBUCKLES
 BUILDING

DOOR
 TO
 RESTAURANT

SCALE 1/4" = 2' 7'

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2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000
1999	1998	1997											

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS TLB Properties LLC 1720 Ridgewood Circle Plover, WI 54467		
PARCEL #	240832202645	
PROPERTY ADDRESS	1320 Strongs Ave	
SUBDIVISION	Certified Survey Map	
LAND USE	Restaurant w/ Apt(s)	
NEIGHBORHOOD	Cntrl Bus & 2nd St area(Comm)	
ZONING	B3-CENTRAL BUSINESS	

OWNERSHIP HISTORY						
OWNER	SALE DATE	AMOUNT	CONVEYANCE	VOLUME	PAGE	SALE TYPE
TLB Properties LLC	9/30/2003	\$199,500	Quit Claim Deed	645180		Land & Buildings

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	41.0	7/9/2002	30903	\$2,995	090 Roof/Strip & re-roof	
DEPTH	86.0	12/1/1998	28110	\$10,000	042 Interior Renov/Remodel	
SQUARE FOOTAGE	3,526.0					
ACREAGE	0.08					

ASSESSED VALUE 2013					
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
(2) - B-Commercial	\$23,300	\$144,300	\$167,600	100.00 %	\$167,600
TOTAL	\$23,300	\$144,300	\$167,600		\$167,600

LEGAL DESCRIPTION
 LOTS 3 & OUTLOT 2.1 CSM# 3218-11-176 BNG PRT NENW 32 T24 R8 ESMTS DES IN 457/524 & 545/573 545/574-5 681/964 645180

BUILDING SUPERSTRUCTURE DATA						
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Restaurant (C avg)	1900	2,546	Masonry - Avg	12

1	2	Apts (C avg)	1900	2,090	Masonry - Avg	12
1	3	Restaurant (C avg)	1900	756	Masonry - Avg	12

BASEMENT DATA

BLDG	SEC	ADJUSTMENT DESCRIPTION	AREA
1	1	Bar/Tav/Restaurant Unf Bsmnt	2,546

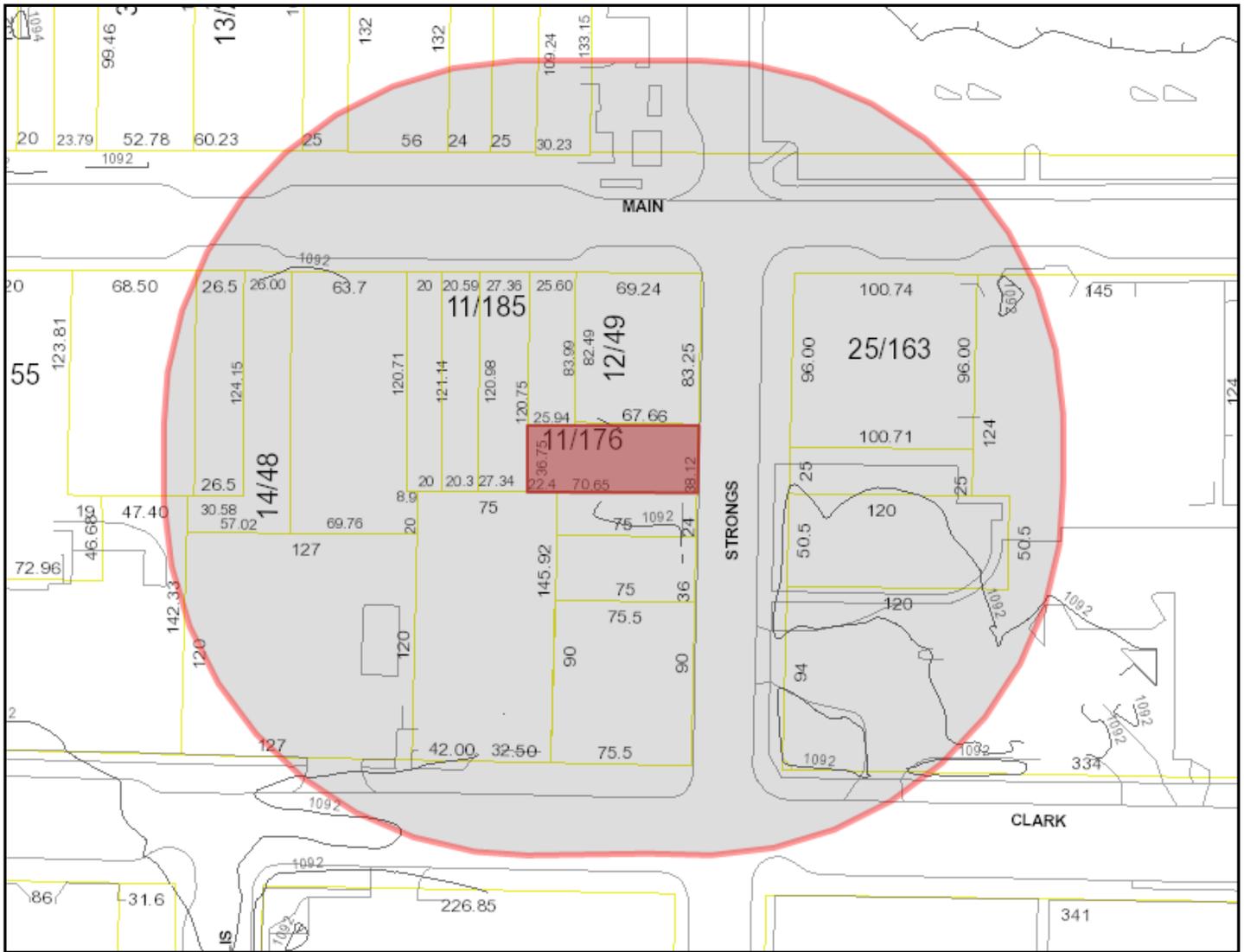
STRUCTURE DATA

AGE	113
YEAR BUILT	1900
EFF. YEAR	1963
ONE BEDROOM	2
TWO BEDROOM	1
THREE BEDROOM	
TOTAL UNITS	3
STORIES	2
BUSINESS_NAME	Arbuckles w/ apt above

Disclaimer: Information shown here is considered accurate but not guaranteed.
 * Additional data may be available by contacting the assessors office.

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Conditional Use Permit Renewal – Operate a Tavern – 1320 Strongs Avenue – Exhibit Map (200 Feet Boundary)



Tax Key	Name	Mailing Address	City	Zip	Property Address
281240832202939	CENTRAL WISCONSIN CHILDRENS MUSEUM INC	1100 Main St Stop 1	Stevens Point WI	54481	1100 Main St
281240832202929	JEANETTE L SANDERS AND ADA SANDERS	1249 Clark Street	Stevens Point WI	54481	1116 Main St
281240832202928	JEANETTE L SANDERS AND ADA SANDERS	1249 Clark Street	Stevens Point WI	54481	1108 Main St
281240832202930	WILLIAM J & LUANN M STREUR TRUST	1000 S Lynndale Dr	Appleton WI	54914	1136 Main St
281240832202931	GUU INC	1140 Main St	Stevens Point WI	54481	1140 Main St
281240832202932	KARLENE PROPERTIES LLC	1224 Strongs Ave	Stevens Point WI	54481	1148 Main St
281240832202651	CITY OF STEVENS POINT	1515 Strongs Avenue	Stevens Point WI	54481	1001 Main St
281240832202611	ROBERT T WRAY	853 ALABAMA SHORES RD	MUSCLE SHOALS AL	35661	1055 Main St
281240832202610	JEROME L & CARRIE L KAWSKI	2893 River Road	Junction City WI	54443	1059 Main St
281240832202609	PATRICK D & DIANA BARLOW	1497 Old Wausau Road	Stevens Point WI	54481	1101 Main St
281240832202653	PDKB HOLDINGS LLC	1497 Old Wausau Road	Stevens Point WI	54481	1105 Main St

281240832202606	BONITA A BROWN	1121 Main St	Stevens Point WI	54481	1121 Main St
281240832202639	BONITA A BROWN AND KARL S PNAZEK	3411 Plover Rd	Plover WI	54467	1125 Main St
281240832202638	BONITA A BROWN AND KARL S PNAZEK	3411 Plover Rd	Plover WI	54467	1129 Main St
281240832202637	K BUENO LLC	PO Box 651	Stevens Point WI	54481	1137 Main St
281240832202601	RURAL ESTATES LLC	8215 County Rd I	Custer WI	54423	1141 Main St
281240832202706	BCK RENTALS LLC	1052 Main St LL3	Stevens Point WI	54481	1201 Main St
281240832202704	FIRST NATIONAL BANK	111 West Monroe St	Chicago IL	60603	1245 Main St
281240832202645	TLB PROPERTIES LLC	1720 Ridgewood Circle	Plover WI	54467	1320 Strongs Ave
281240832202707	FIRST NATIONAL BANK	111 West Monroe St	Chicago IL	60603	1323 Strongs Ave
281240832202634	TLB PROPERTIES	1720 Ridgewood Cir	Plover WI	54467	0
281240832202630	ELKS LODGE #641	1132 Clark St	Stevens Point WI	54482	1132 Clark St
281240832202708	FIRST NATIONAL BANK	111 West Monroe St	Chicago IL	60603	1329 Strongs Ave
281240832202629	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0
281240832202633	LARRY & SARA RAIKOWSKI	4025 County Road H & O	Junction City WI	54443	1332 Strongs Ave
281240832202632	KRISTEN M MERTES and JEFFREY W BROWN	1159 Wilshire Dr	Stevens Point WI	54481	1140 Clark St
281240832292709	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0 Clark St
281240832202965	COMMUNITY DEVELOPMENT AUTHORITY OF STEVENS PT	1515 STRONGS AVE	STEVENS POINT WI	54481	

2051
759062



CYNTHIA A WISINSKI
PORTAGE COUNTY REGISTER OF DEEDS
RECEIVED FOR RECORD
June 21, 2011 AT 01:05PM

CYNTHIA A WISINSKI, REGISTER OF DEEDS
Fee Amount: \$30.00
Total Pages 1

RESOLUTION

~~BE IT RESOLVED~~ by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **200 Division Street**, described as LOT 2 CSM#7941-30-71&A BNG PRT BLK 2 BATTIN & OTHERS ADD EXC LOT 1 CSM#8046-31-26&A, Stevens Point, Portage County, Wisconsin, be granted a Conditional Use Permit to Operate a Tavern with the following conditions:

- 1) No food service, drinking, or music be allowed on the exterior seating area after 11:00 p.m.
- 2) Conditional use to expire June 30, 2013.

Approved:

Andrew J. Halverson, Mayor

Attest:

John Moe, City Clerk

Dated: May 16, 2011

Adopted: May 16, 2011

Drafted by: Michael Ostrowski

Return to: City Clerk

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2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003
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PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS Northpoint Center LLC PO Box 508 Hartland, WI 53029		
PARCEL #	240829400309	
PROPERTY ADDRESS	200 Division St	
SUBDIVISION	Certified Survey Map	
LAND USE	Shopping Center, Neighborhood	
NEIGHBORHOOD	Division Str North (Comm)	
ZONING	B4-COMMERCIAL	

OWNERSHIP HISTORY						
OWNER	SALE DATE	AMOUNT	CONVEYANCE	VOLUME	PAGE	SALE TYPE
Northpoint Center LLC	7/6/2007	\$4,500,000	Warranty Deed	705820		Land & Buildings
Scorpio Properties LLC	4/6/2005	\$1,785,000	Warranty Deed	670828		Land & Buildings

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
698						
FRONTAGE	698.0	5/21/2012	12-0276	\$6,200	001 Air Conditioning (HVAC)	Install A/C-Sun Tan City
DEPTH	263.0	1/11/2012	12-0026	\$660	099 Sign	Sun Tan City Ste D
SQUARE FOOTAGE	183,574.0	9/1/2011	11-585	\$1,500	020 Electrical	
ACREAGE	4.21	9/1/2011	11-585	\$1,500	042 Interior Renov/Remodel	add 2 tanning rooms
		4/29/2010	36969	\$574	099 Sign	2' x 16' non-illuminated
		4/23/2010	36945	\$80,000	042 Interior Renov/Remodel	build out Anytime Fitness
		2/5/2010	36805	\$1,787	099 Sign	Anytime Fitness (front sign)
		7/28/2008	35718	\$0	020 Electrical	

5/19/2008	35484	\$38,803	042 Interior Renov/Remodel	Interior Renovations-retail ar
3/12/2008	35356	\$38,803	042 Interior Renov/Remodel	Interior Renovations office/ch
1/11/2008	35320	\$105,000	042 Interior Renov/Remodel	Interior Renovations build out
12/13/2007	35251	\$6,000	099 Sign	Dollar Tree
1/29/2007	34514	\$55,000	042 Interior Renov/Remodel	remodel-waiting room/reception
11/9/2006	34413	\$190,000	042 Interior Renov/Remodel	Interior Renovations
2/2/2006	33744	\$3,200	099 Sign	Fit Zone for Women-channel ltr
11/9/2005	33665	\$0	020 Electrical	piping installation
10/28/2005	33652	\$36,800	042 Interior Renov/Remodel	remodel-3033 sq ft for furnitu
8/30/2005	33499	\$130,229	042 Interior Renov/Remodel	Interior Renovations build out
8/8/2005	33457	\$58,000	120 Swimming Pool	flagpole/tower
6/29/2005	33344	\$4,613	020 Electrical	add recepticals
6/29/2005	33327	\$50,000	042 Interior Renov/Remodel	Interior Renovations-Jadeco Ho
5/2/2005	33143	\$5,500	099 Sign	front wall sign
8/18/2004	32654	\$23,751	042 Interior Renov/Remodel	Interior Renovations
4/10/2003	31463	\$3,500	042 Interior Renov/Remodel	Remodel
3/14/2003	31376	\$20,000	042 Interior Renov/Remodel	Olympic Restaurant
10/2/2001	30273	\$2,500	099 Sign	Sherwin Williams
12/1/1999	28858	\$4,000	099 Sign	Sterling Optical
2/18/1999	28202	\$0	099 Sign	
5/15/1995	24977	\$0	066 Plumbing	

ASSESSED VALUE 2013

CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
(2) - B-Commercial	\$829,900	\$3,168,400	\$3,998,300	100.00 %	\$3,998,300
TOTAL	\$829,900	\$3,168,400	\$3,998,300		\$3,998,300

LEGAL DESCRIPTION

LOT 2 CSM#7941-30-71&A BNG PRT BLK 2 BATTIN & OTHERS ADD EXC LOT 1 CSM#8046-31-26&A; ESMT FOR PRKG-576/323-25 705820

BUILDING SUPERSTRUCTURE DATA

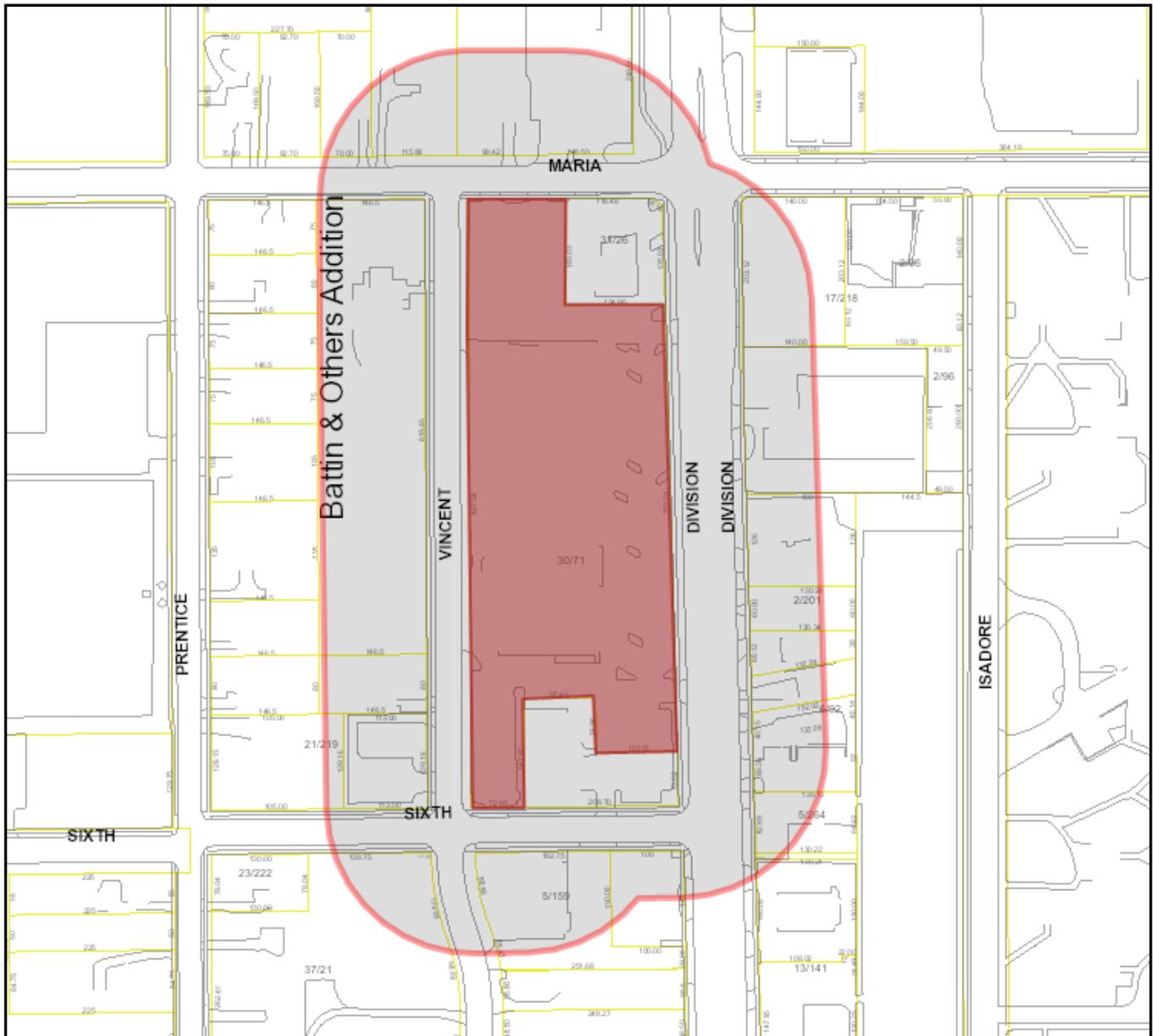
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Shopping Ctr, NBHD (C avg)	1965	63,984	Masonry - Avg	10

STRUCTURE DATA

AGE	48
YEAR BUILT	1965

	EFF. YEAR	1985
	ONE BEDROOM	
	TWO BEDROOM	
	THREE BEDROOM	
	TOTAL UNITS	
	STORIES	1
	BUSINESS_NAME	North Point Shopping Center
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Conditional Use Permit Renewal – Operate a Tavern – 200 Division Street – Exhibit Map (200 Feet Boundary)



Tax Key	Name	Mailing Address	City	Zip	Property Address
281240829130033	CONVEIENCE STORE INVESTMENTS	1626 Oak St	La Crosse WI	54603	1600 Maria Dr
281240829130016	EMIL & MARTHA DRAPES and DAVID DRAPES	1548 Maria Dr	Stevens Point WI	54481	1548 Maria Dr
281240829130015	DOLORES ENGUM and DENISE J LEHMAN	1532 Maria Dr	Stevens Point WI	54481	1532 Maria Dr
281240829400233	CAMPUS CORNER LLC	1877 Neotomas Pl	Santa Rosa CA	95405	101 Division St
281240829400310	WAUSAU PRIME COMMERCIAL LLC	PO Box 116	Rothschild WI	54474	108 Division St
281240829400309	NORTHPOINT CENTER LLC	PO Box 508	Hartland WI	53029	200 Division St
281240829400401	N WI DISTRICT LUTHERAN CHURCH	3103 Seymour Ln	Wausau WI	54401	1517 Maria Dr
281240829400203	VINUBHAI & CHANDRIKA PATEL FAMILY TRUST	209 Division St	Stevens Point WI	54481	209 Division St
281240829400204	KREEESH LLC	2350 Magnolia Dr	Plover WI	54467	233 Division St

281240829400205	MSG HOLDINGS LLC	W5186 PLEASANT HILL RD	JEFFERSON WI	53549	249 Division St
281240829400206	NAH PROPERTIES LL	473 Shady Oak Ln	Stevens Point WI	54481	257 Division St
281240829400413	PEACE HOUSE LLC	1517 Maria Dr	Stevens Point WI	54481	308 Vincent St
281240829400236	WMCR HOLDING COMPANY LLC	PO Box 456	Alpena MI	49707	317 Division St
281240829400308	FAMILY VIDEO MOVIE CLUB INC	1022 E Adams St	Springfield IL	62703	316 Division St
281240829400417	KLAS PROPERTIES LLC	217 Prentice St	Stevens Point WI	54481	316 Vincent St
281240829400416	THAD J & WENDY KLASINSKI	317 Prentice St	Stevens Point WI	54481	317 Prentice St
281240829400210	ALLEN J SHIDELL SR	E-12024 County Rd N	Wausau WI	54403	325 Division St
281240829401001	JAMES E & KATHERINE G COOPER	P O Box 165	Stevens Point WI	54481	412 Division St
281240829401031	ROGERS CINEMA INC	P O Box 280	Marshfield WI	54449	1601 Sixth Ave
281240829400211	CITY OF STEVENS POINT	1515 Strongs Avenue	Stevens Point WI	54481	0
281240829401038	STEVENS POINT PROPERTIES LLC	500 Vincent St	Stevens Point WI	54481	500 Vincent St
281240829400226	FFCA ACQU CORP C/O WI HOSPITALITY GRP	10930 West Potter Rd	Wauwatosa WI	53226	417 Division St
281240829400207	JOE'S RENTAL LLC	3121 Tommy's Turnpike	Plover WI	54467	301 Division St

759234



CYNTHIA A WISINSKI
PORTAGE COUNTY REGISTER OF DEEDS
RECEIVED FOR RECORD
June 28, 2011 AT 09:10AM

CYNTHIA A WISINSKI, REGISTER OF DEEDS
Fee Amount: \$30.00
Total Pages 3

RESOLUTION

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **233 Division Street**, described as described as PRT OF NE SE COM 433' 1/2" S & 25' E OF NW COR SD 40 E 130' S 126' W 130' N 126' TO POB ALSO INCL PT OF VACATED DIVISION ST DESC IN DOC#685644 S29 T24 R8 689440 & STIP, City of Stevens Point, Portage County, Wisconsin, is here by granted a Conditional Use Permit for the purpose of operating a tavern with a premise extension to an exterior seating area, as shown on the attached plans. The Conditional Use Permit is subject to the following condition(s):

1. Refuse containers shall be relocated behind the building or an enclosure shall be constructed to keep them hidden from view from Division Street and the surrounding properties.
2. No food service, drinking, or music is allowed on the exterior seating area after 11:00 PM.
3. Public Protection Committee shall review the plans.
4. A landscaping buffer, which does not impede visibility, is encouraged around the exterior seating area to create some additional perception of separation between the outdoor seating area and the parking lot and sidewalk.
5. Seating area is separated from the sidewalk by at least 5 feet.
6. Due to safety concerns, no parking shall be allowed in front of the bar, or immediately adjacent to the exterior seating area. A physical barrier is encouraged around the exterior seating area for the protection of patrons.
7. The patio area should not create any visibility obstructions.
8. The number of parking spaces should not be reduced below the amount required for the property.
9. Conditional use to expire June 30, 2013.

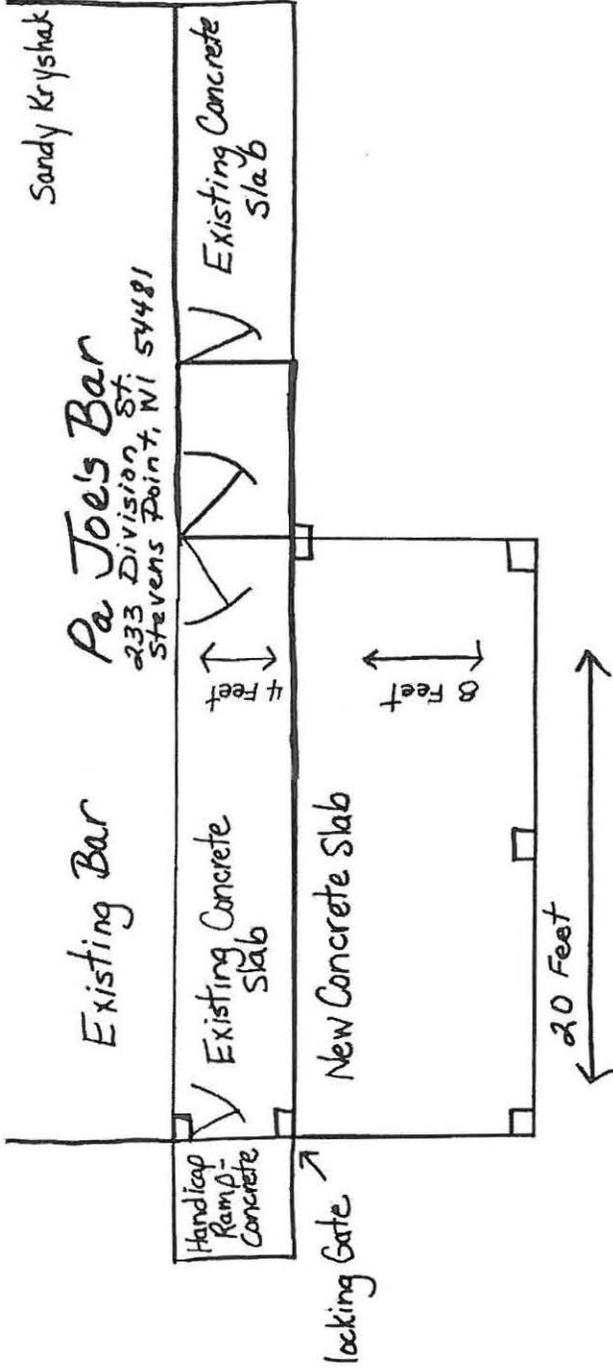
Such approval constitutes a Conditional Use under the City's ordinances.

Approved:

Andrew J. Halverson, Mayor

Sandy Kryshak 715-572-2255

Existing Bar Pa Joe's Bar
233 Division St.
Stevens Point, WI 54481



* 48" metal fencing

□ - 4" Corner Posts

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2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000
1999	1998	1997											

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS Kreeesh LLC 2350 Magnolia Dr Plover, WI 54467		
PARCEL #	240829400204	
PROPERTY ADDRESS	233 Division St	
SUBDIVISION	Metes And Bounds	
LAND USE	Bar/Tavern w/ Apt(s)	
NEIGHBORHOOD	Division Str North (Comm)	
ZONING	B4-COMMERCIAL	

OWNERSHIP HISTORY						
OWNER	SALE DATE	AMOUNT	CONVEYANCE	VOLUME	PAGE	SALE TYPE
Kreeesh LLC	5/19/2006	\$260,000	Warranty Deed	689440		Land & Buildings

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	126.0	4/30/2012	12-0224	\$2,650	093 Sewer and/or Water	replace water lateral
DEPTH	144.2	3/15/2012	12-0100	\$9,000	090 Roof/Strip & re-roof	replace w/trussed roof
SQUARE FOOTAGE	18,170.5					
ACREAGE	0.42	2/27/2012	12-0093	\$2,660	032 Furnace (HVAC)	convert oil to gas furnace
		7/28/2010	37361	\$1,400	099 Sign	
		6/3/2006	34106	\$2,700	001 Air Conditioning (HVAC)	replace

ASSESSED VALUE 2013					
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
(2) - B-Commercial	\$146,500	\$95,400	\$241,900	100.00 %	\$241,900
TOTAL	\$146,500	\$95,400	\$241,900		\$241,900

LEGAL DESCRIPTION
 PRT OF NE SE COM 433' 1/2" S & 25' E OF NW COR SD 40 E 130' S 126' W 130' N 126' TO POB ALSO INCL PT OF VACATED DIVISION ST DESC IN DOC#685644 S29 T24 R8 689440 & STIP 685644 704766-CERT

BUILDING SUPERSTRUCTURE DATA						
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Apts (D avg)	1900	1,672	Wood Frame - Avg	8
1	2	Bar/Tavern (C avg)	1955	1,536	Masonry - Avg	10

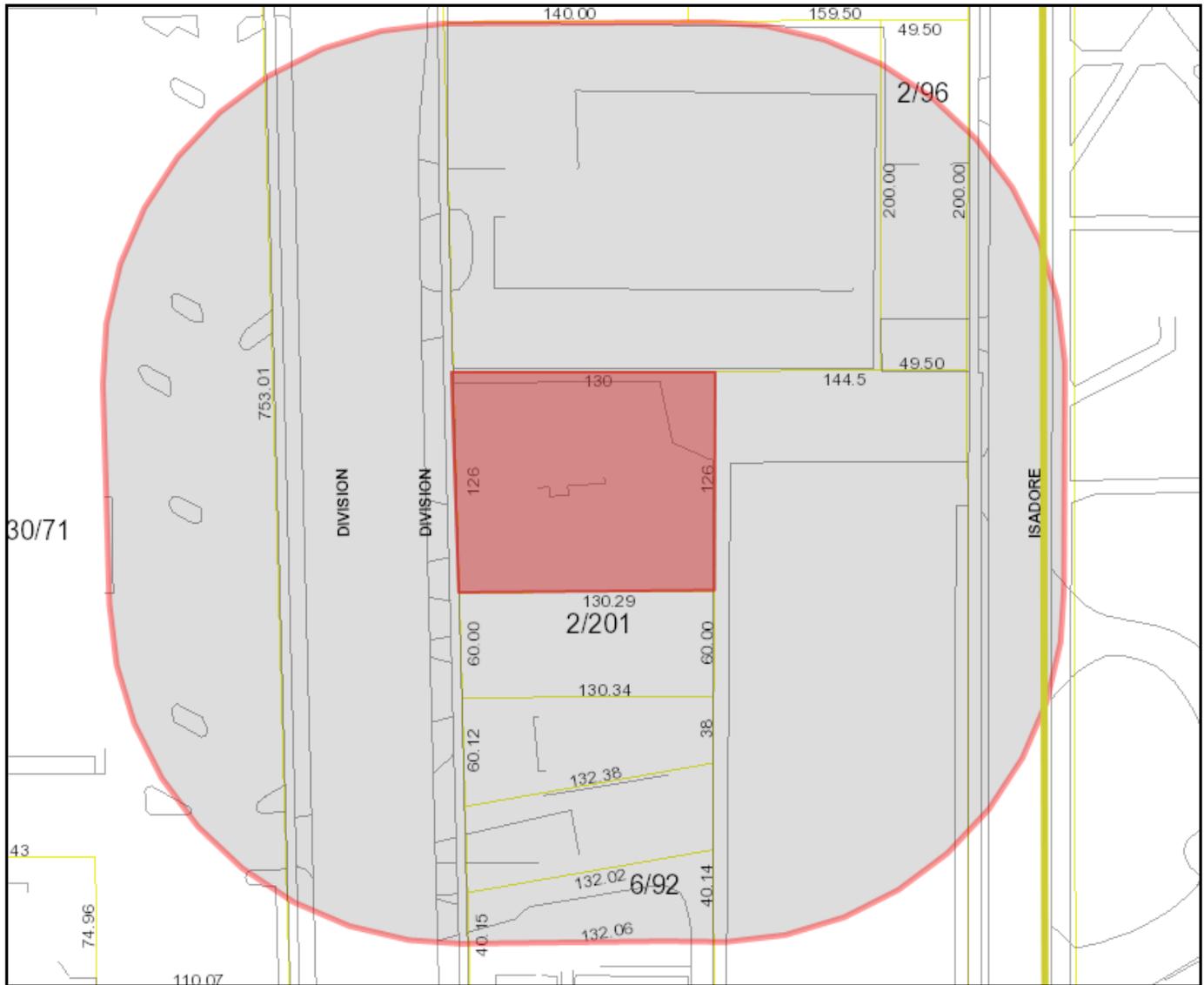
BASEMENT DATA			
BLDG	SEC	ADJUSTMENT DESCRIPTION	AREA
1	1	Apartments - Unfinished Bsmnt	864
1	2	Bar/Tav/Restaurant Unf Bsmnt	1,536

STRUCTURE DATA	
AGE	113
YEAR BUILT	1900
EFF. YEAR	1969
ONE BEDROOM	
TWO BEDROOM	
THREE BEDROOM	
TOTAL UNITS	
STORIES	
BUSINESS_NAME	Tavern w/ rear home

Disclaimer: Information shown here is considered accurate but not guaranteed.
 * Additional data may be available by contacting the assessors office.

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Conditional Use Permit Renewal – Operate a Tavern – 233 Division Street – Exhibit Map (200 Feet Boundary)



Tax Key	Name	Mailing Address	City	Zip	Property Address
281240829490224	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0
281240829400233	CAMPUS CORNER LLC	1877 Neotomas Pl	Santa Rosa CA	95405	101 Division St
281240829400309	NORTHPOINT CENTER LLC	PO Box 508	Hartland WI	53029	200 Division St
281240829400235	GERRARD CORP	420 5th Ave Ste A	LaCrosse WI	54601	1717 Maria Dr
281240829400223	KAREN K JOHNSON	1511 Torun Rd	Stevens Point WI	54482	210 Isadore Ave
281240829400203	VINUBHAI & CHANDRIKA PATEL FAMILY TRUST	209 Division St	Stevens Point WI	54481	209 Division St
281240829400222	BOARD OF REGENTS STATE COLLEGE	P O Box 8010	Madison WI	53708	0
281240829400204	KREEESH LLC	2350 Magnolia Dr	Plover WI	54467	233 Division St
281240829400205	MSG HOLDINGS LLC	W5186 PLEASANT HILL RD	JEFFERSON WI	53549	249 Division St
281240829400206	NAH PROPERTIES LL	473 Shady Oak Ln	Stevens Point WI	54481	257 Division St

281240829400236	WMCR HOLDING COMPANY LLC	PO Box 456	Alpena MI	49707	317 Division St
281240829400207	JOE'S RENTAL LLC	3121 Tommy's Turnpike	Plover WI	54467	301 Division St

2050

759061



CYNTHIA A WISINSKI
PORTAGE COUNTY REGISTER OF DEEDS
RECEIVED FOR RECORD
June 21, 2011 AT 01:05PM

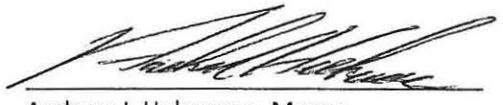
CYNTHIA A WISINSKI, REGISTER OF DEEDS
Fee Amount: \$30.00
Total Pages 1

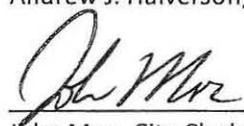
RESOLUTION

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **2301 Church Street**, described as ALL LOT 4 & THAT PRT LOTS 5 & 6 LYG E OF CHURCH ST BLK 4 HELM ADD; EX HY DES 663015 S32 T24 R8, Stevens Point, Portage County, Wisconsin, be granted a Conditional Use for the purpose of Operating a Tavern with the following conditions:

- 1) The expanded serving area to be a patio on grade with the entrance to be from the interior of the bar,
- 2) A 6' railing be installed around the patio,
- 3) No food service, drinking, or music be allowed on the patio after 10:00 p.m.
- 4) Conditional use to expire June 30, 2013.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved: 
Andrew J. Halverson, Mayor

Attest: 
John Moe, City Clerk

Dated: May 16, 2011
Adopted: May 16, 2011

Drafted by: Michael Ostrowski
Return to: City Clerk

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[Tax Data](#)

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2013	2012	2011	2010	2009	2008	2007	2006	2005
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PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS		
Rhody R Mallick 2301 Church Street Stevens Point, WI 54481		
PARCEL #	240832403520	
PROPERTY ADDRESS	2301 Church St	
SUBDIVISION	Helms Addn	
LAND USE	Bar/Tavern w/ Apt(s)	
NEIGHBORHOOD	Division St/Church St (Comm)	
ZONING	B4-COMMERCIAL	

SITE DATA			PERMIT HISTORY			
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	111.34	9/18/2012	12-0598	\$999	099 Sign	electrical/mount "Bar" "Grill"
DEPTH	120.0	5/30/2006	33990	\$6,285	003 Addition	16 x 18 Patio, Deck
SQUARE FOOTAGE	13,360.8	2/16/2004	32180	\$10,000	048 Int Renov/Remodel Kitchen	in bar part
ACREAGE	0.31	11/12/2002	31220	\$6,300	002 Air Conditioning & Furnace	replace
		8/13/1998	27845	\$5,000	024 Exterior Renovations	siding

ASSESSED VALUE 2013					
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
(2) - B-Commercial	\$57,700	\$148,800	\$206,500	100.00 %	\$206,500
TOTAL	\$57,700	\$148,800	\$206,500		\$206,500

LEGAL DESCRIPTION
 ALL LOT 4 & THAT PRT LOTS 5 & 6 LYG E OF CHURCH ST BLK 4 HELM ADD; EX HY DES 663015 S32 T24 R8 643928

BUILDING SUPERSTRUCTURE DATA						
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Bar/Tavern (D avg)	1880	920	Wood Frame - Avg	9

1	2	Bar/Tavern (D avg)	1976	2,012	Wood Frame - Avg	10
1	3	Apts (D avg)	1880	920	Wood Frame - Avg	9
1	4	Bar/Tavern (D avg)	1990	528	Wood Frame - Avg	9

BASEMENT DATA

BLDG	SEC	ADJUSTMENT DESCRIPTION	AREA
1	1	Bar/Tav/Restaurant Fin Bsmnt	338
1	1	Bar/Tav/Restaurant Unf Bsmnt	582
1	2	Bar/Tav/Restaurant Fin Bsmnt	2,012

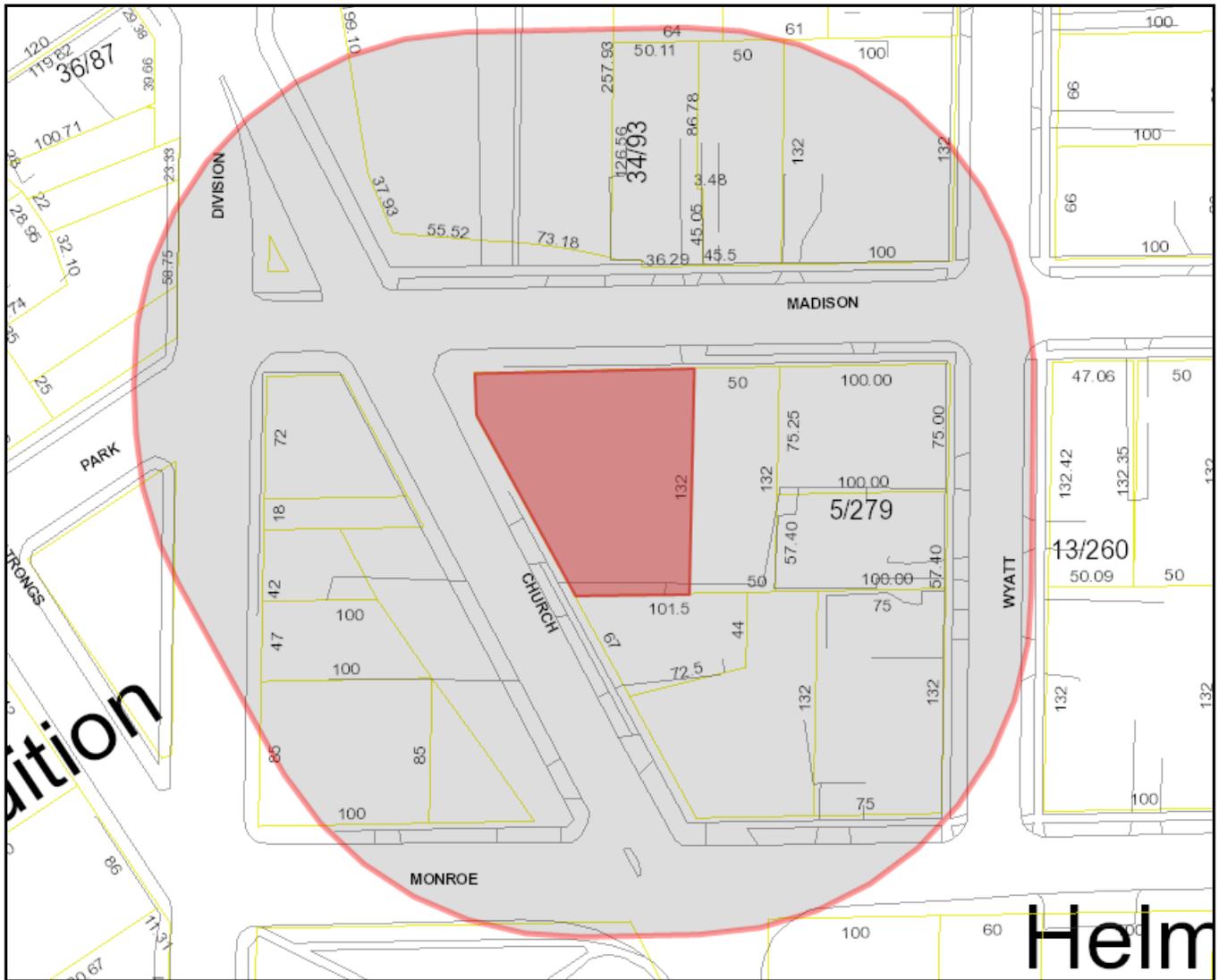
STRUCTURE DATA

AGE	133
YEAR BUILT	1880
EFF. YEAR	1967
ONE BEDROOM	
TWO BEDROOM	1
THREE BEDROOM	
TOTAL UNITS	1
STORIES	2
BUSINESS_NAME	Rhody's Bar w/ apt above

Disclaimer: Information shown here is considered accurate but not guaranteed.
 * Additional data may be available by contacting the assessors office.

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Conditional Use Permit Renewal – Operate a Tavern – 2301 Church Street – Exhibit Map (200 Feet Boundary)

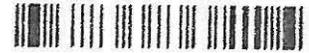


Tax Key	Name	Mailing Address	City	Zip	Property Address
281240832404002	ARLEEN SCHULTZ	1741 Dixon Street	Stevens Point WI	54481	1741 Dixon St
281240832404003	LAURA SHIFFLETT	1733 Dixon St	Stevens Point WI	54481	1733 Dixon St
281240832404021	CENTRAL WISCONSIN CREDIT UNION	1301 Post Rd	Plover WI	54467	2201 Division St
281240832404018	JOHN S & PATRICIA A KEDROWSKI	1740 Madison St	Stevens Point WI	54481	1740 Madison St
281240832404017	JACK LOOMIS	1732 Madison Street	Stevens Point WI	54481	1732 Madison St
281240832404020	DYNO DAVES INVESTMENT PROPERTIES	2916 Minnesota Ave	Stevens Point WI	54481	1724 Madison St
281240832402615	DAVID J & DIANE M POZARSKI	1809 School Street	Stevens Point WI	54481	2224 Division St
281240832404012	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0
281240832402614	MICHAEL J WESTBERG	1232 Park Street	Stevens Point WI	54481	1232 Park St
281240832403519	RHODY R MALLICK	2301 Church Street	Stevens Point WI	54481	0
281240832403503	RHODY R MALLICK	2301 Church Street	Stevens Point WI	54481	0
281240832403520	RHODY R MALLICK	2301 Church Street	Stevens Point WI	54481	2301 Church St
281240832403505	CITY OF STEVENS POINT	1515 Strongs Ave	Stevens Point WI	54481	0

281240832402801	CITY OF STEVENS POINT	1515 Strong's Avenue	Stevens Point WI	54481	0
281240832403518	DAVID J OWENS	1245 Eden Lane	Stevens Point WI	54481	2308 Wyatt Ave
281240832403506	CITY OF STEVENS POINT	1515 Strong's Avenue	Stevens Point WI	54481	0
281240832403521	2317 DIVISION WI LLC	2201 Madison St	Stevens Point WI	54481	2313 Division St
281240832403516	MINNESOTA MONROE LLC	4224 Janick Circle	Stevens Point WI	54481	1716 Monroe St
281240832403515	ROBERT C SKIERKA	2325 Church St	Stevens Point WI	54481	2325 Church St
281240832403514	2321 CHURCH WI LLC	2201 Madison St	Stevens Point WI	54481	2321 Church St
281240832403522	2317 DIVISION WI LLC	2201 Madison St	Stevens Point WI	54481	2317 Division St
281240832403510	TOTC LLC	1700 Monroe Street	Stevens Point WI	54481	1700 Monroe St
281240832403523	2317 DIVISION WI LLC	2201 Madison St	Stevens Point WI	54481	2324 Church St
281240832403401	CITY OF STEVENS POINT	1515 Strong's Ave	Stevens Point WI	54481	0
281240832403402	CITY OF STEVENS POINT	1515 Strong's Ave	Stevens Point WI	54481	2340 Church St

2052

759063



CYNTHIA A WISINSKI
PORTAGE COUNTY REGISTER OF DEEDS
RECEIVED FOR RECORD
June 21, 2011 AT 01:05PM

CYNTHIA A WISINSKI, REGISTER OF DEEDS
Fee Amount: \$30.00
Total Pages 1

RESOLUTION

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **1036 Main Street**, described as W 40' LOT 3 & S 3' OF THE W 36' LOT 20 BLK 29 VAL BROWN ADD, Stevens Point, Portage County, Wisconsin, be granted a Conditional Use Permit to Operate an Electronic Amusement Business with the following conditions:

- 1) Loitering and other nuisance activities be controlled inside and in front of or near the entrance to 1036 Main Street.
- 2) Conditional use to expire June 30, 2013.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved:

Andrew J. Halverson, Mayor

Attest:

John Moe, City Clerk

Dated: May 16, 2011
Adopted: May 16, 2011

Drafted by: Michael Ostrowski
Return to: City Clerk

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[Tax Data](#)

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2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000
1999	1998	1997											

PARCEL / OWNER DATA		PROPERTY IMAGE
NAME AND ADDRESS T A Kessenich LLC 256 W Nelson St Deerfield, WI 53531		
PARCEL #	240832202922	
PROPERTY ADDRESS	1028-36 Main St	
SUBDIVISION	Valentine Brown Addn	
LAND USE	Store, Retail / Warehouse	
NEIGHBORHOOD	Cntrl Bus & 2nd St area(Comm)	
ZONING	B3-CENTRAL BUSINESS	

OWNERSHIP HISTORY						
OWNER	SALE DATE	AMOUNT	CONVEYANCE	VOLUME	PAGE	SALE TYPE
T A Kessenich LLC	1/13/2011	\$173,000	Warranty Deed	754424		Land & Buildings
LMC Properties LLC	4/27/2004	\$135,000	Trustees Deed	655401		Land & Buildings
William E & Roseann W Debot	4/23/2004	\$120,000	Quit Claim Deed	655266		Land & Buildings

SITE DATA		PERMIT HISTORY				
ACTUAL FRONTAGE		DATE	NUMBER	AMOUNT	PURPOSE	NOTE
FRONTAGE	40.0	5/6/2008	35452	\$4,300	044 Inter Renov/Remodel Bathrm	
DEPTH	134.0	9/13/2006	34261	\$3,000	099 Sign	Session 74
SQUARE FOOTAGE	5,360.0	6/24/2005	33332	\$160,000	042 Interior Renov/Remodel	remodel 2 apartment units
ACREAGE	0.12	10/24/1997	27222	\$500	024 Exterior Renovations	windows

ASSESSED VALUE 2013					
CLASS	LAND	IMPROVEMENTS	TOTAL	RATIO	EST. FAIR MARKET VALUE
(2) - B-Commercial	\$35,400	\$200,400	\$235,800	100.00 %	\$235,800
TOTAL	\$35,400	\$200,400	\$235,800		\$235,800

LEGAL DESCRIPTION
 W 40' LOT 3 & S 3' OF THE W 36' LOT 20 BLK 29 VAL BROWN ADD (CLERK OF COURTS FILE 84CV-397);SUBJ TO AGRMT AS IN 655400 754424

BUILDING SUPERSTRUCTURE DATA						
BLDG	SEC	OCCUPANCY	YEAR	AREA	FRAMING	HGT
1	1	Store, Retail (C avg)	1879	2,800	Masonry - Avg	12
1	2	Apts (C avg)	1879	2,800	Masonry - Avg	10
1	3	Store, Retail (C avg)	1920	2,480	Masonry - Avg	12

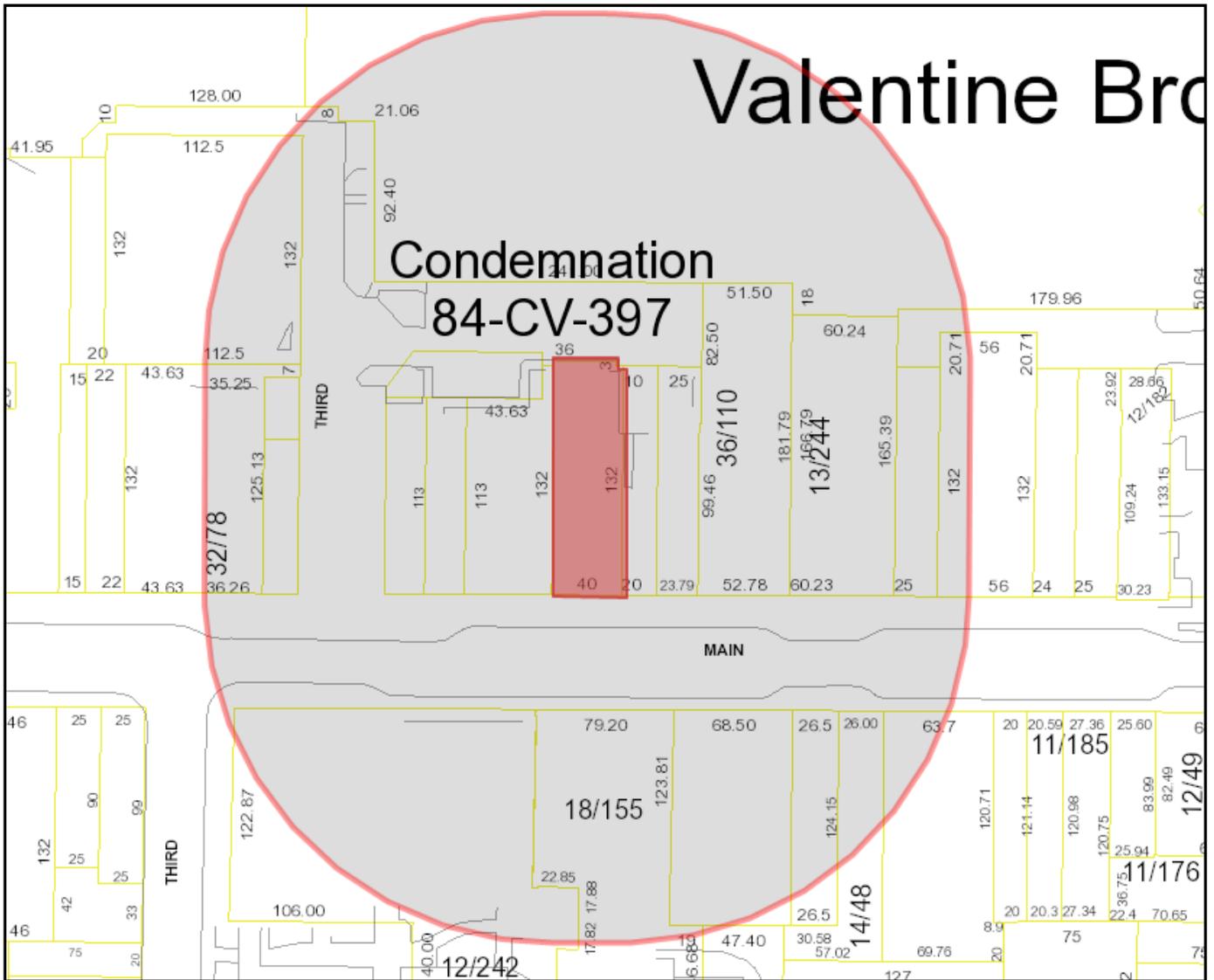
BASEMENT DATA			
BLDG	SEC	ADJUSTMENT DESCRIPTION	AREA
1	1	Store, Retail - Unfin Bsmnt	2,800
1	3	Store, Retail - Unfin Bsmnt	2,480

STRUCTURE DATA	
AGE	134
YEAR BUILT	1879
EFF. YEAR	1955
ONE BEDROOM	
TWO BEDROOM	
THREE BEDROOM	
TOTAL UNITS	
STORIES	2
BUSINESS_NAME	Store, Retail

Disclaimer: Information shown here is considered accurate but not guaranteed.
 * Additional data may be available by contacting the assessors office.

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Conditional Use Permit Renewal – Operate a Tavern – 1028-36 Main Street – Exhibit Map (200 Feet Boundary)



Tax Key	Name	Mailing Address	City	Zip	Property Address
281240832201522	GANNETT MIDWEST PUBLISHING INC	7950 Jones Branch Drive	McLean VA	22107	1200 Third Ct
281240832202938	BCK RENTALS LLC	1052 Main St LL3	Stevens Point WI	54481	1052 Main St
281240832202939	CENTRAL WISCONSIN CHILDRENS MUSEUM INC	1100 Main St Stop 1	Stevens Point WI	54481	1100 Main St
281240832202929	JEANETTE L SANDERS AND ADA SANDERS	1249 Clark Street	Stevens Point WI	54481	1116 Main St
281240832202922	T A KESSENICH LLC	256 W NELSON ST	Deerfield WI	53531	1028 Main St
281240832201528	SCHERTZ PROPERTIES LLC	1265 Main St Ste 104	Stevens Point WI	54481	956 Main St
281240832202921	SCHERTZ FAHRNER LLC	1265 Main St Ste 104	Stevens Point WI	54481	1016 Main St
281240832202923	WILFRED & JULIA FANG	1040 Main St	Stevens Point WI	54481	1040 Main St
281240832202924	LEON AYERS	1044 Main St	Stevens Point WI	54481	1044 Main St
281240832202928	JEANETTE L SANDERS AND ADA SANDERS	1249 Clark Street	Stevens Point WI	54481	1108 Main St
281240832201527	SCIARRONE F & G MILANO ROSEMARY TRUST	2517 PRAIS ST	STEVENS POINT WI	54481	1236 Third St

281240832202919	SCHERTZ FAHRNER LLC	1265 Main St Ste 104	Stevens Point WI	54481	1000 Main St
281240832202920	SCHERTZ FAHRNER LLC	1265 Main St Ste 104	Stevens Point WI	54481	1008 Main St
281240832201526	SCIARRONE F & G MILANO ROSEMARY TRUST	2517 Prais St	Stevens Point WI	54481	968 Main St
281240832202651	CITY OF STEVENS POINT	1515 Strongs Avenue	Stevens Point WI	54481	1001 Main St
281240832202652	JAMES E & PATRICIA A LAABS	1026 Second St N	Stevens Point WI	54481	1035 Main St
281240832202611	ROBERT T WRAY	853 ALABAMA SHORES RD	MUSCLE SHOALS AL	35661	1055 Main St
281240832202610	JEROME L & CARRIE L KAWSKI	2893 River Road	Junction City WI	54443	1059 Main St
281240832202609	PATRICK D & DIANA BARLOW	1497 Old Wausau Road	Stevens Point WI	54481	1101 Main St
281240832202653	PDKB HOLDINGS LLC	1497 Old Wausau Road	Stevens Point WI	54481	1105 Main St
281240832201563					
281240832202966	COMMUNITY DEVELOPMENT AUTHORITY	1515 STRONGS AVE	STEVENS POINT WI	54481	
281240832202965	COMMUNITY DEVELOPMENT AUTHORITY	1515 STRONGS AVE	STEVENS POINT WI	54481	



Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Plan Staff
CC:
Date: 5/28/2013
Re: First amendment to Reciprocal License Agreement between the Community Development Authority of the City of Stevens Point and Mid-State Technical College for the purposes of allowing encroachments onto the property south of 1001 Centerpoint Drive (Parcel ID 2408-32-2029-64).

The Reciprocal License Agreement between the Community Development Authority of the City of Stevens Point (CDA) and Mid-State Technical College (MSTC) was recorded in October, 2012 and conveyed the rights of both parties regarding use of property. The first amendment to this agreement incorporates improvements constructed by Mid-State Technical College that are proposed to occur on their southern property line, which serves as their building wall. Furthermore, the proposed improvements will encroach onto CDA property, which include the following:

- Southern building entrance stone Pier/overhang (extruding 4')
- Southern building entrance canopy and concrete stoop (extruding 5')
- Stone veneer long building façade (extruding 6")
- Stone window surround (extruding 5")
- Wall lights (extruding 10.5")
- Stone pier building accent (extruding 7")
- Sod and landscaping along southern building façade
- Asphalt, concrete, and curb and gutter

Maintenance of the proposed improvements would be the sole responsibility of MSTC. Additionally, this license shall be permanent and run with the land, so as long as the building currently constructed remains. Once asphalt paving and concrete curb/gutter are complete, MSTC will dedicate, at no cost, the improvements to the CDA.

Staff would recommend approval.

**FIRST AMENDMENT TO
RECIPROCAL LICENSE
AGREEMENT**

Document Number

Document Title

This First Amendment to Reciprocal License Agreement ("Amendment") is made by and among Mid-State Technical College District ("College"); the Community Development Authority of the City of Stevens Point ("CDA"); and the City of Stevens Point ("City"), as of the ____ day of May, 2013 ("Effective Date").

Recording Area

Name and Return Address:

Paul G. Hoffman, Esq.
Michael Best & Friedrich LLP
Two Riverwood Place, Suite 200
N19 W24133 Riverwood Drive
Waukesha, WI 53188-1174
ROD BOX 265

PIN:

RECITALS

A. On October 10, 2012, CDA conveyed to College certain property described as Lot 1 of Certified Survey Map No. 10287-46-17, as recorded in Volume 46 of Certified Survey Maps at page 17 ("College Parcel"), as more fully described on the attached and incorporated Exhibit A, and contemporaneously therewith, the parties entered into a Reciprocal License Agreement dated October 10, 2012 ("RLA"), which RLA was recorded in the Office of the Register of Deeds for Portage County on October 10, 2012, as Document No. 776838.

B. CDA owns certain property immediately adjacent to the south wall of the building ("Building") located on the College Parcel (such property to the south, "CDA Parcel"), and as the CDA Parcel is also legally described on the attached Exhibit A.

C. College desires to improve the south wall of the Building, which improvements would be for the betterment of both the College Parcel and CDA Parcel; provided, however, that some of such improvements would extend into the CDA Parcel, requiring this Amendment to the RLA.

D. CDA and City are willing to join in this Amendment grant certain additional licenses to College on the terms and conditions of this Amendment.

AGREEMENT

NOW, THEREFORE, College, City and CDA, in consideration of the above premises and of the covenants herein contained, the receipt and sufficiency of which is hereby mutually acknowledged by each party hereto, do hereby covenant and agree to amend the RLA as follows:

1. CDA LICENSE.

a. CDA hereby grants to College an exclusive license and right of use over portions of the CDA Parcel depicted on Exhibits B and C to install landscaping (including sod, bushes and planters), asphalt paving, concrete curb and gutter, stone veneer, stone window surround and stone pier and other installations, all as depicted on the attached Exhibits B and C. Additionally, CDA further grants to College a license to construct and maintain a canopy and wall lights on the south Building elevation, which will extend over the common boundary of the College Parcel and CDA Parcel as also depicted on said exhibits.

b. In addition to the rights of installation as herein granted, CDA further grants to College a right to enter upon other portions of the CDA Parcel for the purpose of installing such improvements and for maintaining, operating, replacing and restoring such improvements from time to time.

c. The license herein granted shall be permanent and run with the land forever, so long as the Building currently constructed on the College Parcel remains in place. Upon any removal or relocation of the Building, the licenses herein granted by CDA shall, at CDA's option, expire.

2. DEDICATION. Upon completion of the asphalt paving and concrete curb and gutter, such improvements shall be deemed dedicated by College to CDA without charge to CDA, as CDA's own property, and CDA will be responsible for future maintenance and restoration thereof.

3. MAINTENANCE. Except for the asphalt paving and concrete curb and gutter, which are dedicated to CDA, and shall be maintained by CDA or City, College shall be responsible for maintaining all other College improvements within the licensed area, including, without limitation, sidewalk (including snow removal), wall veneer, pier, canopy, overhead lights, landscaping (including sod, bushes and planters), at College's sole expense.

4. INSURANCE AND INDEMNITY. The provisions of the RLA governing insurance and indemnities shall apply to the additional licensed property introduced to the RLA by this Amendment.

5. MISCELLANEOUS.

a. If any term or condition of this Amendment or part thereof is held invalid or unenforceable, the remaining provisions of this Amendment shall remain in full force and effect.

b. The RLA may only be further modified or amended by written instrument, signed by all parties hereto.

c. This Amendment shall be construed under the laws of the State of Wisconsin.

d. Except as amended hereby, the RLA is ratified and confirmed by both parties.

This Amendment is made as of the Effective Date.

**COLLEGE:
MID-STATE TECHNICAL COLLEGE DISTRICT**

By: _____
Susan Budjac, President

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) SS.
COUNTY OF WOOD)

Personally came before me this ____ day of May, 2013, the above-named Susan Budjac, as the President of Mid-State Technical College District, to me known to be the person who executed the foregoing instrument in such capacity and acknowledged the same.

Brandi Zeman
Notary Public, Wisconsin
My Commission expires July 28, 2013.

[ADDITIONAL SIGNATURES/ACKNOWLEDGMENTS ON FOLLOWING PAGES]

**CDA:
COMMUNITY DEVELOPMENT AUTHORITY OF THE CITY OF STEVENS POINT**

By: _____
Andrew J. Halverson, Chairman

Attest: _____
Michael R. Ostrowski, Executive Secretary

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) SS.
COUNTY OF PORTAGE)

Personally came before me this ____ day of May, 2013, the above-named Andrew J. Halverson and Michael R. Ostrowski, as the Chairman and Executive Secretary of the Community Development Authority of the City of Stevens Point, to me known to be the persons who executed the foregoing instrument in such capacities and acknowledged the same.

Becky Kalata
Notary Public, Wisconsin
My Commission expires December 1, 2013.

**CITY:
CITY OF STEVENS POINT**

By: _____
Andrew J. Halverson, Mayor

Attest: _____
John Moe, Clerk

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) SS.
COUNTY OF PORTAGE)

Personally came before me this ____ day of May, 2013, the above-named Andrew J. Halverson and John Moe, as the Mayor and Clerk respectively of the City of Stevens Point, to me known to be the persons who executed the foregoing instrument in such capacities and acknowledged the same.

Becky Kalata
Notary Public, Wisconsin
My Commission expires December 1, 2013.

This instrument was drafted by:
Paul G. Hoffman, Esq.
Michael Best & Friedrich LLP
262.956.6549

EXHIBIT A

LEGAL DESCRIPTIONS

COLLEGE PARCEL:

Lot 1 of Portage County Certified Survey Map No. 10287-46-17 as recorded in Volume 46 of Survey Maps, page 17, located in part of Lots 2, 3, and 4 of Block 3, Lots 1, 2, 3, and 4 of Block 4, Lots 1, 2, 3, 4, 5, 6, 7, and 8 of Block 13 and Outlot 1 of Strong, Ellis, and Others Addition, and part of Lots 1, 2, 3, 4, and 5 of Block 27 of Valentine Brown's Addition to the City of Stevens Point, and part of vacated College Avenue and Second Street, located in Government Lot 1 and the NE 1/4 of the NW 1/4 of Section 32, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin.

CDA PARCEL:

[NEED TO OBTAIN FROM CDA]

EXCEPTING THEREFROM: The College Parcel, legally described as:

Lot 1 of Portage County Certified Survey Map No. 10287-46-17 as recorded in Volume 46 of Survey Maps, page 17, located in part of Lots 2, 3, and 4 of Block 3, Lots 1, 2, 3, and 4 of Block 4, Lots 1, 2, 3, 4, 5, 6, 7, and 8 of Block 13 and Outlot 1 of Strong, Ellis, and Others Addition, and part of Lots 1, 2, 3, 4, and 5 of Block 27 of Valentine Brown's Addition to the City of Stevens Point, and part of vacated College Avenue and Second Street, located in Government Lot 1 and the NE 1/4 of the NW 1/4 of Section 32, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin.



Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Plan Staff
CC:
Date: 5/28/2013
Re: Transferring and/or selling and/or assigning the rights to the property located at 1450 Water Street (Parcel ID 2408-32-2019-33) and the adjacent unaddressed property (Parcel ID 2408-32-2019-35) from the Community Development Authority of the City of Stevens Point to Affordable Senior Housing of Central Wisconsin Inc.

Request for proposals were submitted to the Community Development Authority of the City of Stevens Point (CDA) in April, 2013 by developers interested in purchasing Edgewater Manor. The CDA board has reviewed the proposals and chosen to move forward with the proposal submitted by Affordable Senior Housing of Central Wisconsin, Inc., for a sale price of \$1,550,000. The detailed proposal is attached for your review. The Plan Commission needs to provide a recommendation to the CDA regarding the sale of Edgewater Manor. Please note, minor modifications may occur to the agreement and sale terms which have yet to be finalized.

OFFER

**Proposal for Purchase and Redevelopment/Remodel
of
Edgewater Manor
1450 Water Street
Stevens Point, WI 54481**

Press
COPY

From

Affordable Senior Housing of Central Wisconsin, Inc.
A Wisconsin Corporation
Attorney Philip I. Parkinson, President
8th West Davenport St. Suite 200
Rhinelander, WI 54501

(715) 362-8489

philipi.parkinson@gmail.com

Affordable Senior Housing of Central Wisconsin, Inc.
Attorney Philip I. Parkinson, President
8th West Davenport St. Suite 200
Rhineland, WI 54501
(715) 362-8489
philipi.parkinson@gmail.com

April 19, 2013

The Board Members of the Stevens Point Community Development Authority (CDA)
Andrew Halverson, Chair
Randy Stroik
George Hanson
Marge Molski
Paul Adamski
Dave Cooper
Carita Onstad
1515 Strongs Avenue
Stevens Point, WI 54481

RE: Request for Proposal for Redevelopment/Remodel of Edgewater Manor,
1450 Water Street, Stevens Point.

Dear CDA:

Enclosed herewith, please find our Proposal for the Purchase and Redevelopment/Remodel of Edgewater Manor. Please forward all notices and communications regarding this submitted proposal to my attention at the address listed above. Attached please find the signed Certification Sheet as requested.

Sincerely,



Philip I. Parkinson,
President

Affordable Senior Housing of Central Wisconsin, Inc.
Attorney Philip I. Parkinson, President
8th West Davenport St. Suite 200.
Rhineland, WI 54501
(715) 362-8489
philipi.parkinson@gmail.com

Certification Sheet

April 19, 2013

RE: Request for Proposal for Redevelopment/Remodel of Edgewater Manor,
1450 Water Street, Stevens Point.

I, the below signed, certify that:

1. All of the information contained in the proposal is true and correct; and
2. Affordable Senior Housing of Central Wisconsin, Inc., will proceed with the redevelopment/remodel as proposed and according to the schedule proposed if the proposal is selected; and
3. Affordable Senior Housing of Central Wisconsin, Inc., agrees to all terms and conditions, reservations, and stipulations contained in this Request for Proposal; and
4. The signatory is authorized to make the commitments and representations contained in the letter and in the proposal on behalf of the respondent.



Philip I. Parkinson
President

Redevelopment/Remodel Proposal for 1450 Water St., Stevens Point

Respondent Information & Qualifications

Affordable Senior Housing of Central Wisconsin, Inc.
8th West Davenport St. Suite 200
Rhinelander, WI 54501
(715) 362-8489
philipi.parkinson@gmail.com

Affordable Senior Housing Information & Qualifications:

- a. The principals of Affordable Senior Housing proposes to enhance the Edgewater Manor property at 1450 S. Water St., Stevens Point, by adding assisted living opportunities to the independent senior housing option currently available at Edgewater Manor. Tenants with a need for assisted living care could receive up to 28 hours per week of supportive, personal, and nursing services in Residential Care Apartment Complex units or supervision, support services, and up to three hours per week of skilled nursing care in Community Based Residential Facility units. Affordable independent living units would continue to be offered at Edgewater Manor under this proposal, allowing the community to meet the needs of its elderly population on a number of needed levels of care.

This proposal will enhance the quality of life in the community without placing any additional burden on City of Stevens Point finances. The Affordable Senior Housing has adequate financing to purchase and remodel the site to accommodate assisted living units without city funding dollars.

In addition, the proposal will enhance the economy of the community. The residential care and community based residential facility portions of the facility will employ certified nursing assistants and other staff members, and will use other local health care services as needed. Affordable Senior Housing will be working with local providers to help residents obtain needed services. In addition, Affordable Senior Housing anticipate that by continuing to offer affordable housing and adding senior living options in the apartment complex, its vacancy rate (which is currently at 40 percent) will decrease. Increasing the number of tenants in turn will increase the number of visitors coming into the City of Stevens Point downtown and waterfront areas, resulting more traffic to area shops and businesses.

The principals of Affordable Senior Housing have extensive experience with senior housing projects. They have been involved in the development of assisted living projects throughout the state of Wisconsin since 1997. This includes work with Residential Care Apartment Complexes, Community Based Residential Facilities, and affordable independent senior housing projects. In the course of their work with these projects and senior population, they have worked with state and county governments to get appropriate support to meet the assisted living needs of the residents of these facilities.

Affordable Senior Housing agents have toured the property and spoken with residents to gain an appreciation for their needs and the best way to provide services to them and to

the community. It is the intent of Affordable Senior Housing to maintain the independent senior housing option currently available and complement it with two additional levels of senior housing. We will work with state and local agencies to provide services needed by residents and keep the units affordable.

There is a population of seniors in the Stevens Point area whose needs are currently not being met. Providing affordable independent living and appropriate levels of assisted living care will allow residents to stay in their own homes for as long as possible while receiving the level of care they need and deserve. This will be accomplished without straining the city's budget, and in a manner that enhances the economy of the downtown and waterfront areas, while providing affordable living options to the elderly.

b. Personnel

The Attorney for Affordable Senior Housing is:

Attorney: Philip I. Parkinson,
8th West Davenport St. Suite 200
Rhineland, WI 54501
(715) 362-8489
philipi.parkinson@gmail.com

The Architect for Affordable Senior Housing is:

Architectural Service
Jackson Case
3028 Stanley St.
Stevens Point, WI 54481

The Contractor for Affordable Senior Housing is:

Ludwig General Contracting, LLC
4824 Industrial Park Rd.
Stevens Point, WI 54481

The marketing and/or management for Affordable Senior Housing is:

Crystal Fountains Assisted Living, LLC
3380 Bridlewood Dr.
Plover, WI 54467

The Financial Consultant for Affordable Senior Housing is:

Mike Collins
Vice President
River Valley Bank
1130 East Grand Ave
Rothschild, WI 54474

c. Experience

Attorney Phil Parkinson:

Attorney Housing Authority for City of Rhinelander for 30 years.

Attorney for the City of Rhinelander for 30 years.

Administrator for the City of Rhinelander for 8 years.

Attorney private practice for 5 years.

Architectural Services has been in business since 1991. Some of the major projects they have completed are:

- The Lodge at Whispering Pines, a 48-unit RCAC located in Plover, WI.
- Arborwood Lodge, a 48-unit RCAC located in Wisconsin Rapids, WI.
- Arborview Court, a 50-unit CBRF/Memory Care located in Wisconsin Rapids, WI.
- An under construction project is a 20-unit addition to The Lodge at Whispering Pines. This project will be completed in 2013.

Ludwig General Contracting, LLC and it's member Tom Ludwig has been in business since 1997. Some of the major projects they have completed are:

- A four-unit addition to Whispering Pines, a 40-unit CBRF located in Plover, WI
- The Lodge at Whispering Pines, a 48-unit RCAC located in Plover, WI.
- Arborwood Lodge, a 48-unit RCAC located in Wisconsin Rapids, WI.
- Arborview Court, a 50-unit CBRF/Memory Care located in Wisconsin Rapids, WI.
- An under construction project is a 20-unit addition to The Lodge at Whispering Pines. This project will be completed in 2013.

d. Proposed ownership and marketing/management structure

Affordable Senior Housing will become the titled owner of the property.

Crystal Fountains Assisted Living, LLC (CFAL) will market and manage the property.

CFAL proposes to operate the Edgewater Manor with the same management team that operates its campuses in Plover and Wisconsin Rapids, with the addition of on-site managers at Edgewater Manor. CFAL currently cares for 189 senior citizens at its four locations. The four properties of CFAL are:

- Whispering Pines, a 40-unit CBRF located in Plover, WI
- The Lodge at Whispering Pines, a 48-unit RCAC located in Plover, WI.
- Arborwood Lodge, a 48-unit RCAC located in Wisconsin Rapids, WI.
- Arborview Court, a 50-unit CBRF/Memory Care located in Wisconsin Rapids, WI.
- An under construction project CFAL is currently working on is a 20-unit addition to The Lodge at Whispering Pines. This project will be completed in 2013.

At this time, all CFAL properties enjoy a very high occupancy and some facilities have a waiting list. CFAL is a provider of quality care to senior citizens in Central Wisconsin and partners with Community Care of Central Wisconsin (CCCW).

New development projects competed in the past five years involving this ownership and management/marketing team include:

- Whispering Pines, a 40-unit CBRF located in Plover, WI
- The Lodge at Whispering Pines, a 48-unit RCAC located in Plover, WI.
- Arborwood Lodge, a 48-unit RCAC located in Wisconsin Rapids, WI.
- Arborview Court, a 50-unit CBRF/Memory Care located in Wisconsin Rapids, WI.
- An under construction project they are currently working on is a 20-unit addition to The Lodge at Whispering Pines. This project will be completed in 2013.

Karen Trzebiatowski is currently the Director of Operation for CFAL. She is a registered nurse and has 33 years of experience with senior care within Central Wisconsin.

Proposed Redevelopment/Remodel

- a. The proposal from Affordable Senior Housing for the Edgewater Manor property at 1450 Water St., Stevens Point, adds two assisted living options to the affordable independent senior housing currently available at the site. Under our proposal, the building will house Residential Care Apartment Complex (RCAC) units and Community Based Residential Facility (CBRF) units as well as affordable independent living units.

Currently 60 percent of the 81 apartments are inhabited and are used for independent senior housing. Under our proposal, about 20 percent of the building's units will be converted to RCAC and 20 percent will be converted to CBRF. The remaining 60 percent will be used for independent senior housing.

- b. Under our proposal, current tenants will be able to remain in the building. Tenants will be allowed to stay in their present apartments until the buildings five floors are converted to varying levels of care. When the conversion occurs, residents will be allowed to choose to live on the floor with the level of care that best suits their needs. Vacant apartments will be remodeled and restored first to make them available to independent and assisted living. To allow for the efficiencies of keeping the independent living units and assisted living units grouped together, one floor of the five-story building will eventually be dedicated to RCAC care and one to CBRF care. The remainder of the units will be dedicated to affordable independent living for seniors. Modifications for handicapped accessible units and common areas will be expanded.

Assisted living services and independent senior housing are significant needs in the Stevens Point community. According to the 2010 U.S. Census, Portage County has a population of 70,019. Census information from 2011 shows that 12.9 percent of the population is over the age of 65. We anticipate a significant demand for affordable units within an aging population and a continued need for affordable independent senior housing. The addition of the RCAC and CBRF options will make Edgewater Manor's units viable for tenants with a need for a higher level of care. This proposal will make the

building's units attractive to a broader population and will help the frail elderly live a more independent life. They will be able to stay in their own homes, receiving continued care based on their level of need. The National Council on Aging notes that long-term services and supports allow individuals to live healthy, secure, and independent lives. These services include helping older adults accomplish everyday tasks, such as bathing, getting dressed, fixing meals, and managing a home. The number of individuals needing this support is expected to double as the population ages. These services will be available to residents of Edgewater Manor on a continuum of care.

The principals of Affordable Senior Housing have extensive experience with senior housing projects. They have been involved in the development of assisted living projects throughout the state of Wisconsin since 1997 and have worked with affordable housing projects throughout the state. They are experienced in working with state and county governments to get appropriate funding and support to meet the assisted living needs of the residents of these facilities.

The economic benefits of the proposal from Affordable Senior Housing of Central Wisconsin, Inc., include the absence of public funding. **This project will be completed entirely with private funds; no additional funding from the city is needed. This property may be part of a TIF district if that is to the advantage of the city, but that is not a requirement in this proposal. The proposal includes no request for any money from the City of Stevens Point.**

The proposal to bring assisted living and other levels of care to the apartments will help to reduce the building's 40 percent vacancy rate. A lower vacancy rate will mean more tenants and visitors will be in the area to utilize services and visit shops and businesses. The addition of RCAC and CBRF units will also enhance the economy through job creation by the addition of certified nursing assistant positions and other jobs. Local services and health care providers will be used in connection with the care of residents.

- c. After the redevelopment is complete, the project will be owned by Affordable Senior Housing which is a privately owned company and is subject to property tax.
- d. Under our proposal, no public improvements to the site will be needed. Property changes will include expanding the third, fourth, and fifth floors, as dictated by demand.
- e. Upon closing Affordable Senior Housing will proceed with an aggressive marketing campaign to fill available units. All current residents will be held to their current contracts and rents.
- f. We propose the following schedule for completion of the proposed redevelopment/remodel:
 - i. The first six months will be spent developing programs, training staff, marketing the building and developing new concepts.
 - ii. In the sixth month we propose to begin to rehab and remodel dwellings, making them more senior- friendly at a rate of four per month until all 81 units have been completely remodeled.

- iii. In the event that the remodeled dwellings are successfully filled, we propose expanding the third, fourth, and fifth floors to match the footprint of the current foundation. The expansion will include a commercial kitchen, dining areas, and common gathering areas, to provide additional services.
- g. The only changes to the current building structure is indicated in paragraph f-iii regarding the expansion of the third, fourth, and fifth floor.
- h. A project budget is attached and included on a USB flash drive.
 - i. The redevelopment/remodel will be completed with private funds. A bank letter of commitment is included with this proposal that will fund the purchase price of \$1,555,000 for Edgewater Manor and for future remodeling. River Valley Bank has used a principle for previous projects and is firmly supporting this purchase.
 - ii. The remaining amount, after the purchase of the building, of the \$1,800,000 shown on the River Valley Bank letter of commitment will be used to fund the remodeling project along with current and future tenant rental receipts. There will be no public incentive funding needed for any part of the remodeling project.
 - iii. Affordable Senior Housing will pay \$1,555,000 plus a donation to the Youth of Stevens Point for the property which will be financed by River Valley Bank as stated in the River Valley Bank letter of commitment.
 - iv. See attached operating budget and included on a USB flash drive.
 - v. The completed redevelopment is not intended to be sold in whole or part.
- i. The management plan is as follows:
Crystal Fountains Assisted Living will manage the property. The first six months will be spent developing programs, training staff, marketing the building, and developing new concepts.
- j. The operational management plan is as follows:
Crystal Fountains Assisted Living, LLC (CFAL) will own, market, and manage the property. CFAL proposes to operate the Edgewater Manor with the same management team that operates its campuses in Plover and Wisconsin Rapids, with the addition of on-site managers at Edgewood Manor.
- k. The proposed project schedule is as follows:
 - i. Upon closing on the property, the first six months will be spent developing programs, training staff, marketing the building and developing new concepts.
 - ii. In the sixth month the remodeling portion of the project will commence.
 - iii. The remodel of all 81 dwelling will be completed by the 26th month after the closing date.
- l. There are no conditions to performance.

Purchase Price

Affordable Senior Housing of Central Wisconsin, Inc. is offering to pay \$1,555,000 plus a donation to the Youth of Stevens Point for the property. Affordable Senior Housing of Central Wisconsin, Inc. will pay \$200,000 in earnest money within five days of this signed acceptance of this proposal.

Proposal Submission Fee:

Enclosed please find check in the amount of \$1,000 as our proposed submission deposit.

River Valley

April 17, 2013

To: City of Stevens Point, WI
Re: Edgewater Senior Housing Bid – Loan Pre-approval
Applicant Name: Affordable Senior Housing of Central Wisconsin, Inc.

River Valley Bank is pleased to communicate that a loan amount of one million eight hundred thousand (\$1,800,000) has been preapproved for the purpose of acquisition of the above stated property with the above applicant.

Purpose as defined by applicants:

"The purpose of the loan application / pre-approval is to ensure an "Affordable Senior Housing Complex" continues on the site and also to increase services to the existing and future tenants."

The prospective clients have given the bank all the necessary documentation:

- Financial Statements
- Proforma
- Experience and Management Capabilities

If the applicant bid is accepted, all of the "typical" loan conditions would apply:

- Acceptable Appraisal
- Acceptable Title Insurance
- Acceptable Flood Plain Determination
- Acceptable Environmental Investigations – if necessary
- Final Loan Approval after review of above items

** The above list of items/conditions is subject to change after reviewing an accepted offer to purchase.

Kind Regards,



Michael P. Collins
Vice President

RIVER VALLEY BANK

Senior Apartment

2014

2015

	May	June	July	August	September	October	November	December	January	February	March	April	TOTAL
REVENUES	Month 1	Month 2	Month 3	Month 4	Month 5	Month 6	Month 7	Month 8	Month 9	Month 10	Month 11	Month 12	
Number of Units	65	65	65	69	73	77	81	81	81	81	81	81	
Monthly Rent	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$530	
Total Monthly Revenues	\$34,450	\$34,450	\$34,450	\$36,570	\$38,690	\$40,810	\$42,930	\$42,930	\$42,930	\$42,930	\$42,930	\$42,930	\$477,000
Controllable Expenses													
Grounds Maintenance	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$24,000
Manager	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$42,000
Onsite Staff	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$36,000
Miscellaneous Expense	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$20,400
Remodeling Fund						\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$84,000
Utilities	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$69,996
Total Controllable Exp	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$28,033	\$276,396						
FIXED EXPENSES													
Insurance	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$12,000
Property Taxes	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,337	\$40,000
Principal And Interest*	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$76,740
Total Fixed Expense	\$10,728	\$10,732	\$128,740										
NET PROFIT/LOSS	\$7,589	\$7,689	\$7,689	\$9,809	\$11,929	\$2,049	\$4,169	\$4,169	\$4,169	\$4,169	\$4,169	\$4,165	\$71,864
Running Total		\$15,378	\$23,067	\$32,876	\$44,805	\$46,854	\$51,023	\$55,192	\$59,361	\$63,530	\$67,699	\$71,864	

Senior Apartment	2015						2016						TOTAL
	May	June	July	August	September	October	November	December	January	February	March	April	
	Month 1	Month 2	Month 3	Month 4	Month 5	Month 6	Month 7	Month 8	Month 9	Month 10	Month 11	Month 12	
REVENUES													
Number of Units	81	81	81	81	81	81	81	81	81	81	81	81	
Monthly Rent	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$530	\$540	\$540	\$540	\$540	
Total Monthly Revenues	\$42,930	\$43,740	\$43,740	\$43,740	\$43,740	\$518,400							
Controllable Expenses													
Grounds Maintenance	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$24,000
Manager	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$42,000
Onsite Staff	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$36,000
Miscellaneous Expense	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$20,400
Remodeling Fund	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$144,000
Utilities	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$69,996
Total Controllable Exp	\$28,033	\$336,396											
FIXED EXPENSES													
Insurance	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$12,000
Property Taxes	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,333	\$3,666	\$3,666	\$3,666	\$3,666	\$41,328
Principal And Interest*	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$76,740
Total Fixed Expense	\$10,728	\$11,061	\$11,061	\$11,061	\$11,061	\$130,068							
NET PROFIT/LOSS	\$4,169	\$4,646	\$4,646	\$4,646	\$4,646	\$51,936							
Running Total		\$8,338	\$12,507	\$16,676	\$20,845	\$25,014	\$29,183	\$33,352	\$37,998	\$42,644	\$47,290	\$51,936	

Senior Apartment

2016

2017

	May	June	July	August	September	October	November	December	January	February	March	April	
REVENUES	Month 1	Month 2	Month 3	Month 4	Month 5	Month 6	Month 7	Month 8	Month 9	Month 10	Month 11	Month 12	TOTAL
Number of Units	81	81	81	81	81	81	81	81	81	81	81	81	
Monthly Rent	\$540	\$540	\$540	\$540	\$540	\$540	\$540	\$540	\$550	\$550	\$550	\$550	
Total Monthly Revenues	\$43,740	\$44,550	\$44,550	\$44,550	\$44,550	\$528,120							
Controllable Expenses													
Grounds Maintenance	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$24,000
Manager	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$42,000
Onsite Staff	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$36,000
Miscellaneous Expense	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$20,400
Remodeling Fund	\$12,000	\$3,000											\$15,000
Utilities	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$69,996
Total Controllable Exp	\$28,033	\$19,033	\$16,033	\$207,396									
FIXED EXPENSES													
Insurance	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$12,000
Property Taxes	\$3,666	\$3,666	\$3,666	\$3,666	\$3,666	\$3,666	\$3,666	\$3,666	\$4,032	\$4,032	\$4,032	\$4,032	\$45,456
Principal And Interest*	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$76,740
Total Fixed Expense	\$11,061	\$11,427	\$11,427	\$11,427	\$11,427	\$134,196							
NET PROFIT/LOSS	\$1,646	\$13,646	\$16,646	\$16,646	\$16,646	\$16,646	\$16,646	\$16,646	\$17,090	\$17,090	\$17,090	\$17,090	\$186,528
Running Total		\$18,292	\$34,938	\$51,584	\$68,230	\$84,876	\$101,522	\$118,168	\$135,258	\$152,348	\$169,438	\$186,528	

Senior Apartment	2017						2018						TOTAL
	May	June	July	August	September	October	November	December	January	February	March	April	
REVENUES	Month 1	Month 2	Month 3	Month 4	Month 5	Month 6	Month 7	Month 8	Month 9	Month 10	Month 11	Month 12	
Number of Units	81	81	81	81	81	81	81	81	81	81	81	81	
Monthly Rent	\$550	\$550	\$550	\$550	\$550	\$550	\$550	\$550	\$560	\$560	\$560	\$560	
Total Monthly Revenues	\$44,550	\$44,550	\$44,550	\$44,550	\$44,550	\$44,550	\$44,550	\$44,550	\$45,360	\$45,360	\$45,360	\$45,360	\$537,840
Controllable Expenses													
Grounds Maintenance	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$24,000
Manager	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$42,000
Onsite Staff	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$36,000
Miscellaneous Expense	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$20,400
Remodeling Fund													\$0
Utilities	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$69,996
Total Controllable Exp	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$16,033	\$192,396
FIXED EXPENSES													
Insurance	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$12,000
Property Taxes	\$4,032	\$4,032	\$4,032	\$4,032	\$4,032	\$4,032	\$4,032	\$4,032	\$4,435	\$4,435	\$4,435	\$4,435	\$49,996
Principal And Interest*	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$76,740
Total Fixed Expense	\$11,427	\$11,427	\$11,427	\$11,427	\$11,427	\$11,427	\$11,427	\$11,427	\$11,830	\$11,830	\$11,830	\$11,830	\$138,736
NET PROFIT/LOSS	\$17,090	\$17,090	\$17,090	\$17,090	\$17,090	\$17,090	\$17,090	\$17,090	\$17,497	\$17,497	\$17,497	\$17,497	\$206,708
Running Total		\$34,180	\$51,270	\$68,360	\$85,450	\$102,540	\$119,630	\$136,720	\$154,217	\$171,714	\$189,211	\$206,708	

Senior Apartment	2018						2019						TOTAL
	May	June	July	August	September	October	November	December	January	February	March	April	
REVENUES	Month 1	Month 2	Month 3	Month 4	Month 5	Month 6	Month 7	Month 8	Month 9	Month 10	Month 11	Month 12	
Number of Units	81	81	81	81	81	81	81	81	81	81	81	81	
Monthly Rent	\$560	\$560	\$560	\$560	\$560	\$560	\$560	\$560	\$570	\$570	\$570	\$570	
Total Monthly Revenues	\$45,360	\$46,170	\$46,170	\$46,170	\$46,170	\$547,560							
Controllable Expenses													
Grounds Maintenance	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$24,000
Manager	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$3,500	\$42,000
Onsite Staff	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000	\$36,000
Miscellaneous Expense	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$1,700	\$20,400
Remodeling Fund													\$0
Utilities	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$5,833	\$69,996
Total Controllable Exp	\$16,033	\$192,396											
FIXED EXPENSES													
Insurance	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$12,000
Property Taxes	\$4,435	\$4,435	\$4,435	\$4,435	\$4,435	\$4,435	\$4,435	\$4,435	\$4,878	\$4,878	\$4,878	\$4,878	\$64,992
Principal And Interest*	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$6,395	\$76,740
Total Fixed Expense	\$11,830	\$12,273	\$12,273	\$12,273	\$12,273	\$143,732							
NET PROFIT/LOSS	\$17,497	\$17,864	\$17,864	\$17,864	\$17,864	\$211,432							
Running Total		\$34,994	\$52,491	\$69,988	\$87,485	\$104,982	\$122,479	\$139,976	\$157,840	\$175,704	\$193,568	\$211,432	