

AGENDA
CITY PLAN COMMISSION

Monday, February 1, 2016 – 6:00 PM

Lincoln Center – 1519 Water Street, Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

1. Roll call.

Discussion and possible action on the following:

2. Report of the December 7, 2015 Plan Commission meeting.
3. Request from Rowe Builders Inc. for the purpose of annexing 2.203 acres, three parcels, of unaddressed property located on the northwest corner of the intersection of Green Avenue and Sunset Boulevard (**County Parcel ID: 020240827-10.28, 020240827-10.26, and 020240827-10.27**) from the Town of Hull to the City of Stevens Point.
4. Request from Storage Unlimited LLC for site and landscaping plan review at **3256 Church Street (Parcel ID 2308-04-2008-34)**.
5. Request from the City of Stevens Point for approval of the Hoover Avenue Relocation Order and purchase of property for the Hoover Avenue grade separation project.
6. Request for a Revocable License Agreement with Vincent and Gina Miresse at **1008 Sixth Avenue (Parcel ID: 2408-29-3003-23)** to lease city property.
7. Adjourn.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling 715-346-1567, during normal business hours.

Any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715)346-1569 or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

REPORT OF CITY PLAN COMMISSION
 December 7, 2015 – 6:00 PM
 Lincoln Center – 1519 Water Street

PRESENT: Mayor Wiza, Alderperson Mary Kneebone, Commissioner Anna Haines, Commissioner Bob Brush, Commissioner Hoppe, Commissioner Garry Curless, and Commissioner Dave Cooper.

ALSO PRESENT: Community Development Director Michael Ostrowski, Associate Planner Kyle Kearns, Alderperson Mary McComb, Alderperson Heidi Oberstadt, Alderperson Tony Patton, Alderperson Mike Phillips, Alderperson Denise Mrozek, Zoning Administrator/Building Inspector James Zepp, City Attorney Logan Beveridge, Chief Marty Skibba, Chief Bob Finn, Assistant Chief Jodi Baganz, Mark & Bobbie Erwin, Nate Enwald, Brandi Makuski, Barb Jacob, Trisha Steinhorst, Tiffani Krueger, Cassie Degroff, Jocelyn Maye, Cynthia Milden, Robert Pattillo, Rogre Larson, DeAnna Ruetten, Tamara Kolbeck, Jennifer Lemberger, JD Manville, Robert Konkol, Larry Stuczynski, Tori Jennings, Jack Leichtfuss, Craig and Susan Tesch, Steve Decker, Donald Buza, Henry Korger, Bob & Cynthia Berl, Meryl Nelson, Ciana Rose, Thomas Treder, Jaime White, Eric Ecklund, Reverend Anne Edison-Albright, Kimberly Jononz, Terry Hackett, Pete Meinholz, Tony Mertes, Joanna Rodriguez, Joan Enright, Bob Enright, Cnrad Graczyk, Alycia Skomsvold, Father Placid Stroik OFM, Laurie Rossier, Stacy Reinwand, Jack Elsinger, Cathy Dugan, Amber Parrish, Scott Peplinski, Matthew Lepak, Leo Jacoby, Irene Slowinski, Paul Zurfley, Lori Kawleski, Andi Oppermann, Sally Topinka, and Rick Oppermann.

INDEX:

1. Roll call.

Discussion and possible action on the following:

2. Report of the November 2, 2015 Plan Commission meeting.
3. **Public Hearing** – Request from Stratford Sign Company, representing Investors Community Bank, for a conditional use permit and sign variance to construct two off-premise and multiple on-premise freestanding signs to be located on the **northwest corner of County Road R and County Highway HH (Parcel ID's: 2308-02-4004-10, 2308-02-4004-11 & 2308-02-4004-12)**.
4. Action on the above.
5. Request from Mark & Roberta Erwin for the purpose of annexing their property located at **1230 Second Street (County Parcel ID: 020-24-0817-12.03)** from the Town of Hull to the City of Stevens Point.
6. **Public Hearing** – Establishing a permanent zoning classification of "B-1" Neighborhood Business District, "B-2" Central Business Transition District, or "B-4" Commercial District for **1230 Second Street (County Parcel ID: 020-24-0817-12.03) (Erwin annexation request)**.
7. Action on the above.
8. Request from the City of Stevens Point for the purpose of annexing municipally owned property located west of 5707 U.S. Highway 10 East, known as a **portion of Elizabeth Avenue**.

9. Request from Nancy Urbanek for the purpose of annexing property located at **5707 U.S. Highway 10 East (County Parcel ID 020-24-0836-08.02)** from the Town of Hull to the City of Stevens Point.
 10. **Public Hearing** – Establishing a permanent zoning classification of "B-5" Highway Commercial District for **5707 U.S. Highway 10 East (County Parcel ID 020-24-0836-08.02) (Urbanek annexation request)**.
 11. Action on the above.
 12. **Public Hearing** – Request from Storage Unlimited LLC, for a conditional use permit for the purposes of operating an indoor storage facility at **3256 Church Street (Parcel ID 2308-04-2008-34)**.
 13. Action on the above.
 14. **Public Hearing** –Request from Evergreen Community Initiatives, representing the Franciscans Downtown, for a conditional use permit for the purposes of operating a warming shelter (temporary housing) at **1000 Main Street (Parcel ID 2408-32-2029-19)**.
 15. Action on the above.
 16. Adjourn.
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1. Roll call.

Present: Wiza, Kneebone, Brush, Haines, Hoppe, Curless, Cooper

Discussion and possible action on the following:

2. Report of the November 2, 2015 Plan Commission meeting.

Motion by Commissioner Cooper to approve the report of the November 2, 2015 Plan Commission meeting, seconded by Commissioner Haines.

Motion carried 7-0.

3. **Public Hearing** – Request from Stratford Sign Company, representing Investors Community Bank, for a conditional use permit and sign variance to construct two off-premise and multiple on-premise freestanding signs to be located on the **northwest corner of County Road R and County Highway HH (Parcel ID's: 2308-02-4004-10, 2308-02-4004-11 & 2308-02-4004-12)**.

Director Ostrowski explained this is for Investors Community Bank. He said that are looking to present a master sign plan for the entire site. Two of the signs will be considered off-premise because they are not exactly on the same parcel where the use is taking place. The plan is for potentially five businesses on the site. There will be some internal signs a well. Staff recommends approval with the conditions outlined in the staff report. Director Ostrowski said they have received approval from Portage County Planning and Zoning, as it does need to meet the covenants for the Portage County Business Park.

Mayor Wiza declared the public hearing open.

Dan Drexler of Stratford Sign Company stated that the sign does meet the covenants and they did try to meet all the code requirements.

Mayor Wiza declared the public hearing closed.

4. Action on the above.

Motion by Commissioner Haines to approve the request from Stratford Sign Company, representing Investors Community Bank, for a conditional use permit and sign variance to construct two off-premise and multiple on-premise freestanding signs to be located on the northwest corner of County Road R and County Highway HH (Parcel ID's: 2308-02-4004-10, 2308-02-4004-11 & 2308-02-4004-12) with the following conditions:

1. Freestanding signs shall be set back a minimum of 5 feet from the property line.
2. Minor changes to the plan may be approved by staff.
3. All signs shall be similar in design and materials.

seconded by Commissioner Curless.

Motion carried 6-0, with Commissioner Cooper abstaining.

5. Request from Mark & Roberta Erwin for the purpose of annexing their property located at **1230 Second Street (County Parcel ID: 020-24-0817-12.03)** from the Town of Hull to the City of Stevens Point.

Director Ostrowski explained that this item has been before the Plan Commission relating to the Comprehensive Plan Future Land Use Map amendment to classify this area for commercial use. The annexation has been submitted to the state and it was found that it was in the public interest for the annexation to occur. Staff recommends approval as they feel it meets the standards of review.

Robert Konkol, Anderson Law Firm, representing Town of Hull, stated no matter what the commission does decide today, there will still be issues that remain. From the Town's perspective there is a stormwater management issue that impacts the right-of-way for North Second Street if there is a significant storm event. On the west side of the property, the roof drain ends approximately 12 feet from the edge of the property with the water runoff. The Town also requires a maintenance agreement. The Town of Hull is recommending that the city and the town enter into a comprehensive boundary agreement prior to annexing this area. He is asking for denial of this annexation until all matters are resolved.

Aldersperson Shaun Morrow urged the commission to approve this annexation citing that the DNR and Portage County have approved the project and it is meeting current codes.

Mark Erwin, 533 Second Street N, urged the commission to approve the annexation stating the issues with the Town of Hull have been taken care of.

Rich Smigi, Point Log, stated there are still a lot of issues with this property including the fact that water just naturally flows through this area. He is also concerned that if this property is annexed, that then his property will be annex, and for tax purposes, he does not want to be annexed to the city. He is against the annexation of this property.

Larry Stuczynski, 1280 North Reserve, stated he is concerned for future impact of sewer and water to that property and others in the area, and the assessment that would impact the other Hull residents in that area.

Mayor Wiza stated that if sewer and water were extended to that area, the assessment would be given to the property owners as they were annexed into the city.

Alderman Shaun Morrow pointed out that the Erwin's understand that there will be no sewer and water extended to this property.

Commissioner Brush asked if the city does annex this property, are there any requirements for stormwater that will need to be reviewed, to which Director Ostrowski stated the city stormwater utility will review the area and they will have to meet the city requirements as well.

Mayor Wiza explained that the permits have already been granted by the DNR and Portage County. The Town of Hull's legal issue will still remain, and that does not need to be resolved prior to annexation. Director Ostrowski added that regarding property taxes, the city is required after annexation to pay the Town of Hull five years of taxes for that property base on the value in which the annexation is final.

Commissioner Hoppe asked that if we annex the property, will that create more legal issues, to which Mayor Wiza stated that is not our preview.

Alderman Kneebone asked if the property is annexed, will the city be drawn in to the legal issues. Mayor Wiza stated these issues are with the Town of Hull.

Mark Erwin, 533 Second Street N, stated that any of the issues regarding drainage have been addressed and the engineer is willing to defend his design.

Barb Jacob, 1616 Depot Street, stated the Town of Hull has been holding this property back, and it is the city's job to grow, she is in support of the annexation.

Economic Development Specialist Kyle Kearns added that the annexation is consistent with the comprehensive plan. At the time of the amendment to the Future Land Use Map, a letter was provided by the DNR, Portage County, and the township.

Motion by Commissioner Brush to approve the request from Mark & Roberta Erwin for the purpose of annexing their property located at 1230 Second Street (County Parcel ID: 020-24-0817-12.03) from the Town of Hull to the City of Stevens Point; seconded by Commissioner Cooper.

Motion carried 7-0.

6. **Public Hearing** – Establishing a permanent zoning classification of "B-1" Neighborhood Business District, "B-2" Central Business Transition District, or "B-4" Commercial District for **1230 Second Street (County Parcel ID: 020-24-0817-12.03) (Erwin annexation request).**

Director Ostrowski explained that when a property is annexed into the city, it comes in as Residential Low Density until the proper zoning can be adopted. For this property staff feels that B-4 Commercial District is the best zoning for this property. Furthermore, it would be consistent with the Town's commercial zoning.

Mayor Wiza declared the public hearing open.

Mayor Wiza declared the public hearing closed.

7. Action on the above.

Motion by Commissioner Haines to establish a permanent zoning classification of "B-4" Commercial District for 1230 Second Street (County Parcel ID: 020-24-0817-12.03) (Erwin annexation request); seconded by Alderperson Kneebone.

Motion carried 7-0.

8. Request from the City of Stevens Point for the purpose of annexing municipally owned property located west of 5707 U.S. Highway 10 East, known as a **portion of Elizabeth Avenue.**

Director Ostrowski stated that this and the next agenda item are similar in that the property owner of 5707 US Highway 10 East has requested to be annexed to the city. With that request the right-of-way and portion of Elizabeth Avenue would also need to be annexed as to not create a town island. This area has been identified in the Comprehensive Plan as a future commercial growth area. In addition, utilities have already been extended to this area. Staff recommends approval.

Meryl Lee Nelson, 5732 Algoma Street, stated she is a neighbor to the 5707 Highway 10 East property, and said that the rezoning of the property to B-5 Commercial is inappropriate being that it borders on single family residential. She is not against the annexation, just the zoning classification.

Bob Enright, 57532 Algoma Street, said there is not logical reason to annex this property unless there is a designated purpose. The Town of Hull does not resist community development, but feels there should be a specific purpose to annex this property. He is not opposed to the annexation as long as the specific use/zoning is not detrimental to the residents surrounding the property.

Scott Peplinski, 5704 Algoma Street, is opposed to the annexation due to the lack of knowledge of its use. He pointed out that any type of development in that area will negatively impact the surrounding properties.

Bob Berl, 1405 Black Berry Lane, said the reason the property owner wants to annex to the city is for a land use change and the township will not allow it.

Director Ostrowski explained the property is specifically identified to be annexed to the city as B-5 Highway Commercial. This zoning provides the greatest protection for all developments, as a site plan would be required to come before the Plan Commission for approval no matter what the use. He continued that the request meets the standards of review, and the state has indicated that the annexation is in the public interest.

Alderperson Kneebone stated if this does come into the city it will be in her district and she just wants to be certain that it would be a nice development and that the site review is very important.

Motion by Commissioner Hoppe to approve the request from the City of Stevens Point for the purpose of annexing municipally owned property located west of 5707 U.S. Highway 10 East, known as a portion of Elizabeth Avenue, seconded by Commissioner Curless.

Motion carried 7-0.

9. Request from Nancy Urbanek for the purpose of annexing property located at **5707 U.S. Highway 10 East (County Parcel ID 020-24-0836-08.02)** from the Town of Hull to the City of Stevens Point.

Motion by Commissioner Cooper to approve the request from Nancy Urbanek for the purpose of annexing property located at 5707 U.S. Highway 10 East (County Parcel ID 020-24-0836-08.02) from the Town of Hull to the City of Stevens Point; seconded by Commissioner Haines.

Motion carried 7-0.

10. **Public Hearing** – Establishing a permanent zoning classification of "B-5" Highway Commercial District for **5707 U.S. Highway 10 East (County Parcel ID 020-24-0836-08.02) (Urbanek annexation request).**

Mayor Wiza declared the public hearing open.

Barb Jacob, 1616 Depot Street, asked if the B-5 zoning district could be explained as to the advantages and disadvantages.

Director Ostrowski stated that the B-5 district was created for the Highway 10 corridor and would allow for any of the larger commercial developments that you see along there. The difference is that all uses require a site plan review by the Plan Commission prior to development. Through this process you can address such things as buffer zones and traffic access.

Bob Enright, 5753 Algoma Street, asked that the Plan Commission meet with the Town of Hull and the neighbors to address items like lighting, setbacks, and times of operation of any development that would occur at that site.

Cathy Dugan, 615 Sommers Street, agrees with Mr. Enright and feels that the city needs to work with the Town of Hull. Her concerns are for light, noise pollution, protecting the neighborhood, and greenspace.

Scott Peplinski, 5704 Algoma Street, asked for the zoning to be postponed until there can be input and discussion regarding this property.

Mayor Wiza declared the public hearing closed.

11. Action on the above.

Director Ostrowski explained that B-5 district is set up to provide protections to the residents surrounding these properties. The B-4 district is a lesser intense use, but permitted uses would not require a site plan review by the plan commission.

Mayor Wiza asked if B-5 is the only commercial zoning district that requires a review, to which Director Ostrowski stated yes, unless it is a conditional use.

Commissioner Haines asked what the requirements for B-5 are and what the buffers are. Director Ostrowski stated the commission can establish the buffers, parking lot, landscape, and where the building would sit on the lot. Commissioner Haines then asked what kinds of uses are able to be developed there, to which Director Ostrowski stated similar uses that you see on Highway 10 or Division Street, such as retail, office, fast food, or multi-family with a conditional use.

Commissioner Brush asked since the site is essentially cleared, can we require double rows of evergreen for screening, to which Director Ostrowski stated yes and we have in the past with other developments.

Commissioner Hoppe asked if the commission would review the property if it was divided into separate lots, to which Director Ostrowski stated the act of splitting the lots into four or less would require review by staff. The physical development on the site would require a site plan review by the plan commission.

Director Ostrowski then explained what the standard setbacks were for the B-5 district.

Motion by Commissioner Brush to approve the request establishing a permanent zoning classification of "B-5" Highway Commercial District for 5707 U.S. Highway 10 East (County Parcel ID 020-24-0836-08.02) (Urbanek annexation request); seconded by Commissioner Hoppe.

Motion carried 7-0.

12. **Public Hearing** – Request from Storage Unlimited LLC, for a conditional use permit for the purposes of operating an indoor storage facility at **3256 Church Street (Parcel ID 2308-04-2008-34)**.

Director Ostrowski stated this request was before the Plan Commission in February of 2015 as a request to occupy the entire former Cops South building with indoor storage units. Staff felt at that time it did not meet some of the standards of review and the request was ultimately denied. The applicants have revised some of their plans to incorporate approximately 30% of the interior of the building for future retail/commercial potential. The proposed rendering was submitted which incorporated some exterior changes to the structure. There were a few concerns that staff had back in February, such as storage was not the appropriate use for this site as it did not provide the economic activity needed in that district. With the new plans, it does mitigate some of those concerns. There have been concerns regarding traffic and noise, but that has been mitigated. The applicant does have concerns regarding not knowing what commercial tenant might rent that space that would drive the decision on what the exterior changes would be done. Staff does have a concern with the plans handed out at the meeting, as the proposed plans do not really change the exterior appearance. Staff does recommend approval with conditions listed in the staff report which include the 30 % retail/ commercial space.

Commissioner Curless asked if the property has been sold yet, to which Director Ostrowski stated not yet.

Commissioner Brush asked about the internal layout, to which Director Ostrowski stated that is what we are approving.

Mayor Wiza declared the public hearing open.

J. D. Manville, 411 Linwood Avenue, stated that an empty grocery store is extremely hard to fill and if you have a viable tenant, the city should move on it.

Craig Tesch, 1100 Frontenac Avenue, asked questions regarding the parking area at the northeast front of the building if that would remain parking. He is concerned for the vibrancy of the area. Mayor Wiza stated the parcel would also be reserved for future commercial development, and Director Ostrowski also added that 30 % of the front of the building would be used for a commercial use and the back portion would be the interior storage.

Aldersperson Mary McComb stated she is pleased to see this change and development and supports it.

Jack Leichtfuss, 3132 Church Street, stated he feels the area does need development and has been disappointed in current maintenance of the property. He is concerned for the front portion next to his property (Hardees) and wants to be sure it is maintained properly.

Jamie White, 620 Seventh Street, stated that this revised plan does address the previous concerns and did ask for clarification to staff recommendations. She is planning on working to improve the property right away and does have reservations about moving forward with the project as they have to be cautious with the conditions as they are waiting for a tenant and their input prior to making too many changes.

Chris Winter, 4820 Tanglewood, stated he represents Rollie Winter and Associates and feels that the conditional use should be approved. They have owned the property for many years and there are no other viable tenants for this building. He feels this is a good fit for this area.

Mayor Wiza declared the public hearing closed.

Commissioner Cooper stated he would be abstaining.

Commissioner Hoppe asked if the plan was discussed as to how many commercial units would be available 1-3, to which Director Ostrowski stated it would depend on the tenants and how much space they need.

Commissioner Brush asked about the access to the property. Director Ostrowski stated Kwik Trip owns the access point off of Church Street. There is a shared use agreement between the property owners.

Commissioner Brush asked about the approximate acre of land on the north side of the building by the loading dock and expressed a concern for large trucks use of that area, and can there be some green space added for screening and noise reduction.

13. Action on the above.

Motion by Commissioner Brush to approve the request from Storage Unlimited LLC, for a conditional use permit for the purposes of operating an indoor storage facility at 3256 Church Street (Parcel ID 2308-04-2008-34) with the following conditions:

1. **The applicant shall provide an updated site plan and landscaping plan meeting all applicable requirements to be reviewed and approved by the Plan Commission prior to any construction taking place for the storage units.**
2. **At least thirty percent of the building's south side shall be dedicated to commercial and/or office type uses, excluding storage. Deviations from the internal layout of the commercial/office area shall be considered an amendment to the conditional use permit and subject to review and approval by the Plan commission and the Common council. Failure to maintain this area as commercial/office shall be a violations of the conditional use permit, and subject to revocation.**
3. **Exterior improvements shall take place to the facility as identified on the submitted rendering as part of the storage unit project, and shall be completed within one year of approval of the conditional use permit. Failure to construct the exterior improvements as identified in this time period shall be a violation of the conditional use permit, and subject to revocation.**

4. A site and landscaping plan shall be submitted for review and approval by the Plan Commission and Common Council.
5. Exterior refuse storage shall be screened with constructed materials matching or complementing those found on the main building. Exterior refuse storage shall occur on the north side of the building and should be reviewed and approved by staff prior to construction.
6. No exterior storage on the property shall be allowed.
7. If additional lighting is added, an illumination plan shall be submitted and reviewed and approved by staff.

seconded by Commissioner Hoppe.

Motion carried 6-0, with Commissioner Cooper abstaining.

14. **Public Hearing** –Request from Evergreen Community Initiatives, representing the Franciscans Downtown, for a conditional use permit for the purposes of operating a warming shelter (temporary housing) at **1000 Main Street (Parcel ID 2408-32-2029-19)**.

Mayor Wiza explained that there has been funds being raised for this for some time, but there was no location determined at that time. The city first heard about this proposed warming shelter from the local media. We contacted the applicants right away and informed them of the rules, the safety, the conditional use permit, and proper inspection to be sure the building was safe. We did not get the application in time for the November round of meetings. Staff has worked with the applicants to be sure the paperwork was filled out correctly and it was placed on the agenda as soon as it was received. In the meantime, the need was seen as winter was fast approaching. In working with the Police Department, Chief Skibba and I sat down with the Salvation Army to address the need to have a warm place throughout the night until the proper process could be completed. The Salvation Army agreed to provide the lobby for any persons who were not sex offenders or under the influence of drugs or alcohol. The Police Department also informed the Mayor of the other opportunities available for the others to have a warm place to stay, such as a hotel stay for a night, officers have supplied personal funds to purchase bus tickets, or if issues the jail. No one needed to sleep in the cold. Staff has done lots of research in that the City of Wausau has a warming center, Waupaca County has a warming center. We researched what was there and how they went through the process as we have here. The recommendation from staff is to approve temporarily through March 31, 2015 with an extension possible through the end of April dependent on weather. There are better places for this, but at this time we can make this work and fill the need. The conditions recommended by staff are:

- The conditional use permit shall expire on March 31, 2016, and may be granted an extension of up to 30 days dependent on weather conditions and if the use is still meeting the required standards and conditions.
- Occupancy shall be limited to the first floor. No residential type occupancy shall be allowed in the basement, unless proper building and fire codes are met.
- At least one professionally trained staff member shall provide supervision of the facility at all times during operation.

- An ADA accessible bathroom must be located on the main floor, where the temporary housing use is located before occupancy can take place.
- Building must meet property building and fire codes.
 - a. Carbon Monoxide detectors must be installed on each floor.
 - b. Panic hardware must be installed if the doors are locked on two exits.
 - c. No more than 15 occupants be allowed in the warming shelter at any time (including staff).

Director Ostrowski stated that the reason for the temporary recommendation is that in the past, this body and council had denied any housing type uses on the first floor, and there are some concerns relating to the building and fire code. We have to be careful in that there is the zoning code that we deal with as the Plan Commission, but we also have building and fire codes. They may get confusing, but when the occupancy changes from retail to residential it changes the codes that need to be met, which may have not needed to be met prior, so that is the reason for the recommendation and conditions that we have set forth.

Fire Chief Bob Finn stated regarding the conditional use permit and the fire codes, because the use currently is mercantile, it is not required to have a carbon monoxide detector. Once it becomes mixed occupancy with residential, there is the requirement of a carbon monoxide detector on every level per state statute 101.149(2) for the safety of persons staying there. Also, the business design has the doors open when the business is open, right now if they lock the doors, if exiting is required, finding a thumb deadbolt when smoke is in there would be hard to do. Therefore, panic hardware would need to be installed when the doors are locked so a reasonable person could just push that to exit. The 15 person occupancy came up because of any more occupants the fire prevention codes classifies the property as a motel/hotel and other codes would be required. This is a temporary basis only; if the request was for a permanent location, there would be more fire codes that would have to be met.

Aldersperson Kneebone asked if there was a requirement for fire extinguishers, to which Chief Finn stated yes within 75 feet, but there are extinguishers there now.

Mayor Wiza stated there are standard fire codes that the existing business has to operate under. We want to be sure that we have a safe environment. If this were a permanent use there would be many more requirements, but we are only looking at a temporary conditional use to get us through this season. The recommendation now from staff is that we approve the conditional use temporarily with the conditions read.

Mayor Wiza declared the public hearing open.

Tiffany Krueger, 1311 West River Drive, representing Evergreen Community Initiatives, provided background information regarding the pursuit of the warming shelter, citing her own personal story of homelessness, other community examples of warming shelters, Evergreen's mission, and additional community data. Data including eight documented homeless persons on July 29th. Furthermore, she continued stating the operational procedures for the proposed warming center, and need within the community.

Mayor Wiza added that Evergreen Initiatives is a good group of individuals trying to do something good for the community.

Steve Decker, 400 Florence Drive, representing Five Rings Martial Arts, stated his opposition to the warming center and cited the increase in loiters and disruptive persons from the opening of the Franciscans Downtown. He continued identifying the patrons of his business, primarily children and families who do not agree with the proposed use. He indicated his primary entrance to his business on the north side of the building would be fifteen feet from the primary entrance to the warming shelter where people will congregate prior to being allowed entrance to the warming center. Lastly, he indicated the patrons of the warming center would not spend money downtown and deter others interested in contributing to the downtown.

Joel Besemer, 3249 Channel Drive, identified that he would be the professional person on staff for the warming shelter. He further went on explaining his background in non-profit organizations, and specifically his five year experience working with homeless persons in Wisconsin, and 16 years of experience total.

JD Manville, 411 Linwood Avenue, identified he owns a hobby store downtown. Furthermore, he stated downtown's increased vibrancy and population and then added the proposed warming center is not the highest and best use for downtown. Lastly, he indicated his concerns for warming center patron's mobility and locations during daytime hours.

Sally Topinka, 732 West River, described her support for the warming center, citing it's noble cause, and providing the example of caring for lost animals but not homeless people.

Connie Schleicher, 2006 North Lane, identified that she would be volunteering at the shelter. She also explained that her experience from working at the Salvation Army has allowed her to witness homeless travel from the Salvation Army to downtown daily, as it is a convenient location.

Ann Edison-Albright, 3324 Howard Avenue, representing Redeemer Lutheran Church, supports the warming shelter. She reiterated the need for the warming center within the community before someone would die from being exposed to the cold elements. Furthermore, she identified growing support in the community for the warming shelter, including funds and volunteers. Lastly, she stated the downtown is the greatest location for the center and cited this as an opportunity to meet Jesus.

Amber Parrish, 3621 Patti Drive Plover, spoke in support of the warming shelter and cited the ability to use it to educate and expose children about homelessness, mercy, and empathy.

Lori Kwalewski, 1651 Meadowview Lane, representing Portage County Health and Human Services, stated the Health and Human Services Department was involved in creating day time warming centers throughout Portage County. She is in support of warming center, as the Salvation Army is the only emergency center to house homeless, and the warming center would provide another location.

Aldersperson Shaun Morrow, provided his concern with the location of the warming center in close proximity to the downtown bars, and furthermore cited County resources to help drug addicts and homeless.

Andi Oppermann, 111 Brilowski Road, representing the Companion Shop, cited the investment in downtown which has had great results. She went on to state the location of the warming center could jeopardize those results, which could ruin the impression of downtown.

Josoline Mae, 2601 Indiana Drive, reiterated that homeless congregate to downtown locations regardless of a warming center. Furthermore, she stated the temporary nature of the center and her support for its operation.

Aldersperson Mary McComb described the argument and perspectives between downtown business owners and community residents. She said she is torn about the proposed use, but hopes the warming center details can be worked out for this winter.

Aldersperson Denise Mrozek explained that this is a tough decision, especially the location. She questions the alternative location, specifically if one cannot be found. Furthermore, she feels the Police Department should provide data on homelessness and procedures for accommodating homeless, as well as rules for the warming center operation. Mayor Wiza asked for clarification on warming center rules presented in the application after the public hearing.

Cassandra DeGroff, 8334 Klondyke Street, explained that the warming shelter is temporary and they are looking for approval potentially for next year for a permanent location. We do have a permanent location, Place of Peace has a location but the zoning is not up to code and there is extensive work that needs to be done and it will take quite a while. We are going to give ourselves this winter and over the summer to get that taken care of at The Downtown Mission Church. To address the tenants being around the downtown businesses, the Franciscans are open during the day. The hours of the warming shelter are after most businesses are closed and at this point no one has stayed there, so it is not their cliental. People do congregate downtown by the library as it is a warming center location. Intake is from 8:30p-8:45p then the doors will be locked. In regards to the alcohol, intoxication, and drug use issue, they will accept persons under the influence, but will also work with the Police Department to make sure they are on hand and when it is appropriate to contact them. Residents will be documented when they do come into the warming center, as well as a three strike policy used for removal. We will be working with the Salvation Army regarding families, at this time there is no intent to house families, but we will not turn away a family with children that need to be warm. There are room dividers that have been purchased to section children off from the general population. Our policy would be to send a family to the Salvation Army first before housing them at the shelter. The question regarding what the Police are already doing and why are persons being put up in a hotel for the night is not good enough. They will also have councilors and resources available not only to keep them warm, but to also help rehabilitate them and give them a helping hand to move beyond homelessness.

Tori Jennings, 1632 Ellis Street, stated that she wants to focus her concerns on what the city has planned and what the organization has planned when an issue arises. She is sympathetic to the business owners' downtown. If there is a problem, what is the plan in place to deal with them and will there be compensation if business is lost. A whole new feature of this is that there will be people coming in who are intoxicated and under the influence. We already have an issue with vandalism and alcohol downtown and we are adding this layer to that. As a community we need to come up with a plan and address the current issues.

Barb Jacob, 1616 Depot Street, feels this is a great plan but questions the location. The homeless/warming shelter does not have anything to do with the current issues downtown because they are not even open yet. We need to have a place for people to get warm and sleep, we need to look for a better location, but we need to do something today.

Leo Jacoby, 1724 Oak Street, volunteers at the Franciscans Downtown and he has learned that the homeless have names, and encourages the support of this request.

Police Chief Skibba explained that historically there have been 2-5 persons a year that are in need of a warm place to sleep. In 2002 the Chaplin program was started and that assists with housing subjects at hotels if needed. The police work with the Salvation Army and Health and Human Services to assist in helping this population. This is a great initiative, but the police will still be dealing with them, because once it is our issue we cannot let them freeze. In the last 24 years we have not had a homeless person freeze in Stevens Point. It is another resource for the community, but it is not though no resources exist currently.

Zoning Administrator/Building Inspector, Jim Zepp stated the concern currently is that the only bathroom for this facility is in the basement. This does not meet accessibility requirements, and the ceiling height to go downstairs to the bathroom does not meet code either. Due to the new use, the occupancy requires the shelter to meet the ADA requirements and a bathroom to be placed on the main floor.

J.D. Manville, 411 Linwood, clarified the location is an issue not the cause. The mention of the highest and best use is a real estate term regarding the use of the structure. The higher use the higher the tax assessment is, so maybe this should be taxed as residential.

Aldersperson Denise Mrozek was concerned regarding the rules in the staff report and being that they were from other cities, would they be the same rules, and would there be deviations from the rules, such as guests would not be admitted if they were under the influence or incapacitated with alcohol or drugs. Also, the age of persons housed still was not clarified.

Steve Decker, 400 Florence Drive, stated the issue with the homeless is during the day. The Franciscans and the Library seem to be the places for them to congregate. The Franciscans have a great outreach and he definitely appreciates where their heart is. The issue is now the homeless people downtown will not be there 24 hours a day. When the Franciscans close at 5:00pm, they will congregate there until they are allowed to come back in. He is in business at those times, and that is when kids are coming and going from his studio. This is only a hindrance to his business. He was not contacted by the Franciscans, and was only contacted by the Evergreen Initiative on Facebook a couple of days ago. As far as alternate locations, he feels that the Evergreen Church or the Lutheran Church would be an easier location to make this happen.

Tiffany Krueger, 1311 West River Drive, addressed some of the concerns and questions that have already been asked, the intake door was chosen to be respectful for the Main Street businesses, but they can change to another door location for intake and are willing to work with the neighbors. The smoking issue that business owners have has been addressed as soon as they were made aware of it. The portable bathroom was just an idea, and they are exploring other options. They are also looking at a few different churches for other locations, however they are not located downtown so there will be an issue for

transportation for meals. Regarding the persons who are incapacitated and cannot walk, they are better served by the police department and hospital. She continued stating that children need a warm shelter as well, and Stevens Point has had an increase regarding homeless children. She feels they can use 18 years of age as a guideline to house persons due to being around intoxicated persons. The Salvation Army stated they are willing to work with them to keep people safe, so she expects they are willing to work with the children.

Mayor Wiza declared the public hearing closed.

15. Action on the above.

Mayor Wiza reviewed the conditions set forth in the staff report:

1. The conditional use permit shall expire on March 31, 2016, and may be granted an extension of up to 30 days dependent on weather conditions and if the use is still meeting the required standards and conditions.
2. Occupancy shall be limited to the first floor. No residential type occupancy shall be allowed in the basement, unless proper building and fire codes are met.
3. At least one professionally trained staff member shall provide supervision of the facility at all times during operation.
4. An ADA accessible bathroom must be located on the main floor, where the temporary housing use is located before occupancy can take place.
5. Building must meet property building and fire codes.
 - a. Carbon Monoxide detectors must be installed on each floor.
 - b. Panic hardware must be installed if the doors are locked on two exits.
 - c. No more than 15 occupants be allowed in the warming shelter at any time (including staff).

Commissioner Brush has a concern for the loitering in the back alley and he questioned if there is anything that we can do to alleviate that issue. Mayor Wiza stated that Evergreen Church Initiative, now that they are aware of it, would be diligent in trying to keep the patrons aware that it is not allowed. Chief Skibba explained that loitering is handled based per call. The person is identified and are made aware of the concern and complaint as well as the officers' observations. If there is a disturbance, it is addressed and the police work with them, depending on their actions.

Commissioner Haines asked when can this property open, Mayor Wiza answered all conditions would need to be met including the bathroom constructed and safety items met to be open and the earliest would be December 22, 2015 after council approval.

Commissioner Curless asked if they have started to construct the bathroom. Mr. Besemer stated he was notified of the need for the bathroom on Thursday, they have the funds and people willing to do the work.

Commissioner Hoppe asked what would be the timeline for the construction. Mr. Besemer stated he would love to have the bathroom done by the 22nd. Director Ostrowski added the design would need to be done by a licensed architect or engineer and a permit would be required for the construction which requires a Master Plumber and Master Electrician to do that work.

Commissioner Haines commented that this is ok for a temporary use for this facility, but does not want to see it become permanent. She is wary putting in a permanent bathroom and where does this go from here. She is also concerned with the businesses next door. It is a worthy cause for only 3-4 months she can be ok with this.

Commissioner Hoppe feels the same way and is willing to help in any way he can.

Motion by Commissioner Brush to approve the request from Evergreen Community Initiatives, representing the Franciscans Downtown, for a conditional use permit for the purposes of operating a warming shelter (temporary housing) at 1000 Main Street (Parcel ID 2408-32-2029-19) with the following conditions:

1. The conditional use permit shall expire on March 31, 2016, and may be granted an extension of up to 30 days dependent on weather conditions and if the use is still meeting the required standards and conditions.
2. Occupancy shall be limited to the first floor. No residential type occupancy shall be allowed in the basement, unless proper building and fire codes are met.
3. At least one professionally trained staff member shall provide supervision of the facility at all times during operation.
4. An ADA accessible bathroom must be located on the main floor, where the temporary housing use is located before occupancy can take place.
5. Building must meet property building and fire codes.
 - a. Carbon Monoxide detectors must be installed on each floor.
 - b. Panic hardware must be installed if the doors are locked on two exits.
 - c. No more than 15 occupants be allowed in the warming shelter at any time (including staff).

Commissioner Curless asked could we also add that this is a onetime use, to which Mayor Wiza explained the condition is that this shall expire on March 31, 2016 and if it comes back you can say no.

seconded by Commissioner Hoppe.

Commissioner Curless pointed out the three strike rule and that it is a lot of strikes for only three months, why not less. Mayor Wiza urged him to talk to the ECI staff regarding the rules and accepting their rules is not part of the conditions. City Attorney Beveridge stated the rules adoption could be explained in the conditions as it can reasonably impact how this relates with other properties, and it is within the purview of the conditional use standards.

Mayor Wiza asked the ECI if they had a copy of their specific rules available right now, to which Ms. Krueger stated she does. He then asked Commissioner Brush if he would be acceptable to an amendment

as condition 6 regarding the application of guest rules subject to staff approval. Commissioner Brush asked for the rules to be read first. Mayor Wiza read through the rules of the Warming Center Guidelines.

Director Ostrowski the rules handed out are different from the ones in the packet. Mainly, there is a change in hours of intake. The rules in the packet state 7:00pm – 8:30pm and the ones just handed out state 8:30pm-9:15pm.

Commissioner Brush stated earlier it was mentioned that intake could be done at the front door, to which he would like to add that to the motion as well, and no admittance to anyone under the age of 18 years of age, Commissioner Hoppe agreed to the additional conditions.

Motion by Commissioner Brush to approve the request from Evergreen Community Initiatives, representing the Franciscans Downtown, for a conditional use permit for the purposes of operating a warming shelter (temporary housing) at 1000 Main Street (Parcel ID 2408-32-2029-19) with the following conditions:

1. The conditional use permit shall expire on March 31, 2016, and may be granted an extension of up to 30 days dependent on weather conditions and if the use is still meeting the required standards and conditions.
2. Occupancy shall be limited to the first floor. No residential type occupancy shall be allowed in the basement, unless proper building and fire codes are met.
3. At least one professionally trained staff member shall provide supervision of the facility at all times during operation.
4. An ADA accessible bathroom must be located on the main floor, where the temporary housing use is located before occupancy can take place.
5. Building must meet property building and fire codes, including, but not limited to:
 - a. Occupancy must not exceed fifteen people, including staff.
 - b. An ADA accessible bathroom must be installed on the first floor. This must be completed prior to occupancy of the building.
 - c. Panic hardware must be installed on the doors to allow people to exit in an emergency without having to unlock the doors. This must be completed prior to occupancy of the building.
 - d. CO detectors must be installed on each level.
6. The warming shelter guest rules are attached and made part of this permit, with the exception that no one under the age of 18 may occupy the facility.
7. Access to the warming shelter shall be through the main entrance off of Main Street, and not via the Third Street entrance.

seconded by Commissioner Hoppe.

Motion carried 6-1, with Commissioner Cooper voting in the negative.

16. Adjourn.

Meeting adjourned at 9:07 PM.



Memo

Plan Staff

Community Development

City of Stevens Point

1515 Strongs Avenue

Stevens Point, WI 54481

Ph: (715) 346-1567 • Fax: (715) 346-1498

mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission

From: Plan Staff

CC:

Date: 1/22/2016

Re: Request from Rowe Builders Inc. for the purpose of annexing 2.203 acres, three parcels, of unaddressed property located on the northwest corner of the intersection of Green Avenue and Sunset Boulevard (**County Parcel ID: 020240827-10.28, 020240827-10.26, and 020240827-10.27**) from the Town of Hull to the City of Stevens Point.

Rettler Corporation, representing the property owner of over ½ the land, is requesting to annex 2.2 acres into the City of Stevens Point from the Town of Hull at the northwest corner of the intersection of Sunset Boulevard and Green Avenue. The applicant is pursuing annexation to eventually develop residential duplexes.

In regards to annexation, there are basically six types:

- Annexation by Unanimous Approval
- Annexation by One-Half approval
- Annexation by Referendum
- Annexation by City or Village Initiated Referendum
- Annexation of Town Islands
- Annexation of Territory Owned by a City or Village

With this request, we are dealing with annexation by one-half approval as two property owners are within the area to be annexed.

66.0217(3) OTHER METHODS OF ANNEXATION. Subject to ss. [66.0301 \(6\) \(d\)](#) and [66.0307 \(7\)](#), and except as provided in sub. [\(14\)](#), territory contiguous to a city or village may be annexed to the city or village in the following ways:

- (a) **Direct annexation by one-half approval.** A petition for direct annexation may be filed with the city or village clerk if it has been signed by either of the following:

1. A number of qualified electors residing in the territory subject to the proposed annexation equal to at least the majority of votes cast for governor in the territory at the last gubernatorial election, and either of the following:
 - a. The owners of one-half of the land in area within the territory.
 - b. The owners of one-half of the real property in assessed value within the territory.
2. If no electors reside in the territory subject to the proposed annexation, by either of the following:
 - a. The owners of one-half of the land in area within the territory.
 - b. The owners of one-half of the real property in assessed value within the territory.

The steps outlined above regarding the petition, along with the proper notice have been made by the applicant. As defined above, this annexation request is by one-half approval, which means that it is not a unanimous annexation. The reason that it is not unanimous is because a second property owner, Wells Fargo Bank, owns one of the parcels in the annexation area. The applicant has indicated difficulty in obtaining the bank's signature on the required petition. Therefore, the applicant is pursuing this option that allows the owners of one-half of the land in area within the territory or the owners of one-half of the real property in assessed value within the territory to petition for annexation. See the attached petition.

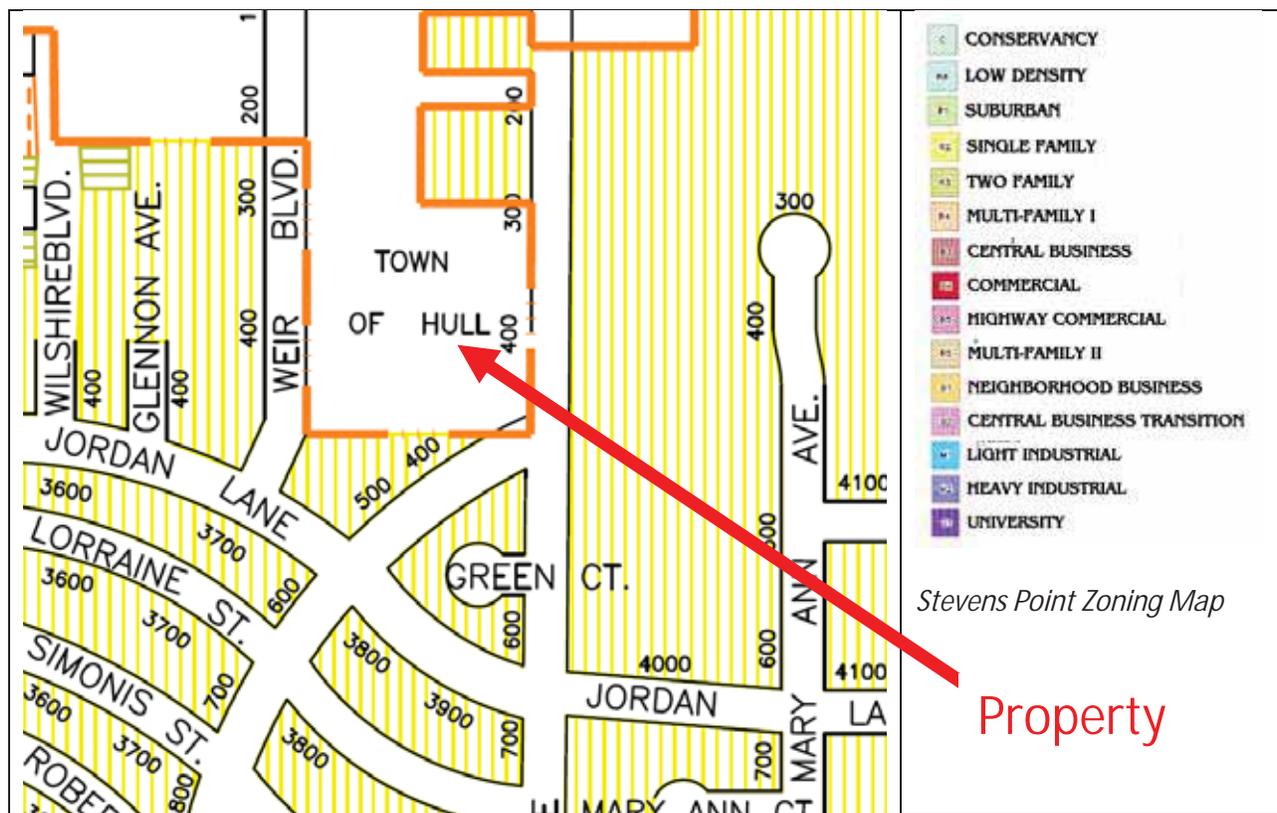
The steps outlined above regarding the petition, along with the proper notice have been made by the applicant.

Map of Proposed Annexed Territory



Wis. Stats. require the Plan Commission to make a recommendation to the governing body on annexation requests. In addition, our zoning ordinance requires the following for the zoning of property:

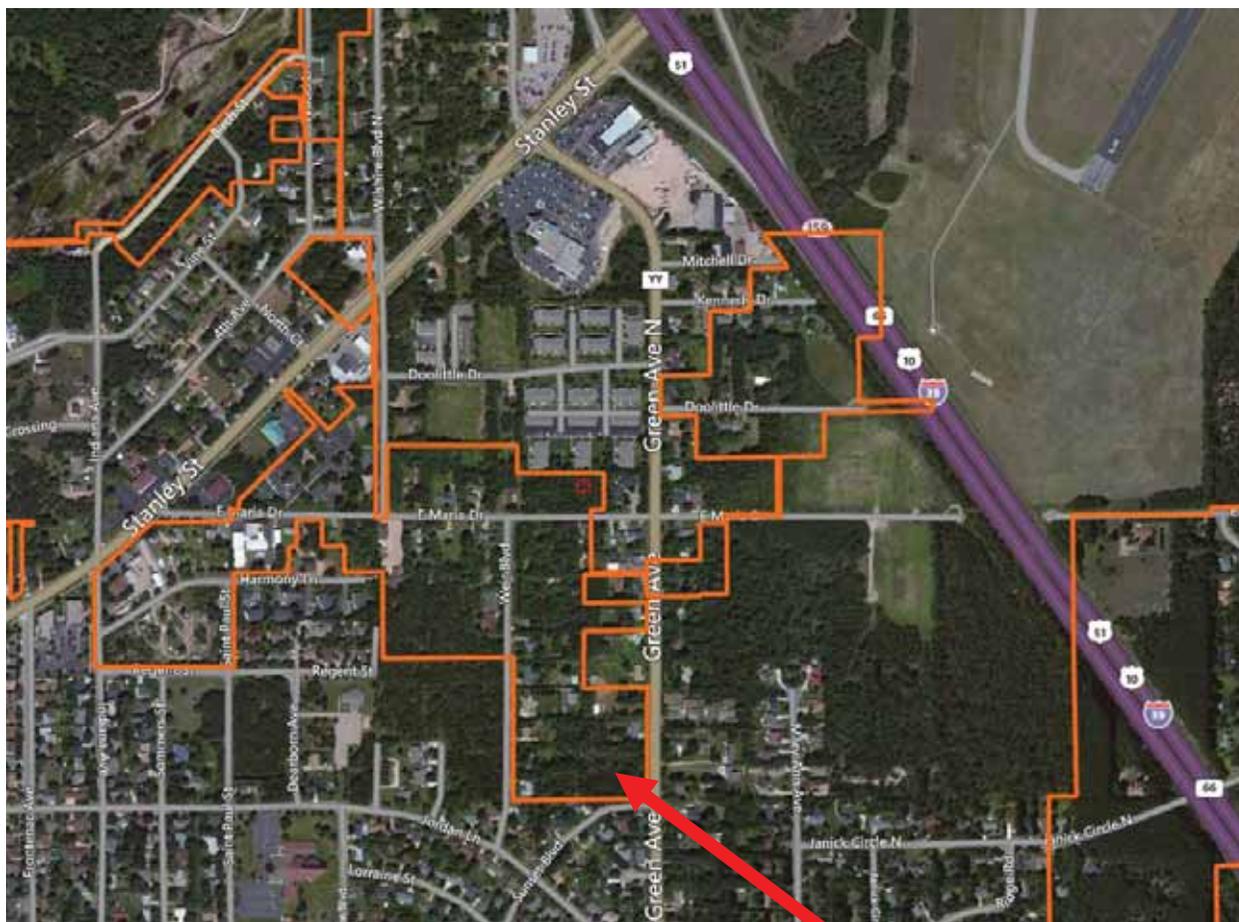
All territory annexed to the City of Stevens Point shall automatically become a part of the "RLD" Low Density Residence District until definite boundaries and zoning districts are recommended by the City Plan Commission and adopted by the Common Council; provided, however, that the Common Council shall adopt definite boundaries and district regulations within 90 days from the date of the annexation. The Plan Commission may recommend definite zoning districts and boundaries to the City Council prior to or at the time the Council acts on a proposed annexation, and may adopt definite boundaries at the time of annexation provided the public notice procedure is followed.



The property in question is directly adjacent to the City. The Wisconsin Department of Administration has not yet to provide a recommendation for the annexation, however preliminary review suggests a positive recommendation given no islands are created. The future land use map does not identify the property as it is outside of the city limits; however, the extraterritorial land use map within the comprehensive plan classifies the property in question as having a residential future land use designation. Therefore, the annexation request is consistent with the City's Comprehensive Plan, as future residential development is proposed.

The applicant is not requesting rezoning immediately upon annexation. A request will likely come next month. Note that the property is automatically zoned RLD Residential Low Density when annexed into the City. Surrounding zoning, as identified above, is primarily R2 Single Family Residential.

Upon review, staff would recommend approving the annexation request, as it is consistent with City's Comprehensive Plan, is contiguous to the City, and it helps reduce the number of town island-type areas within the City.



Property



City of Stevens Point
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481
(715) 346-1567
(715) 346-1498
communitydevelopment@stevenspoint.com
<http://stevenspoint.com>

APPLICATION FOR ANNEXATION
(Pre-Application Conference Required)

R# 1-64745
\$270
1-6-16

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted	1/2/16	Fee Required	270.00	Fee Paid	270.00
Associated Applications if Any	- Zoning	Assigned Case Manager	Kyle Keams				
Pre-Application Conference Date	-	Annexation Request Type	Unanimous <input checked="" type="checkbox"/>	One-Half Approval <input type="checkbox"/>	By Referendum <input type="checkbox"/>		

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	Aaron Parks	Contact Name	Dave Rowe
Address	3317 Business Park Dr.	Address	3501 Patch St.
City, State, Zip	St Pt WI 54482	City, State, Zip	St. Pt. WI 54481
Telephone	715 341-2633	Telephone	715 252-1671
Fax		Fax	
Email	aparks@rettler.com	Email	rowebuildersinc@yahoo.com

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? <input type="checkbox"/>)		PROPERTY OWNER 2 INFORMATION (If Needed)	
Owner's Name	Dave Rowe	Owner's Name	
Address	3501 Patch St.	Address	
City, State, Zip	St. Pt WI 54481	City, State, Zip	
Telephone	715 252 1671	Telephone	
Fax		Fax	
Email	rowebuildersinc@yahoo.com	Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
020240827-10.04	020240827-10.13C	
Legal Description of Subject Property		
Parcel 1: South 16 rods of the East 20 rods of fractional NW-SW of Section 27 T24N R8E.		
Parcel 2: Commencing 867' East of SW corner of NW-SW, thence N. parallel with Green Ave, 132', thence East parallel with south line of said forty, 130', thence South parallel to Green Ave, 132', thence West on said forty line, 130', less OUT LOT 2 CSM # 10739-49-19		
Designated Future Land Use Category		Current Use of Property
Commercial		Vacant - wooded
Explain the land use and the development proposed for the annexation property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
PUD construction will begin in Summer of 2016		

Is the proposed annexation consistent with the Comprehensive Plan? Please reference the Comprehensive Plan's Future Land Use Map and the Extraterritorial Land Use Map. (Use additional pages if necessary)

Yes

Is a permanent zoning classification being requested for the annexation territory? If yes, please state the proposed zoning classification and provide reasoning. (Use additional pages if necessary)

Yes, PUD

Current Zoning Surrounding Subject Property (City or County zoning)

North:	RZ	South:	
East:	RZ	West:	RZ

Current Land Use Surrounding Subject Property

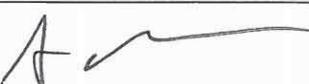
North:		South:	
East:		West:	

EXHIBITS

Owner Information Sheet	<input type="checkbox"/>	Additional Exhibits If Any:
Letter to District Alderperson	<input type="checkbox"/>	
Site Map or Certified Survey Map (outlining annexation property and surrounding jurisdictions)	<input type="checkbox"/>	
Signed Petition (signed by electors and property owners within the annexation area)	<input type="checkbox"/>	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
	1-6-16		



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Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481
(715) 346-1567
(715) 346-1498
communitydevelopment@stevenspoint.com
<http://stevenspoint.com>

PRE-APPLICATION CONFERENCE REQUEST FORM

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Pre-Application Conference Date				Assigned Case Manager			

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/>)	
Applicant Name	Aaron Parks	Contact Name	Dave Rowe
Address	3317 Business Park Dr.	Address	3501 Patch St.
City, State, Zip	St. Pt. WI 54482	City, State, Zip	St. Pt. WI 54481
Telephone	715 341-2633	Telephone	715 252-1671
Fax		Fax	
Email	aparks@rettler.com	Email	rowebuildersinc@yahoo.com

PROJECT SUMMARY

Project Type (Select All Applicable)			
Zoning Permit (Optional) <input type="checkbox"/>	Conditional Use Permit (Required) <input type="checkbox"/>	Zoning Map Amendment (Required) <input type="checkbox"/>	
Administrative Adjustment (Optional) <input type="checkbox"/>	Annexation (Required) <input checked="" type="checkbox"/>	Text Amendment (Required) <input type="checkbox"/>	
Variance (Optional) <input type="checkbox"/>	Minor Subdivision (Required) <input type="checkbox"/>		
Minor Site Plan (Optional) <input type="checkbox"/>	Major Subdivision (Required) <input type="checkbox"/>		
Major Site Plan (Required) <input type="checkbox"/>	Planned Development (Required) <input type="checkbox"/>		
Project Address: <u>Sunset Blvd + Green Ave</u>			
Parcel 1 – Assessor's Parcel ID Number	Parcel 2 – Assessor's Parcel ID Number (if needed)	Parcel 3 – Assessor's Parcel ID Number (if needed)	
<u>020240827-10.04</u>	<u>020240827-10.13C</u>		
Designated Future Land Use Category		Current Zone District(s)	
Is there a current application associated with this project? <u>no</u>			
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)			
<u>Vacant wooded parcel, residential.</u> <u>PUD</u> <u>Construction is planned for Summer 2016</u>			

SIGNATURES

Signature of Applicant	Date	Signature of Property Owner(s)	Date
	<u>1-6-16</u>		

Upon turning in this request form, staff will contact you to set up a time to meet to discuss your project.

Request for Annexation Review

WI Dept. of Administration
 Municipal Boundary Review
 101 E. Wilson Street, 9th Floor
 Madison WI 53703
 608-264-6102 Fax: 608-264-6104
wimunicipalboundaryreview@wi.gov
<http://doa.wi.gov/municipalboundaryreview/>

Wisconsin Department of Administration

Petitioner Information

Office use only:

Name: DAVE ROWE

Address: 3501 PATCH ST.
STEVENS POINT, WI. 54481

Email: ROWEBUILDERS@YAHOO.COM

1. Town where property is located: Hull

2. Petitioned City or Village: STEVENS POINT

3. County where property is located: PORTAGE

4. Population of the territory to be annexed: 27,000

5. Area (in acres) of the territory to be annexed: 2.2 Acres

6. Tax parcel number(s) of territory to be annexed: 020240827-10.26
 (if the territory is part or all of an existing parcel): " -10.27
" -10.28

Petitioners phone:
715 252 1671

Town clerk's phone:
715 344 8280

City/Village clerk's phone:
715 346 1569

Contact Information if different than petitioner:

Representative's Name and Address:

DAVE ROWE
3501 PATCH ST.
STEVENS POINT WI.
54481

Phone: 715.252.1671

E-mail: ROWEBUILDERS@YAHOO.COM

Surveyor or Engineering Firm's Name & Address:

RETTIGER CORPORATION
3317 BUSINESS PARK DR
STEVENS POINT WI.
54482

Phone: 715.341.2633

E-mail: INFO@RETTIGER.COM

Required Items to be provided with submission (to be completed by petitioner):

1. Legal Description meeting the requirements of s.66.0217 (1) (c) [see attached annexation guide]
2. Map meeting the requirements of s. 66.0217 (1) (g) [see attached annexation guide]
3. Signed Petition or Notice of Intent to Circulate is included
4. Indicate Statutory annexation method used:
 - Unanimous per s. 66.0217 (2), or,
 - OR
 - Direct by one-half approval per s. 66.0217 (3)
5. Check or money order covering review fee [see next page for fee calculation]

NOTICE OF INTENT TO CIRCULATE AN ANNEXATION PETITION

Not less than 10 days, nor more than 20 days after publication of this Notice, the undersigned hereby intends to circulate a Petition for Direct Annexation of the lands legally described in Exhibit A and shown on the scale map attached hereto as Exhibit B from the Town of Hull, Portage County, Wisconsin, to the City of Stevens Point, Portage County, Wisconsin.

A copy of the scale map of the territory proposed for annexation may be inspected at the office of the Clerk for the Town Hull, 4550 Wojcik Memorial Drive, Stevens Point, Wisconsin 54482 and at the office of the City Clerk of the City of Stevens Point, 1515 Strongs Avenue, Stevens Point, Wisconsin 54481.

ROWE BUILDERS, INC.
3501 Patch Street
Stevens Point, WI 54481

By:


David Rowe

NOTICE OF INTENT TO CIRCULATE AN ANNEXATION PETITION

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ROWE BUILDERS, INC
3501 Patch Street
Stevens Point, WI 54481

By: *David Rowe*

ANNEXATION EXHIBIT 'A'

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED PARCEL OF LAND.

A PARCEL OF LAND CONTAINING 95,979 SQUARE FEET (2.203 ACRES) LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 24 NORTH, RANGE 8 EAST, TOWNSHIP OF HULL, PORTAGE COUNTY, WISCONSIN.

THE EXTERIOR BOUNDARY OF SAID PARCEL OF LAND IS DESCRIBED AS FOLLOWS

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 27;

THENCE N 89°01'51" E, ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, 1318.43';

THENCE N 00°48'10" W, ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, 1332.70' TO THE NORTH-EAST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4;

THENCE S 88°08'43" W, 30.00' ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, TO THE NORTHWEST CORNER OF GREEN AVENUE AND SUNSET BOULEVARD, ALSO THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE S 88°08'43" W, 427.86', ALONG THE NORTH LINE OF THE SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, TO THE SOUTHWEST CORNER OF OUT LOT 2, CERTIFIED SURVEY MAP #10739-48-19;

THENCE N 00°28'18" W, 132.20';

THENCE N 89°09'19" E, 130.00';

THENCE N 00°28'18" W, 131.73';

THENCE N 89°15'45" E, 300.00' TO THE WEST RIGHT OF WAY OF GREEN AVENUE;

THENCE S 00°02'28" W, 263.38' ALONG THE SAID WEST RIGHT OF WAY TO THE POINT OF BEGINNING, THERE TERMINATING.

CERTIFIED THIS 12TH DAY OF JANUARY, 2016.

SIGNED: *Aaron Parks* PLS 2981



**STATE OF WISCONSIN
County of Portage -- ss**

The undersigned, being duly sworn, doth dispose and say that he/she is a principal for the **PORTAGE COUNTY GAZETTE**, which is a newspaper of general circulation published in the City of Stevens Point, and County of Portage, and State of Wisconsin, and that the annexed printed notice, taken from said newspaper, was regularly published in said newspaper 1 week(s) successively, once in each week, prior to the time specified in said notice, which publication commenced on the 15TH day of JANUARY A.D. 2016 and was last so published on the 15TH day of JANUARY A.D. 2016.

Amy McMoran
signed

Sworn and subscribed to before me

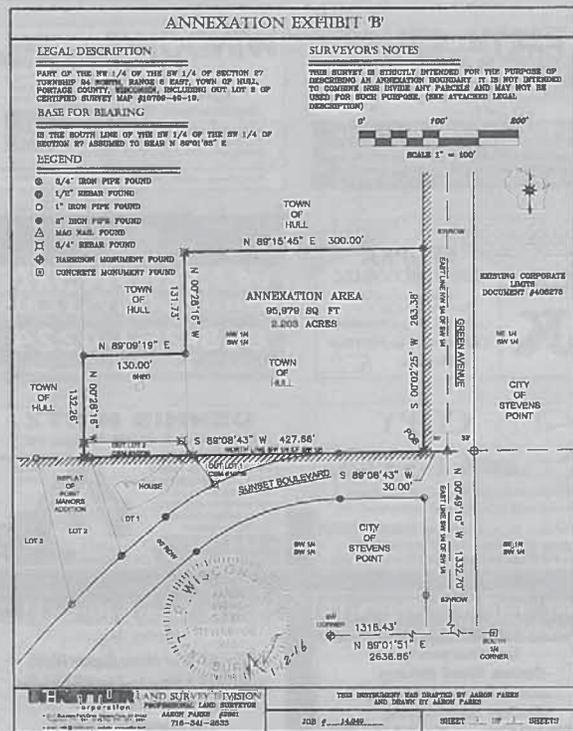
this 18th day of January A.D. 2016

Printer's Fees \$ 245.00

Jessica Isherwood
Notary Public, Wis.

My commission expires

1-24-2018



Petition for Direct Annexation

The undersigned, constituting the owner of one-half of the real property in assessed value within the following territory located in the Town of Hull, Portage County, Wisconsin, lying contiguous to the City of Stevens Point, petition the Honorable Mayor and Common Council of said City to annex the territory described below and as shown on the attached scaled map, Exhibit 'B', as permitted by Chapter 66 of the Wisconsin Statutes, to the City of Stevens Point, Portage County, Wisconsin.

A parcel of land containing 95,979 square feet (2.203 acres) located in the Northwest 1/4 of the Southwest 1/4 of Section 27, Township 24 North, Range 8 East, Township of Hull, Portage County, Wisconsin.

The exterior boundary of said parcel of land is described as follows:

Commencing at the Southwest corner of Section 27;

Thence N 89°01'51" E, along the South line of the Southwest 1/4 of the Southwest 1/4, 1318.43';

Thence N 00°49'10" W, along the East line of the Southwest 1/4 of the Southwest 1/4, 1332.70' to the Northeast corner of said Southwest 1/4 of the Southwest 1/4;

Thence S 89°08'43" W, 30.00' along the North line of the Southwest 1/4 of the Southwest 1/4, to the Northwest corner of Green Avenue and Sunset Boulevard, also the Point of Beginning of this description;

Thence S 89°08'43" W, 427.66, along the North line of the said Southwest 1/4 of the Southwest 1/4, to the Southwest corner of Out Lot 2, Certified Survey Map #10739-49-19;

Thence N 00°28'16" W, 132.26';

Thence N 89°09'19" E, 130.00;

Thence N 00°28'16" W, 131.73';

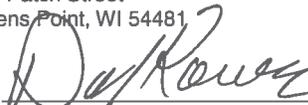
Thence N 89°15'45" E, 300.00' to the West Right of Way of Green Avenue;

Thence S 00°02'25" W, 263.38' along the said West Right of Way, to the Point of Beginning, there terminating.

There are no persons residing in the territory.

Dated this 19 day of Jan, 2016.

Rowe Builders, INC.
3501 Patch Street
Stevens Point, WI 54481

By: 
David Rowe

ANNEXATION EXHIBIT 'A'

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED PARCEL OF LAND.

A PARCEL OF LAND CONTAINING 95,979 SQUARE FEET (2.203 ACRES) LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 24 NORTH, RANGE 8 EAST, TOWNSHIP OF HULL, PORTAGE COUNTY, WISCONSIN.

THE EXTERIOR BOUNDARY OF SAID PARCEL OF LAND IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 27;

THENCE N 89°01'51" E, ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, 1318.43';

THENCE N 00°49'10" W, ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, 1332.70' TO THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4;

THENCE S 89°08'43" W, 30.00' ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, TO THE NORTHWEST CORNER OF GREEN AVENUE AND SUNSET BOULEVARD, ALSO THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE S 89°08'43" W, 427.66, ALONG THE NORTH LINE OF THE SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, TO THE SOUTHWEST CORNER OF OUT LOT 2, CERTIFIED SURVEY MAP #10739-49-19;

THENCE N 00°28'16" W, 132.26';

THENCE N 89°09'19" E, 130.00;

THENCE N 00°28'16" W, 131.73';

THENCE N 89°15'45" E, 300.00' TO THE WEST RIGHT OF WAY OF GREEN AVENUE;

THENCE S 00°02'25" W, 263.38' ALONG THE SAID WEST RIGHT OF WAY, TO THE POINT OF BEGINNING, THERE TERMINATING.

CERTIFIED THIS 12TH DAY OF JANUARY, 2016.

SIGNED: 
AARON PARKS PLS 2861



ANNEXATION EXHIBIT 'B'

LEGAL DESCRIPTION

PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 27, TOWNSHIP 24 NORTH, RANGE 8 EAST, TOWN OF HULL, PORTAGE COUNTY, WISCONSIN, INCLUDING OUT LOT 2 OF CERTIFIED SURVEY MAP #10739-49-18.

BASE FOR BEARING

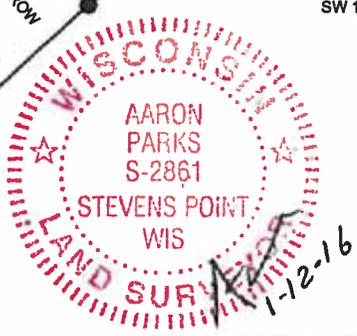
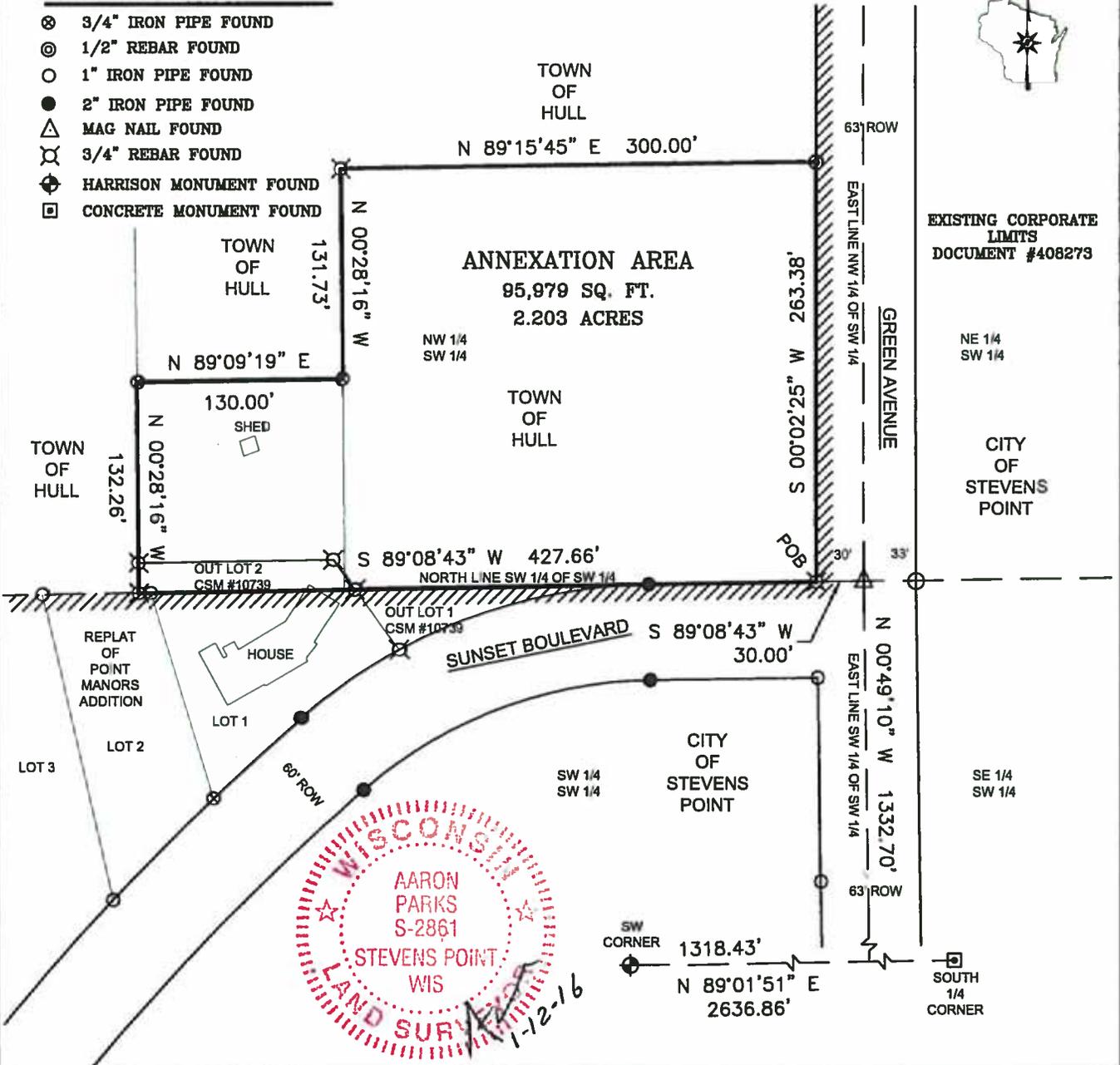
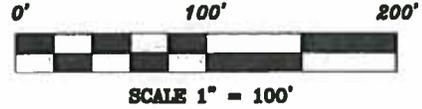
IS THE SOUTH LINE OF THE SW 1/4 OF THE SW 1/4 OF SECTION 27 ASSUMED TO BEAR N 89°01'53" E

LEGEND

- ⊗ 3/4" IRON PIPE FOUND
- ⊙ 1/2" REBAR FOUND
- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- △ MAG NAIL FOUND
- ⊗ 3/4" REBAR FOUND
- ⊕ HARRISON MONUMENT FOUND
- ⊠ CONCRETE MONUMENT FOUND

SURVEYOR'S NOTES

THIS SURVEY IS STRICTLY INTENDED FOR THE PURPOSE OF DESCRIBING AN ANNEXATION BOUNDARY. IT IS NOT INTENDED TO COMBINE NOR DIVIDE ANY PARCELS AND MAY NOT BE USED FOR SUCH PURPOSE. (SEE ATTACHED LEGAL DESCRIPTION)



RETTLER LAND SURVEY DIVISION
 corporation PROFESSIONAL LAND SURVEYOR
 • 3317 Business Park Drive, Stevens Point, WI 54482
 Telephone 715-341-2633, Fax: 715-341-0431
 • email: info@rettler.com, website: www.rettler.com
AARON PARKS #2861
 715-341-2633

THIS INSTRUMENT WAS DRAFTED BY AARON PARKS AND DRAWN BY AARON PARKS

JOB # 14.049

SHEET 1 OF 1 SHEETS

Administrative Staff Report

Plan Review
 Indoor Storage Facility
 3256 Church Street
 February 1, 2015



Department of Community Development

<p>Applicant(s):</p> <ul style="list-style-type: none"> Storage Unlimited LLC <p>Staff:</p> <ul style="list-style-type: none"> Michael Ostrowski, Director mostrowski@stevenspoint.com Kyle Kearns, Associate Planner kkearns@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 2308-04-2008-34 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 792 feet Effective Depth: 400 feet Square Footage: 172,062 Acreage: 3.95 <p>Zone(s):</p> <ul style="list-style-type: none"> "B-4" Commercial District <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Council District:</p> <ul style="list-style-type: none"> District 10: Phillips <p>Current Use:</p> <ul style="list-style-type: none"> Vacant Commercial <p>Applicable Regulations:</p> <ul style="list-style-type: none"> 23.01(16) and 23.02(2)(d) 	<p>Request</p> <p>Request from Storage Unlimited LLC for site and landscaping plan review at 3256 Church Street (Parcel ID 2308-04-2008-34).</p> <p>Attachment(s)</p> <ul style="list-style-type: none"> Updated Plans <p>Findings of Fact</p> <ul style="list-style-type: none"> The property is zoned "B-4" Commercial District. Storage uses are a conditional use in the "B-4" Commercial District. The City's Comprehensive Plan calls for a commercial use on this property. The request is to convert approximately 70% of the building into indoor storage with the remaining 30% occupied by commercial or office uses, not storage. A conditional use permit was granted (see attachment). <p>Staff Recommendation</p> <p>Approve the updated site plans, subject to the following conditions:</p> <ol style="list-style-type: none"> Landscaping shall meet all current zoning standards for the existing planting areas prior to occupancy by the storage use, or by June 30, 2016, whichever comes first. Exterior façade improvements as indicated on the attached plans shall be completed prior to occupancy by the storage use. Exterior signage shall: <ol style="list-style-type: none"> Be in the form of channel letters where only the letters are illuminated or have a glow lighting, or Be illuminated with gooseneck style lighting, or If a wall cabinet is proposed, only the letters shall be illuminated, not the background of the sign. The background of the sign shall be darker than the lettering/text/images. Staff shall have the authority to make minor changes.
---	--

Vicinity Map



Background

In December, 2015 the applicant was granted a conditional use permit for operating an indoor storage facility (see attached). With the approval, several conditions were attached, one of which included submitting an updated site plan, landscaping plan, and elevations meeting all applicable requirements.

The proposal included reserving thirty percent (30%) of the existing building for commercial or office uses. Commercial tenant space would exist on the south side of the building near the existing parking lot. In addition, the proposal identifies an outlot along Church Street available for development. Below are details regarding the property:

Lot/Building Details

Building Square feet: 49,919

Lot Square Feet: 172,062

Acres: 3.95

Parking: Approx. 81 spaces

Storage Space: 35,059 s.f.

Retail Space: 14,860 s.f.

The large, nearly 50,000 square foot building is proposed to house approximately 200 individual storage units. Each unit will be available to rent, upon which the renter will be given access to the building via a security code. Security cameras will monitor the entire facility. The photos below are of an existing indoor storage facility in Plover.



The applicant has indicated that the commercial space will be built as a shell, allowing for a single tenant or multiple tenants whom would perform tenant improvements.

The updated plans have been attached and are further reviewed below.

1. Site Plan Review:

Analysis: Staff recommended applicable parking lot dimensions, and other requirements be identified on the site plan. Furthermore, refuse storage was recommended to be identified.

Findings: Parking, aisles, and other site items have been identified on the site plan, and meet applicable code, including stall requirements. Refuse storage has not been identified on the site; however the following condition on the approved conditional use permit addresses refuse storage:

5. Exterior refuse storage shall be screened with constructed materials matching or complementing those found on the main building. Exterior refuse storage shall occur on the north side of the building and should be reviewed and approved by staff prior to construction.

2. Landscaping Plan Review:

Analysis: No landscaping plan was previously submitted.

Findings: The submitted landscaping plan identifies new shrubs and landscape plantings along the south building façade, while also identifying areas where landscaping repair is proposed. Plant numbers and species are provided for new plantings, however are not provided for any existing deteriorated vegetative landscaping. As the landscaping plan has been created in winter months, existing landscaping condition is difficult to determine. Staff would recommend all existing dead trees, shrubs, or other landscaping be replaced by June 30, 2016. Replaced landscaping shall be consistent with the code requirements for new landscaping.

3. Elevation Plan Review:

Analysis: Staff recommended additional exterior improvements to ensure the exterior architectural appeal and functional plan of the project will not be at variance with the immediate neighborhood, therefore requiring an update elevation plan. The updated elevation includes the creation of a large bay of windows on the south façade, with which a planter is proposed in the front. The bay window and plater will assist in breaking up the southern elevation between each existing entrance. Furthermore, exterior building lighting is proposed in the form of an up and down lit wall wash sconce. Up-lighting is also proposed to illuminate the existing trees. Lastly, the existing fluted split-face concrete masonry is proposed to be painted an accent color on all elevations.

Findings: Upon review, staff feels these proposed improvements will improve the building aesthetics and will assist in attracting a tenant for the commercial space. Furthermore, the improvements should assist in creating a welcoming environment for building users and fit within the aesthetics of the established commercial corridor. While the original elevation involved the creation of another storefront entrance on the southeast façade, mature trees and landscaping would have to be removed. The updated exterior renovations maintain mature trees and landscaping, create more windows, and offer more landscaping space. Staff would recommend these improvements occur immediately upon occupying the building.

Exterior signage shall:

- a. Be in the form of channel letters where only the letters are illuminated or have a glow lighting, or
- b. Be illuminated with gooseneck style lighting, or
- c. If a wall cabinet is proposed, only the letters shall illuminated, not the background of the sign. The background of the sign shall be darker than the lettering/text/images.

The applicant has submitted several required plans as indicated within the original conditional use permit approval. As indicated above, the plans meet applicable code requirements and should assist in improving the area aesthetics and property characteristics within the commercially defined corridor. Therefore, staff would recommend their approval which corresponds to the conditions outlined in the attached conditional use permit.

Photos



Looking East

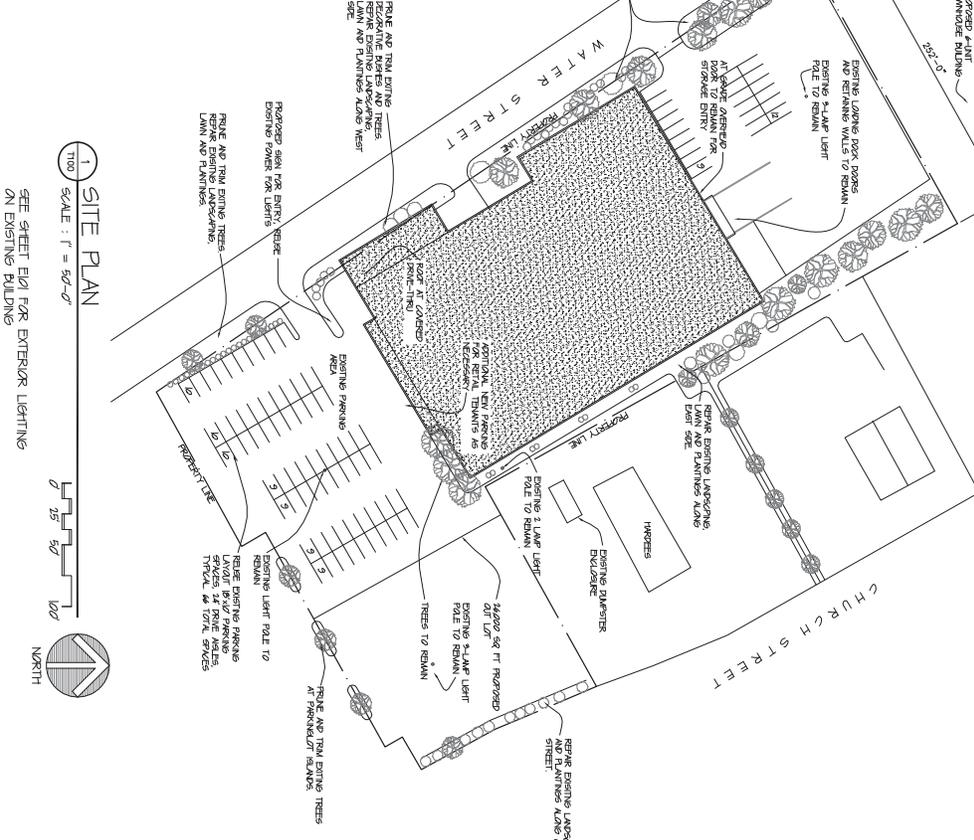


Looking North

Building Rehab Alterations for
Storage Unlimited
 3256 Church Street, Stevens Point, WI 54481

Code Data				
Governing Code	Wisconsin Enforced, 2009 International Building Code			
Occupancy Classification	- 303.1			
Self-Storage	- Storage S1			
Retail Space	- Mercantile M			
Fire Separations	NON SEPARATED - USES 302.3.2			
Allowable Height & Area - TABLE 603				
2 STORES	9500 SF ALLOWABLE			
Footprint Increase	F51 S5A.2 = 68% for 2 story building			
Unlimited Area - TABLE 507.3				
1 Story S1 and M occupancy	one unlimited when sprinkled.			
Actual Building Area	14,860 SF Retail			
14,860 SF Self-Storage				
51,720 SF Gross Existing				
Type of Construction - TABLE 601	TYPE III B.			
Fire Protection 903.2.1.3	THIS BUILDING IS PROTECTED BY FIRE SPRINKLER			
Occupant Capacity 1004.1.1	Self-Storage, S1 300sf per Occ. = 36,860 / 500 = 74			
Mercantile, M 60sf per Occ. = 14,860 / 60 = 247	Total = 321			
Required Exit Width - Table 1006.1	FIRST FLR = .20" PER OCC. 216" PROVIDED = .67'			
Exit Access Travel Distance 1016.1	Self-Storage, S1 300sf per Occ. 180' SPRINTED = 250 FT.			
Sanitary Facilities, Table 2902.1	321 OCCUPANTS = 160 EACH SEX			
REQUIRED				
MEN	URIN LAV	WOMEN	LAV	DRINKING FOUNTAIN
1/100	50%	1/100	1/100	1000
EXISTING				
MEN	URIN LAV	WOMEN	LAV	DRINKING FOUNTAIN
2	2	2	2	1

EXISTING STRUCTURE WILL BE REUSED FOR THIS PROJECT
 DESIGN LOADS, LIVE LOADS PER 1607.1
 SOIL BEARING CAPACITY, 2,500 PSF PRESUMED
 ROOF LIVE LOAD = 40 PSF GROUND SNOW LOAD
 ROOF DEAD LOAD = 15 PSF
 LATERAL LOAD (WIND) = 20 PSF
 UPLIFT AT CANOPY = 30 PSF
 FLOOR LIVE LOAD AT RETAIL = 100 PSF
 FLOOR LIVE LOAD, STORAGE = 125 PSF
 FLOOR LIVE LOAD, PASSAGE/EXIT/STAIR = 100 PSF
 FLOOR LIVE LOAD, 2ND FLOOR RETAIL = 75 PSF



DRAWING INDEX	
COVER SHEET	T100 TITLE SHEET and SITE PLAN
ARCHITECTURAL	A100 EXISTING PLAN & DEMOLITION PLAN
	A101 FIRST FLOOR PLAN
	A102 BUILDING AREA PLAN
	A201 BUILDING SOUTH ELEVATION
	A202 BUILDING EAST ELEVATION
STRUCTURAL	S100 NOT USED
HVAC	H101 NOT USED
ELECTRICAL	E101 FIRST FLR EXTERIOR LIGHTING PLAN

14,860 SF Retail
 14,860 SF Self-Storage
 51,720 SF Gross Existing

LOCAL PARKING REQUIREMENTS
 1 SPACE PER 300 SF OF RETAIL SPACE, 14,860 SF PROVIDED
 14860 / 300 = 495 (60) SPACES REQUIRED

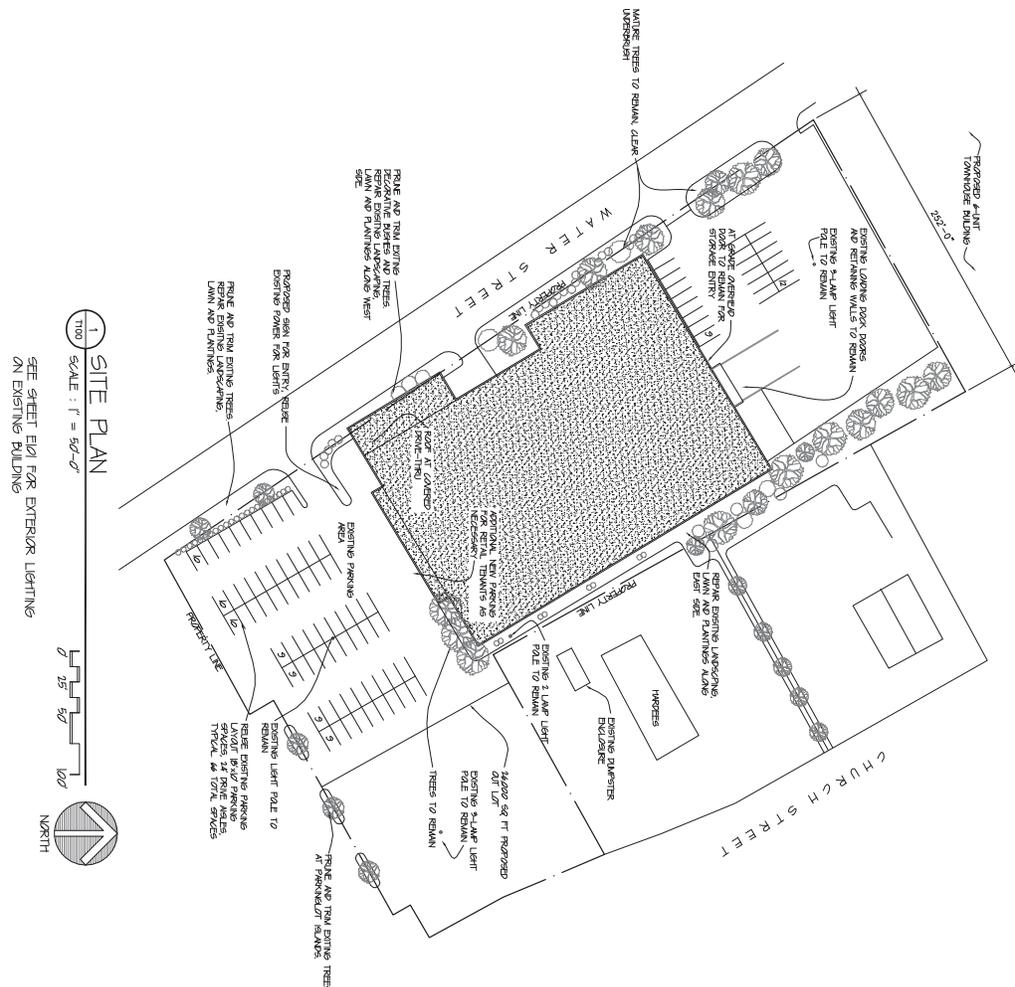
1 SPACE PER 350 SF OF SELF-STORAGE SPACE
 PLUS 10 UNITS AT 150 SF PROVIDED
 495 SF / 150 = 3.3 (3) SPACES REQUIRED
 140 UNITS / 50 = 2.8 (3) SPACES REQUIRED, 21 REQ'D



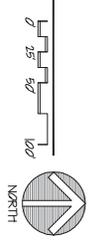
Building Rehab Alterations for
Storage Unlimited
 3256 Church Street, Stevens Point, WI 54481

Code Data	
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Fire Separations	NON SEPARATED - USES 302.3.2
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2 STORES	9,500 SF ALLOWABLE
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Unlimited Area - TABLE 507.3	
1 Story S1 and M occupancy	one unlimited when sprinkled.
Actual Building Area	14,860 SF Retail
14,860 SF Self-Storage	
51,720 SF Gross Existing	
Type of Construction - TABLE 601	TYPE III B.
Fire Protection 903.2.1.3	THIS BUILDING IS PROTECTED BY FIRE SPRINKLER
Occupant Capacity 1004.1.1	Self-Storage, S1 300sf per Occ. = 36,860 / 500 = 74
Mercantile, M 60sf per Occ. = 14,860 / 60 = 247	Total = 321
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Exit Access Travel Distance 1016.1	Self-Storage, S1 300sf/entry, 1sf/ty sprinkled = 250 FT.
Sanitary Facilities, Table 2902.1	321 OCCUPANTS = 160 EACH SEX
REQUIRED	
MEN	URIN LAV
1/100	50% 1/100
2	1 2
WOMEN	LAV
1/100	1/100
2	2 2
EXISTING	
MEN	URIN LAV
2	3
WOMEN	LAV
4	3
DRINKING FOUNTAIN	1
DRINKING FOUNTAIN	1

EXISTING STRUCTURE WILL BE REUSED FOR THIS PROJECT
 DESIGN LOADS, LIVE LOADS PER 1607.1
 SOIL BEARING CAPACITY, 2,500 PSF PRESUMED
 ROOF LIVE LOAD = 40 PSF GROUND SNOW LOAD
 ROOF DEAD LOAD = 15 PSF
 LATERAL LOAD (WIND) = 20 PSF
 UPLIFT AT CANOPY = 30 PSF
 FLOOR LIVE LOAD AT RETAIL = 100 PSF
 FLOOR LIVE LOAD, STORAGE = 125 PSF
 FLOOR LIVE LOAD, PASSAGE/EXIT/STAIR = 100 PSF
 FLOOR LIVE LOAD, 2ND FLOOR RETAIL = 75 PSF



1 SITE PLAN
 SCALE : 1" = 50'-0"
 SEE SHEET E01 FOR EXTERIOR LIGHTING ON EXISTING BUILDING



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HVAC	
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ELECTRICAL	
E101	FIRST FLR EXTERIOR LIGHTING PLAN

14,860 SF Retail
 14,860 SF Self-Storage
 51,720 SF Gross Existing

LOCAL PARKING REQUIREMENTS
 1 SPACE PER 300 SF OF RETAIL SPACE, 14,860 SF PROVIDED
 14,860 / 300 = 49.5 (50) SPACES REQUIRED

1 SPACE PER 350 SF OF SELF STORAGE SPACE
 PLUS 10 UNITS AT 1,000 SF PROVIDED
 495 SF / 350 = 1.42 (2) SPACES REQUIRED
 240 UNITS / 50 = 5 SPACES REQUIRED, 21 REQ'D

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PRELIMINARY
 NOT FOR CONSTRUCTION

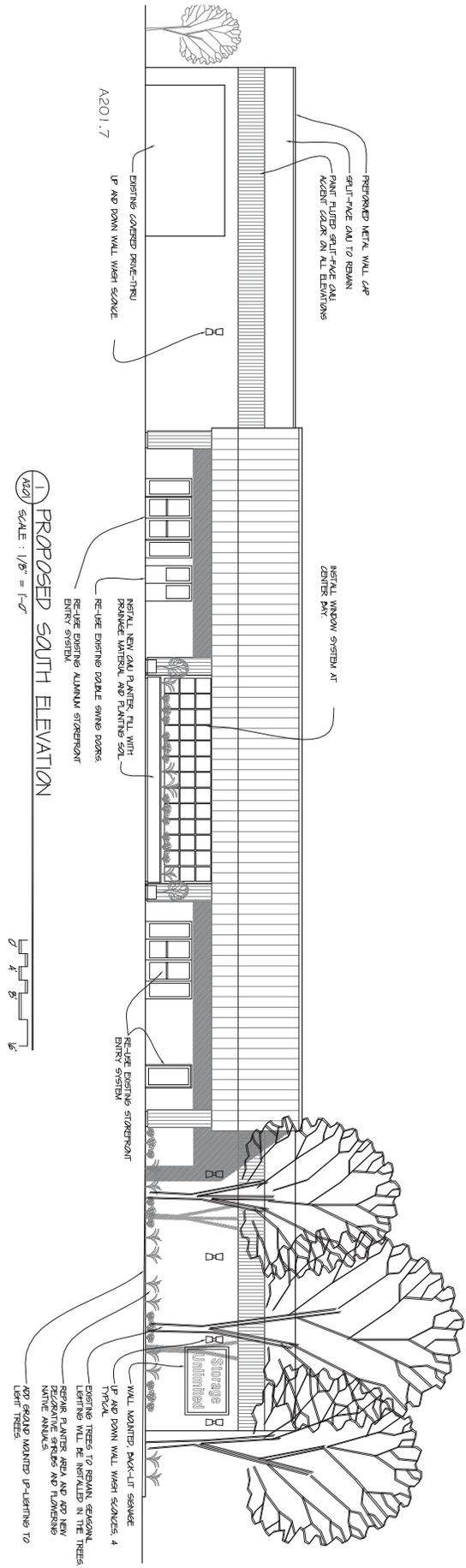
T100

DATE: Jun 4, 2016
 PROJECT NO: 15 016
 REVISIONS

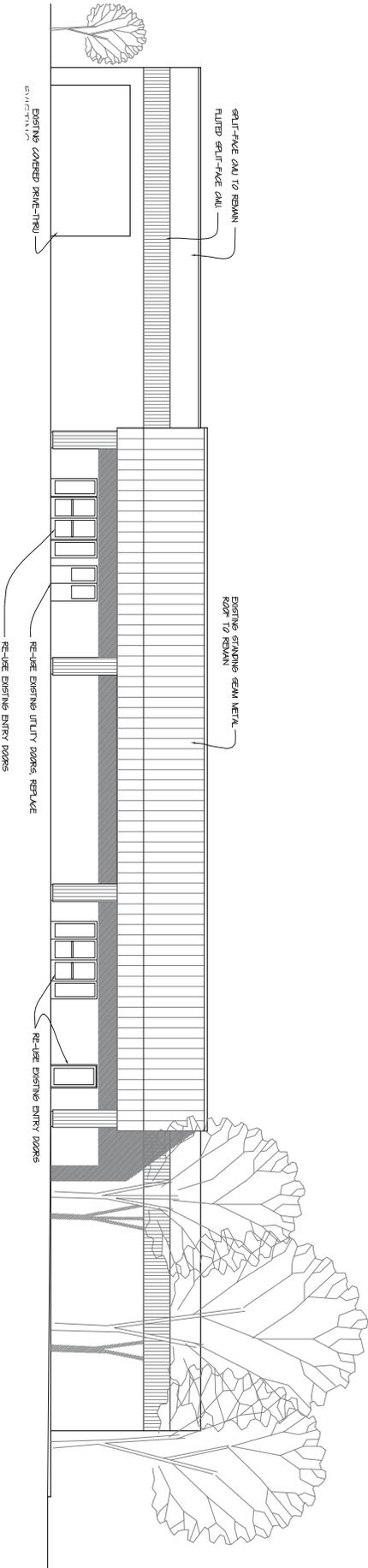
PROPOSED ALTERATIONS
 FOR
 STORAGE UNLIMITED
 3256 CHURCH STREET
 STEVENS POINT, WI 54481

TITLE SHEET
 SITE PLAN &
 CODE INFORMATION

arc central inc.
 Lucas Dolan
 architecture construction management interior design
 1530 1st street north, wisconsin rapids, WI 54484
 jlucas@arccentralinc.com 715-872-3698



1 PROPOSED SOUTH ELEVATION
SCALE : 1/8" = 1'-0"



1 EXISTING SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

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PRELIMINARY
NOT FOR CONSTRUCTION

A201

REVISIONS

DATE	Rev 2 - Jan. 4, 2016
PROJECT NO.	15 016

PROPOSED ALTERATIONS
FOR
STORAGE UNLIMITED
3256 CHURCH STREET
STEVENS POINT, WI 54481

EXTERIOR BUILDING
ELEVATIONS

arc central inc.
Lucas Dolan
architecture construction management interior design
1530 1st street north, wisconsin rapids, WI 54484
jlucas@arccentralinc.com 715-672-2698



813605

**CYNTHIA A. WISINSKI
REGISTER OF DEEDS
PORTAGE COUNTY
STEVENS POINT, WI
RECORDED ON
12/22/2015 1:41 PM**

**REC FEE: 30.00
PAGES: 7
FEE EXEMPT:**

RESOLUTION

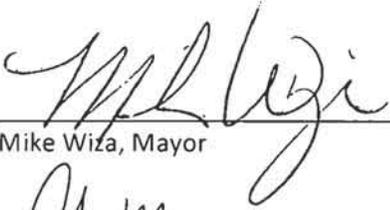
[3256 CHURCH STREET – STORAGE UNLIMITED LLC]

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **3256 Church Street (Parcel ID 2308-04-2008-34)**, described as LOT 1 CSM#10621-48-51 BNG PRT SWNW S4 & SESE S5 ALL IN T23 R8; ING/ EGR ESMT ON SD CSM-804282 3.95A 498/282-87;CSM13/247 803168RES, City of Stevens Point, Portage County, Wisconsin is hereby granted a Conditional Use Permit for the purposes of operating an indoor storage facility, as shown on the attached plans, and with the following conditions:

1. The applicant shall provide an updated site plan and landscaping plan meeting all applicable requirements to be reviewed and approved by the Plan Commission prior to any construction taking place for the storage units.
2. At least thirty percent of the building’s south side shall be dedicated to commercial and/or office type uses, excluding storage. Deviations from the internal layout of the commercial/office area shall be considered an amendment to the conditional use permit and subject to review and approval by the Plan Commission and Common Council. Failure to maintain this area as commercial/office shall be a violation of the conditional use permit, and subject to revocation.
3. Exterior improvements shall take place to the facility as identified on the submitted rendering as part of the storage unit project, and shall be completed within one year of approval of the conditional use permit. Failure to construct the exterior improvements as identified in this time period shall be a violation of the conditional use permit, and subject to revocation.
4. A site and landscaping plan shall be submitted for review and approval by the Plan Commission and Common Council.
5. Exterior refuse storage shall be screened with constructed materials matching or complementing those found on the main building. Exterior refuse storage shall occur on the north side of the building and should be reviewed and approved by staff prior to construction.
6. No exterior storage on the property shall be allowed.
7. If additional lighting is added, an illumination plan shall be submitted and reviewed and approved by staff.

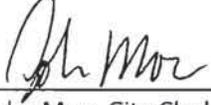
Such approval constitutes a Conditional Use under the City’s ordinances.

Approved:



Mike Wiza, Mayor

Attest:



John Moe, City Clerk

Dated: December 21, 2015

Adopted: December 21, 2015

Drafted by: Michael Ostrowski

Return to: City Clerk

Building Rehab Alternatives for
Storage Unlimited
 3256 Church Street, Stevens Point, WI 54481

201 Central Inc.
 Lucas Dolan
 1031 N. Koshong Ave., Stevens Point, WI 54481
 Phone: 715.872.2588

TITLE SHEET
 SITE PLAN &
 CODE INFORMATION

PROPOSED ALTERATIONS
 STORAGE UNLIMITED
 3256 CHURCH STREET
 STEVENS POINT, WI 54481

REVISED

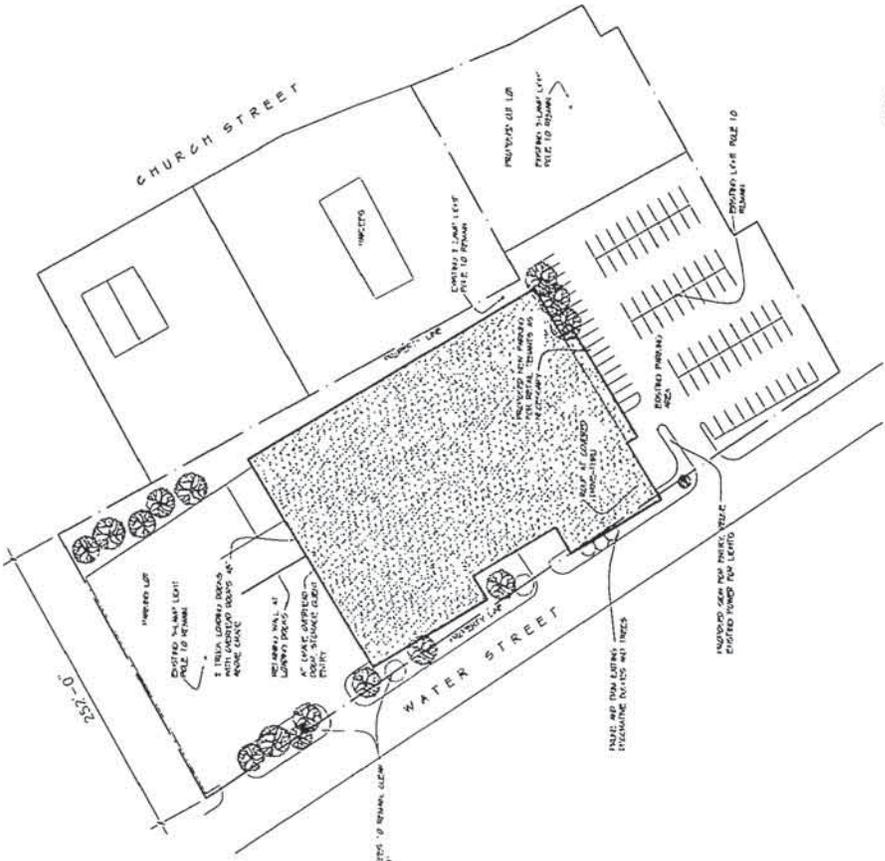
SHEET
 PRODUCT NO
 15 016

T100

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A101	FIRST FLOOR PLAN
A102	RETAIL AREA PLAN
A201	BUILDING SOUTH ELEVATION
STRUCTURAL	S100 PLAN
HVAC	H101 BY HVAC CONTRACTOR
ELECTRICAL	E101 FIRST FLOOR POWER & LIGHTING PLAN

Existing Floor Area	1304 s.f.
First Floor Addition Area	407 s.f.
Total Floor Area	1711 s.f.

Area calculations do not include basement

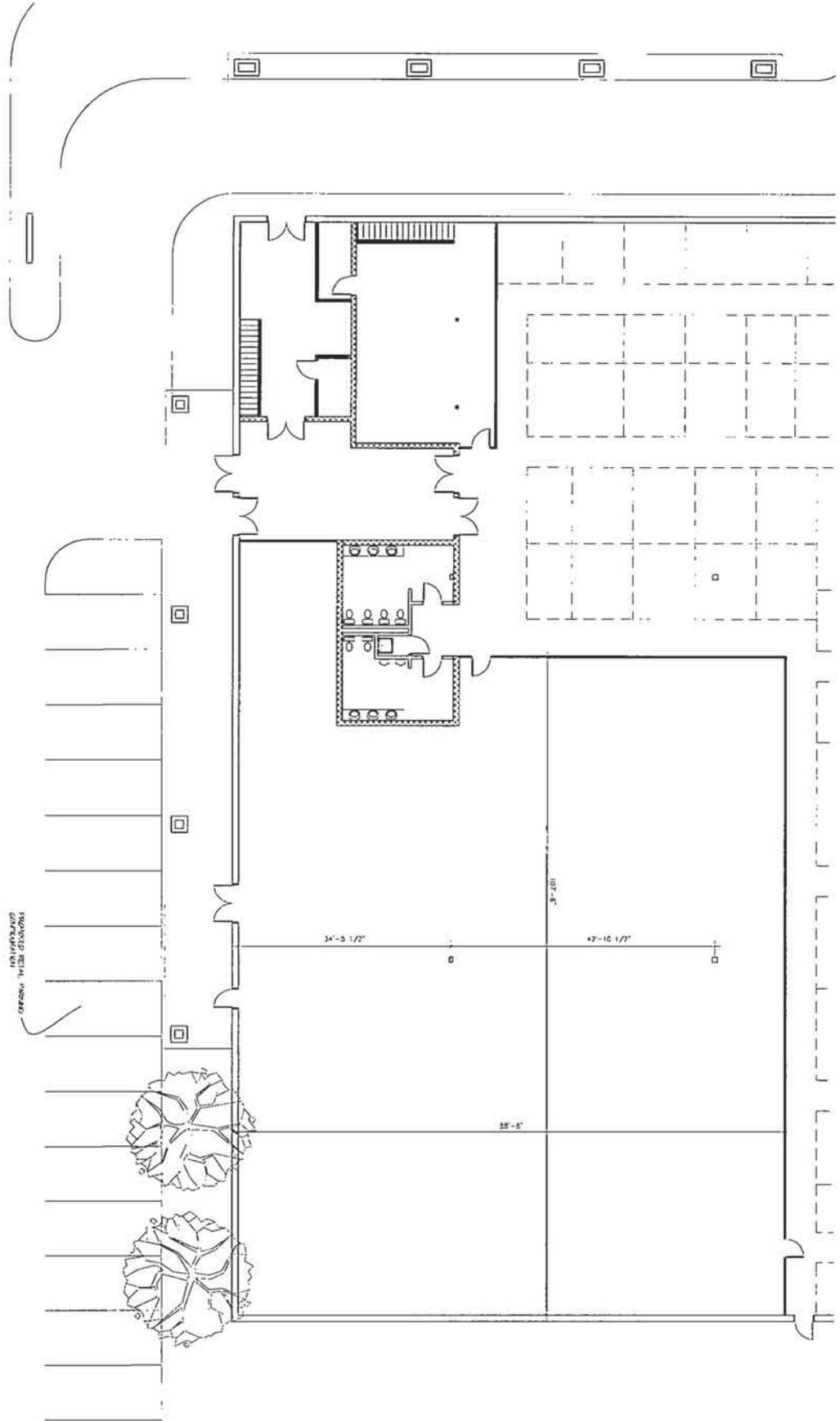


Code Data	
Governing Code	Wisconsin Enclaves, 2009 International Building Code
Occupancy Classification	300.1 Retail - Storage
Fire Separation	NON-SEPARATED USES 307.3.2
Allowable Height & Area	TABLE 503
Floor Area	2 STORIES 5,500 SF ALLOWABLE
Fire Rating	1 STORY INCREASE PER 306.2 ... 65% for 2 story building
Unlimited Area	TABLE 507.3
1 Story 31,000 SF occupancy area unlimited when sprinkled	
Actual Building Area	14,800 SF
14,800 SF	
31,700 SF	
Type of Construction	TABLE 601
1-1/2, II, B	
Fire Protection	903.7.1.3 THIS BUILDING IS PROTECTED BY FIRE SPRINKLER
Occupant Capacity	1004.1.1
Maximum	14,800 SF / 100 SF = 148
Maximum	14,800 SF / 100 SF = 148
Required Exit Width	Table 1005.1
F-551 F.P. = 20" MIN OCC 210" MIN WIDTH = 67"	
Exit Access Travel Distance	1016.1
Self-Storage, 31 Occupancy, Full Sprinkler - 250 FT.	
Shelley Facilities, Table 2800.1	
321 OCCUPANTS = 160 ENG - SEC	
REQUIRED	
MFR	1/100 300' LAV 1/100 1/100
TE	1 2 2 2
DRINKING F/INTL	1000
ENCLINE	
TE	2 3 4 3
DRINKING F/INTL	
Design Loads	
SOIL BEARING CAPACITY	7,500 PSF PRESUMED
ROOF LIVE LOAD	40 PSF GROUND SNOW LOAD
ROOF DEAD LOAD	15 PSF
LATERAL LOAD (WIND)	20 PSF
UPlift AT CANOPY	30 PSF
FLOOR LIVE LOAD, ASSEMBLY	100 PSF
FLOOR LIVE LOAD, PASSAGE/ENTR	100 PSF

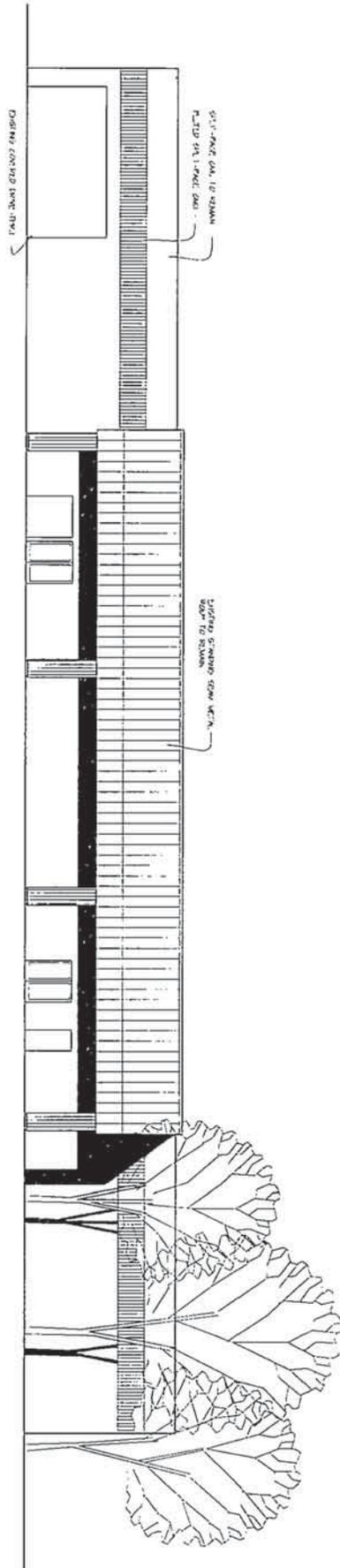
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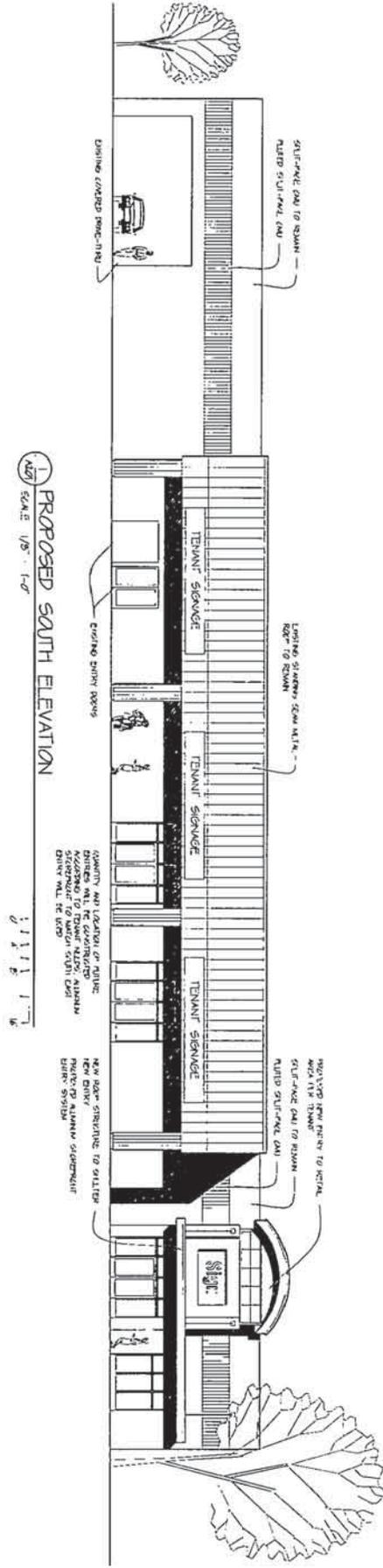

 PROPOSED RETAIL AREA PLAN
 SCALE: 1/8" = 1'-0"

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EXISTING SOUTH ELEVATION
SCALE 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE 1/8" = 1'-0"



PROPOSED ALTERATIONS
FOR
STORAGE UNLIMITED
3256 C-URICH STREET
STEVENS POINT, WI 54481

EXTERIOR BUILDING
ELEVATIONS

central inc.
Lucas Dolan
architecture | interior | exterior management | interior design
1930 1st Street NW, Ste. 200, Whitefish Bay, WI 54491
Lucas@centralinc.com 715-572-2536

A201

DATE
PROJECT
15 016

BY/VERSION

City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481



Public Works

Engineering Department:
Phone: 715-346-1561
Fax: 715-346-1650

Streets Department:
Phone: 715-346-1537
Fax: 715-346-1687

January 14, 2016

To: Plan Commission

From: Scott Schatschneider, Director of Public Works

Re: Hoover Grade Separation Project - Real Estate Acquisition: Relocation Order and R/W Plat Approval

The Hoover Grade Separation Project is scheduled to begin in the spring of 2017 and should be completed by the end of November in 2017.

The design is nearly finished and the project is entering into the real estate acquisition phase. The Grade Separation Project requires land to be acquired in order for the improvements to be constructed.

The City of Stevens Point was fortunate to receive partial funding through the Wisconsin Department of Transportation for the project. A stipulation of the funding is to follow a formal real estate acquisition process.

One of the first steps in this process is to approve a Relocation Order and the R/W Plat. Both documents have been included for your review and approval.

If there are any questions, please feel free to contact me.

Thank you.

RELOCATION ORDER

LPA1708 08/2011 (Replaces LPA3006)

Project 6998-11-00	Road name Country Club Drive / Hoover Road Rail Grade Separation	Highway Country Club Drive/ Hoover Road	County Portage
Right of way plat date 12/7/15	Plat sheet number(s) 4.01through 4.06	Previously approved Relocation Order date 12/21/15	

Description of termini of project:

Beginning at a point on the reference line which is 1000.53 feet south and 8.55 feet east of the northeast corner of Section 3, T23N, R8E and ending at a point 1533.00 feet north and 4.98 feet east of the southeast corner of Section 34, T24N, R8E.

Beginning Coordinates: Y = 197981.231, X = 177507.183, Sta. 12+90.00

Ending Coordinates: Y = 200513.163, X = 177370.045, Sta. 38+32.29

Portage County Coordinate System - NAD 83 (2011)

This relocation order is part of the NW 1/4 of the NW 1/4 of Section 2 and the NE 1/4 of the NE 1/4 of Section 3, Township 23 North, Range 8 East, City of Stevens Point, part of the SE 1/4 of the SE 1/4, and the NE 1/4 of the SE 1/4 of Section 34, and the NW 1/4 of the SW 1/4 of Section 35, Township 24 North, Range 8 East, Town of Hull, and part of the SW 1/4 of the SW 1/4 and the NW 1/4 of the SW 1/4 of Section 35, Township 24 North, Range 8 East, City of Stevens Point, all in the Portage County, Wisconsin.

To properly establish, lay out, widen, enlarge, extend, construct, reconstruct, improve, or maintain a portion of the highway designated above, it is necessary to relocate or change and acquire certain lands or interests in lands as shown on the right of way plat for the above project.

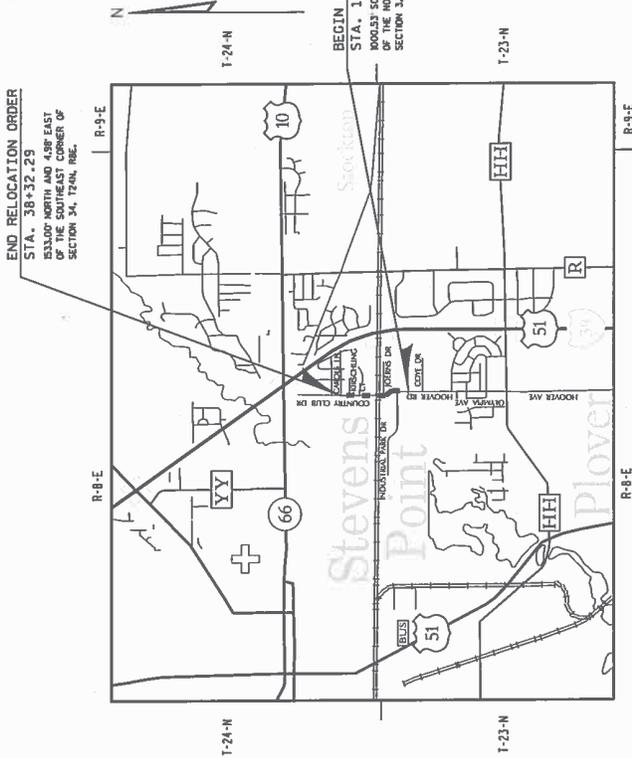
To effect this change, pursuant to authority granted under Sections 62.22 Wisconsin Statutes, the City of Stevens Point orders that:

1. The said road is laid out and established to the lines and widths as shown on the plat.
2. The required lands or interests in lands as shown on the plat shall be acquired by: City of Stevens Point
3. This order supersedes and amends any previous order issued by the: City of Stevens Point

Approved: _____
Mike Wiza, Mayor Date

Attest: _____
John Moe, City Clerk Date

R/W PROJECT NUMBER 6998-11-00	SHEET TOTAL NUMBER SHEETS 4.01
FEDERAL PROJECT NUMBER	6
PLAT OF RIGHT-OF-WAY REQUIRED FOR CITY OF STEVENS POINT, COUNTRY CLUB DRIVE HOOVER ROAD RAIL GRADE SEPARATION LOCAL STREET PORTAGE COUNTY CONSTRUCTION PROJECT NUMBER 6998-11-71	



RELOCATION ORDER
STA. 12+90.00
BEING MOVED TO THE EAST
CORNER OF
SECTION 3, T23N, R8E.

END RELOCATION ORDER
STA. 38+32.29
BEING MOVED TO THE EAST
CORNER OF
SECTION 34, T24N, R8E.

LAYOUT SCALE 0 1/2 MI.
TOTAL NET LENGTH OF CENTERLINE = 0.442 MI.



CONVENTIONAL SIGNS AND ABBREVIATIONS

STATE LINE	FOUNDATION FOR R/W BUILDING	CEMETERY	NON-MONUMENTED R/W POINT	IRON PIN	VALVE	MANHOLE - SEPTIC	WELL, HELL, ETC.	GAS PUMPS	BUSHES	TREES (Deciduous)	WOODS (Coniferous)	ENCROACHING SIGN	COMPENSABLE	NON-COMPENSABLE
COUNTY LINE	NOTATION FOR COMBUSTIBLE FLUIDS	VOLTAGE TRANS.	MISSION LINES	BRIDGE	STREAM OR RIVER	LAKE	CULVERT (Box, Pipe or Corrug. Poss)	SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS
TOWNSHIP AND RANGE LINES	NEW REFERENCE LINE	PROPERTY LINE	CORPORATE LIMITS	MINOR LINES	SLOPE INTERCEPTS	UNDERGROUND FACILITY (Communications, Electric, Etc.)	UTILITY EASEMENT	FENCE	TEMPORARY INTEREST	EASEMENT (highway, Permanent Limited or Restricted Development)	BEAM GUARD	TRANSMISSION STRUCTURES (Line Optional)	RAIL LINE	
SECTION LINE	QUARTER LINE	SIXTEENTH LINE	NEW R/W LINE	EXISTING R/W LINE	LOT, TIE AND OTHER	UNDERGROUND FACILITY (Communications, Electric, Etc.)	UTILITY EASEMENT	FENCE	TEMPORARY INTEREST	EASEMENT (highway, Permanent Limited or Restricted Development)	BEAM GUARD	TRANSMISSION STRUCTURES (Line Optional)	RAIL LINE	
SECTION CORNER	NOTATION FOR COMBUSTIBLE FLUIDS	VOLTAGE TRANS.	MISSION LINES	BRIDGE	STREAM OR RIVER	LAKE	CULVERT (Box, Pipe or Corrug. Poss)	SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS
NOTATION FOR HIGH VOLTAGE TRANS.	MISSION LINES	BRIDGE	STREAM OR RIVER	LAKE	CULVERT (Box, Pipe or Corrug. Poss)	SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway
BRIDGE	STREAM OR RIVER	LAKE	CULVERT (Box, Pipe or Corrug. Poss)	SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner
LAKE	CULVERT (Box, Pipe or Corrug. Poss)	SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles
CULVERT (Box, Pipe or Corrug. Poss)	SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable
SIGN	ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line
ELECTRIC POLE	TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement
TELEPHONE POLE	PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning
PEDESTAL Label Type - Communications, Electric	ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page
ACCESS RESTRICTED (By Statutory Authority)	ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner
ACCESS RESTRICTED (By Previous Acquisition/Control)	NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency
NO ACCESS	ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way
ST. Street	TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant
TP. Trunk Highway	C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet
C.S.M. Certified Survey Map	COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section
COR. Corner	L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station
L.C.B. Long Chord	M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE
M.I. Miles	MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume
MISC. Miscellaneous or Applicable	P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume	
P.L. Property Line	P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume		
P.L.E. Permanent Limited Easement	P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume			
P.C. Point of Beginning	P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume				
P.G. Page	P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume					
P.P. Property Corner	P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume						
P.T. Point of Tangency	R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume							
R.O. Right of Way	REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume								
REM. Remnant	S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume									
S.F. Square Feet	SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume										
SEC. Section	STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume											
STA. Station	T.L.E. Temporary Limited Easement or TLE	VOL. Volume												
T.L.E. Temporary Limited Easement or TLE	VOL. Volume													
VOL. Volume														

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COUNTY COORDINATES, PORTAGE COUNTY, MAD 83 (2010) IN U.S. SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS AND GRID DISTANCES. GRID DISTANCES MAY BE USED FOR GRID DISTANCES.

RIGHT OF WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE REMAINDER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD. FOR CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE CITY OF STEVENS POINT AND THE TOWN OF HULL.

PROPERTY LINES SHOWN ON THIS PLAT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND PREVIOUS SURVEYS. EXCLUDING RIGHT OF WAY LINES, THIS PLAT SHOULD BE USED TO DETERMINE EXISTING PROPERTY LINES AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

ORIGINAL PLAT PREPARED BY

AECOM

LANCE J. HABBECK
SURVEYOR
WI

WISCONSIN LAND SURVEYOR

DATE: 11/23/2015

Lance J. Habbeck

CITY OF STEVENS POINT

APPROVED FOR THE CITY

DATE: 12/15/15

[Signature]

TOWN OF HULL

APPROVED FOR THE TOWN

DATE: 12-9-15

[Signature]

REVISION DATE

12/23/15

SCHEDULE OF LANDS & INTERESTS REQUIRED

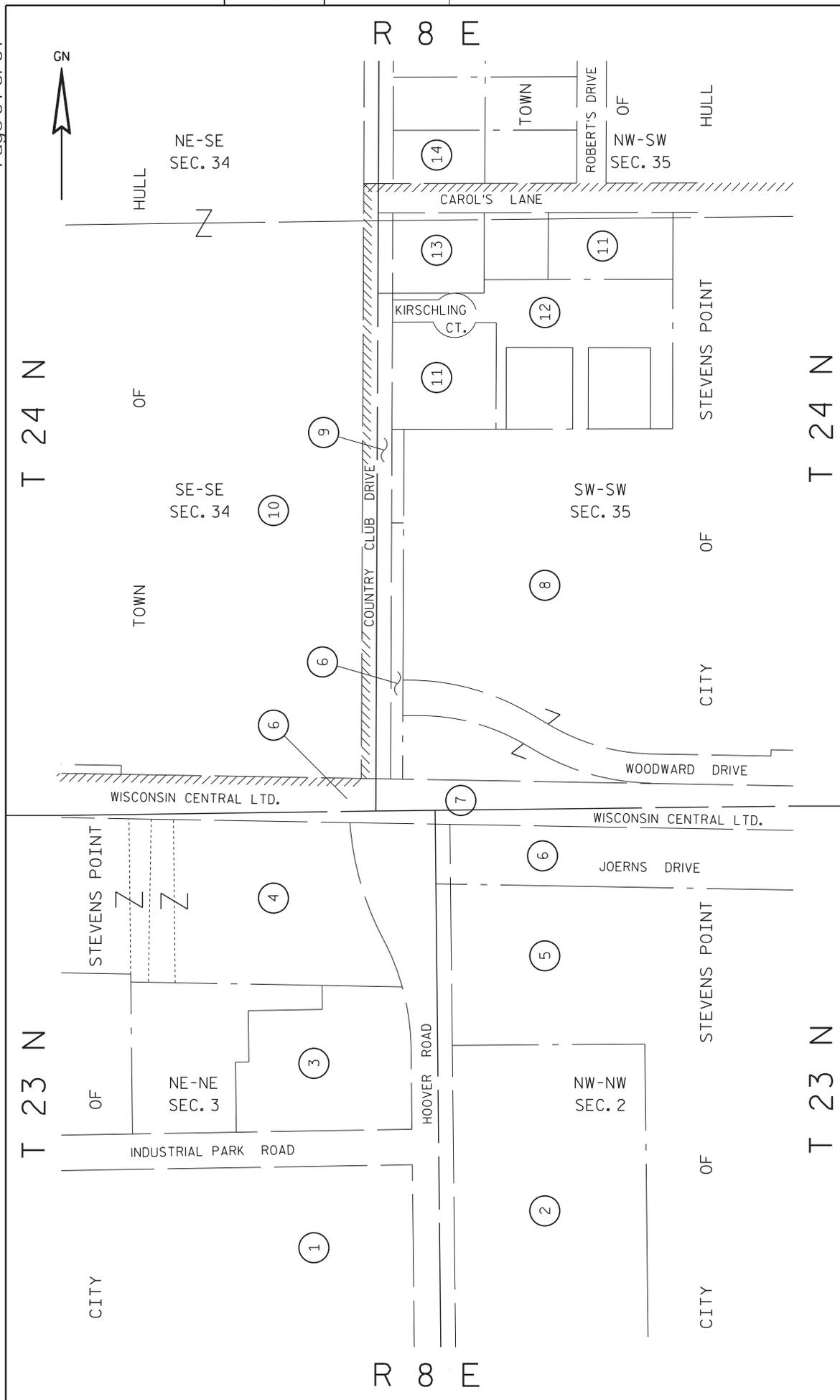
OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY OF STEVENS POINT.

PARCEL NUMBER	SHEET NUMBER	OWNER(S)	INTEREST REQUIRED	R/W ACRES REQUIRED		TLE ACRES	HE ACRES
				NEW	EXISTING		
1	4.04	NH MANAGEMENT CORP.	FEE & TLE	0.002	0.002	0.035	-----
2	4.04	DELTA DENTAL PLAN OF WISCONSIN, INC.	FEE & TLE	0.193	0.193	0.209	-----
3	4.04	BIG DIRT LLC	FEE & TLE	0.111	0.111	0.061	-----
4	4.04	WAREHOUSE SPECIALISTS, INC.	TLE	-----	-----	0.938	-----
5	4.04	5001 JOERNS DRIVE, LLC & OVERLAND JOERNS, LLC	FEE & TLE	1.076	1.076	0.340	-----
6	4.04 & 4.05	CITY OF STEVENS POINT	FEE	1.811	0.102	1.913	-----
7	4.04 & 4.05	WISCONSIN CENTRAL LTD.	HE & TLE	-----	-----	0.199	0.485
8	4.05	VALLEY SALES CORPORATION	FEE & TLE	5.182	5.182	0.875	-----
9	4.05 & 4.06	ESTATE OF CHESTER J. KIRSCHLING & LORETTA KIRSCHLING	FEE	-----	0.829	-----	-----
10	4.05 & 4.06	THE STEVENS POINT COUNTRY CLUB	FEE & TLE	0.596	1.077	1.673	0.472
11	4.05 & 4.06	MK&K PROPERTIES, LLC	FEE & TLE	0.194	-----	0.194	0.206
12	4.06	KENT S. JAKUSZ, OR HIS SUCCESSORS OF THE KENT S. JAKUSZ REVOCABLE TRUST DATED MAY 21, 2007, VENDOR FP PROPERTIES OF WIS, LLP, PURCHASER	FEE & TLE	0.014	-----	0.014	0.007
13	4.06	LAURA B. BRONK	FEE & TLE	0.056	0.137	0.193	0.044
14	4.06	MARLA RAILS	TLE	-----	-----	0.013	-----

UTILITY INTERESTS REQUIRED		
UTILITY NUMBER	OWNER(S)	INTEREST REQUIRED
50	CITY OF STEVENS POINT	RELEASE OF RIGHTS
51	CHARTER COMMUNICATIONS INC.	RELEASE OF RIGHTS
52	WISCONSIN PUBLIC SERVICE CORPORATION (GAS)	RELEASE OF RIGHTS
53	WISCONSIN PUBLIC SERVICE CORPORATION (ELECTRIC)	RELEASE OF RIGHTS
54	AT&T (TELEPHONE)	RELEASE OF RIGHTS

REVISION DATE 12-23-15	DATE 12-7-15	HWY: HOOVER ROAD	STATE R/W PROJECT NUMBER	6998-II-00	PLAT SHEET	4.02
		COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER	6998-II-71	PS&E SHEET	E

FILE NAME : P:\60334255\900-Work\910-CAD\20-Sheets\040102-r.v.dgn PLOT BY : \$\$.dtp\user...\$ PLOT NAME : PLOT SCALE : 1:200



4

4

REVISION DATE 12-23-15 N.C.	DATE 12-7-15	NOT TO SCALE	HWY: HOOVER ROAD COUNTY: PORTAGE	STATE R/W PROJECT NUMBER 6998-11-00 CONSTRUCTION PROJECT NUMBER 6998-11-71	PLAT SHEET 4,03 PS&E SHEET
FILE NAME : P:\60334255\900-Work\910-CAD\20-Sheets\040103-Plan.dgn			PLOT BY : **...d\lotuser...** PLOT NAME : PLOT DATE : 1/4/2016		PLAT SHEET 4,03 PS&E SHEET
			PLOT SCALE : 1:1200		E

NOTE: EXISTING RIGHT OF WAY FOR HOOVER ROAD ESTABLISHED BY CSM 4704, KIRSCHLING PLEASANT VIEW SUBDIVISION AND GOVERNMENT LAND LINES, EXISTING RIGHT OF WAY FOR CAROLS LANE ESTABLISHED BY KIRSCHLING PLEASANT VIEW SUBDIVISION.

EASEMENT TABLE	
OWNER	RECORDING INFORMATION
AT & T	VOL. 397 PG. 184 DOC. 337263 10
WISCONSIN PUBLIC SERVICE CORPORATION (GAS)	VOL. 512 PG. 174 DOC. 501736 10
WISCONSIN PUBLIC SERVICE CORPORATION (ELECTRIC)	VOL. 512 PG. 174 DOC. 501736 10

SIGN SCHEDULE	
SIGN NO.	SIGN OWNER
11-1	FIRE PRO. INC., WAKA PROPERTIES, LLC
11-2	GBRE, USDA, WAKA PROPERTIES, LLC

R/W POINT COORDINATE TABLE	
POINT	X
200	200394.993
716	19998.847
718	200082.641
719	200132.652
720	200152.639
721	199873.865
722	200064.754
726	200461.276
729	200475.222
735	199886.658

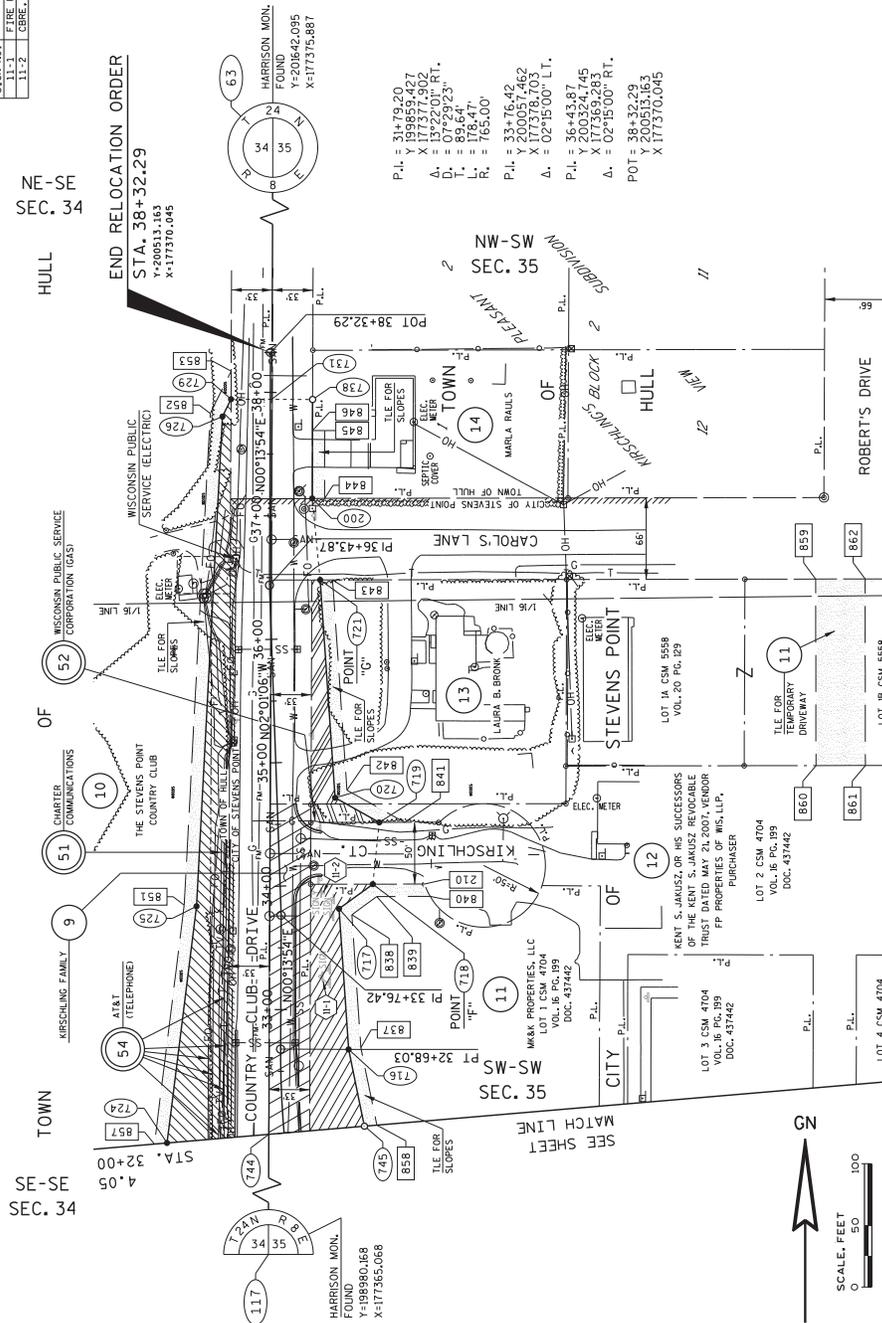
R/W STATION-OFFSET TABLE		
POINT	STATION	OFFSET
716	32+68.03	55.00
717	33+86.00	47.00
718	33+98.97	75.00
719	34+76.00	92.00
720	34+76.00	92.00
721	35+48.28	41.00
724	32+00.00	95.00
725	32+86.12	68.17
726	32+86.12	68.17
729	37+94.32	31.75
738	37+94.32	34.25
745	32+00.00	65.33

TILE STATION-OFFSET TABLE		
POINT	STATION	OFFSET
716	32+68.03	64.93
717	32+68.03	64.93
718	33+76.42	57.20
719	33+86.87	77.92
720	34+04.00	102.00
721	34+75.74	56.82
724	36+48.34	51.02
725	37+14.30	44.25
726	37+14.30	44.25
729	37+94.32	34.25
738	37+94.32	34.25
745	32+00.00	65.33

TILE CURVE DATA TABLE	
CHORD	CHORD BEARING
210 - 840	50.00' 10.94' 10.92' S33.49.51.E

R/A COURSE TABLE		
FROM - TO	BEARING	DISTANCE
724 - 725	N07°06'01"E	193.17'
725 - 726	N86°17'41"E	15.87'
726 - 729	N26°17'41"E	15.87'
729 - 738	S89°46'06"E	66.00'
738 - 200	S00°13'58"W	80.07'
200 - 720	S03°55'03"E	176.77'
720 - 719	S60°46'32"E	40.94'
719 - 718	S05°59'01"W	50.28'
718 - 717	S53°53'39"W	33.42'
717 - 716	S11°39'54"E	63.50'
716 - 745	S11°39'54"E	63.50'
745 - 724	S85°08'12"W	160.33'
718 - 715	S11°39'54"E	110.30'
715 - 714	S89°46'06"E	33.00'
714 - 713	S89°46'06"E	33.00'
713 - 724	S89°46'06"E	33.00'
724 - 724	S85°08'12"W	77.66'
724 - 724	S85°08'12"W	82.67'
714 - 714	N00°13'58"W	89.93'
714 - 714	N00°13'58"W	89.93'
731 - 63	N00°13'58"E	116.62'

TILE COURSE TABLE		
FROM - TO	BEARING	DISTANCE
724 - 725	S85°08'12"W	10.22'
725 - 726	N03°01'40"E	39.78'
726 - 729	N26°17'41"E	38.17'
729 - 738	S00°13'58"W	22.76'
738 - 200	S03°55'03"E	10.00'
200 - 720	S60°46'32"E	10.00'
720 - 719	S05°59'01"W	10.00'
719 - 718	S53°53'39"W	10.00'
718 - 717	S11°39'54"E	53.31'
717 - 716	S89°46'06"E	20.41'
716 - 715	S89°46'06"E	41.99'
715 - 714	S89°46'06"E	43.13'
714 - 713	S89°46'06"E	25.06'
713 - 712	S03°52'39"E	107.91'
712 - 711	S11°39'54"E	64.07'
711 - 710	S11°39'54"E	111.67'
710 - 709	S11°39'54"E	222.56'
709 - 708	N89°54'01"E	400.88'
708 - 707	N89°54'01"E	151.00'
707 - 706	S00°05'59"E	40.00'
706 - 705	S89°52'53"W	151.02'



REVISION DATE 12-23-15 N.C.	DATE 12-7-15	GRID FACTOR N/A	SCALE, FEET 0 50 100	PLAT SHEET 4.06
FILE NAME : P:\60334255\300-MoK\910-CAD\20-Sheets\040106-r.dgn	PLANT NAME : **...dplotuser...*	CONSTRUCTION PROJECT NUMBER 6998-II-71	STATE R/W PROJECT NUMBER 6998-II-00	PS&E SHEET E
HWY: COUNTRY CLUB DRIVE		COUNTY: PORTAGE		WISDOT/CADD SHEET 75

MEMORANDUM

To: Plan Commission Members

From: City Attorney
Andrew Beveridge

Re: Revocable License – Vincent & Gina Miresse, 1008 Sixth Ave.

Plan Commission Members:

The attached Revocable License Agreement relates to the area located immediately north of the intersection of Third Street and Sixth Avenue. Mr. & Mrs. Miresse recently purchased a portion of the unused right of way from the City, and are proposing to lease the remaining unused right of way for use as a garden area. In exchange, they are agreeing to mow the grass on the City's parcel and generally maintain the garden and grounds in a reasonable state of repair. Either party may discontinue the License upon 30 days written notice, and the City may discontinue it if the property is not maintained in the manner required under the license.

REVOCABLE LICENSE AGREEMENT

THIS RECOVCABLE LICENSE AGREEMENT, hereinafter the “Agreement”, made and entered into this ____ day of _____, 20__, by and between City of Stevens Point, a Wisconsin municipal corporation located at 1515 Strongs Avenue, Stevens Point, Wisconsin 54481 (“City”), and Vincent J. and Gina V. Miresse, a married couple who reside at 1008 Sixth Avenue, Stevens Point, Wisconsin 54481 (“User”).

WITNESSETH:

WHEREAS, Buyer seeks authorization to utilize the Property for the purposes of maintaining a garden; and

WHEREAS, City is willing to allow User to utilize the Property for such purposes;

NOW THEREFORE, in consideration of the representations and mutual promises herein contained, City and User agree as follows:

SECTION I - DEFINITIONS

- A. “Property” means the portion of Lot 1 located adjacent to Buyer’s property at 1008 Sixth Avenue, Stevens Point, Wisconsin 54481 identified in pink on the attached Certified Survey Map identified as Exhibit A and recorded as Document No. 810045 with the Portage County Register of Deeds (“CSM”).

SECTION II – USE OF PROPERTY

- A. User shall have a revocable license to utilize the Property for purposes of maintaining a garden. This license shall allow User to cultivate any portion of the Property as garden areas for vegetables, flowers, decorative plantings, or other typical garden-type uses, subject only to the restrictions contained in Section III. User agrees to reasonably maintain any areas cultivated to an ordinary standard of care for such plantings.

SECTION III – USER’S OBLIGATIONS

- A. As consideration for the license granted herein, User agrees to periodically cut the grass over any areas of Lot 1 as identified on the attached CSM which are not

cultivated as garden areas as described under Section II. Grass shall be maintained at a height of no greater than seven (7) inches.

- B. User agrees to maintain the portions of fence surrounding the existing garden and located on Lot 1 in a manner commensurate with applicable City ordinances, including but not limited to Chapter 21 of the Revised Municipal Code of the City of Stevens Point.

Section IV - ENTIRE AGREEMENT

- A. The terms of this Agreement constitute the entire understanding between the parties hereto and no statement, condition, understanding, inducement or representation, oral or written, expressed or implied, which is not contained herein shall be binding or valid. This Agreement may only be amended or modified by mutual consent of the parties hereto in writing signed by both parties.

Section V – TERM

- A. The term of this Agreement shall be indefinite, but shall terminate upon either party sending written notice to the other party of its intent to terminate the Agreement. Such notice shall be effective upon 30 days passage from the date upon which notice is received by the receiving party.

Section VI – DEFAULT

- A. In the event User fails or refuses to keep and perform any of the terms, covenants, or conditions herein required of User under this Agreement, and such failure is not cured within thirty (30) days after the City gives User written notice of such failure, then User shall be deemed to be in “Default” under the terms of this Agreement. Provided, however, if the Default cannot reasonably be cured within thirty (30) days, then User shall be deemed to have complied with such notice so long as it has commenced to comply with the notice within the period set forth in the notice and thereafter is proceeding to cure the Default with all possible diligence. Upon the occurrence of a Default, the City may declare this Agreement terminated and institute action to expel User from the premises. Furthermore, the City shall be

permitted any other right or remedy allowed by law to the City to keep and perform any of the terms, covenants, or conditions herein required of User.

Section VII – NOTICES

- A. Any notice, consent or other communication given pursuant to this Agreement shall be in writing and shall be given by personal delivery or mailed to the address designated below, or such other address as they may designate in writing, mailed by registered or certified mail, return receipt requested, with postage prepaid. Notices shall be deemed effective when personally delivered or when deposited in the United States mail in the manner described above.

If to the City: City Clerk
 1515 Strongs Avenue
 Stevens Point, WI 54481

If to User: Vincent J. and Gina V. Miresse
 1008 Sixth Avenue
 Stevens Point, WI 54481

IN WITNESS WHEREOF, the parties have duly executed this Agreement, or caused it to be duly executed, as of the _____ day of _____, 2016.

USER:

By: _____

Date: _____

By: _____

Date: _____

CITY OF STEVENS POINT

By: _____

Date: _____

Mike Wiza, Mayor

Attest: _____

Date: _____

John V. Moe, City Clerk

CSM # 10702-48-132

810045

CERTIFIED SURVEY MAP NO.

CERTIFIED SURVEY MAP FOR CITY OF STEVENS POINT

CYNTHIA A. WISINSKI
REGISTER OF DEEDS
PORTAGE COUNTY
STEVENS POINT, WI
RECORDED ON
08/28/2015 11:18 AM

REC FEE: 30.00
PAGES: 2
FEE EXEMPT:

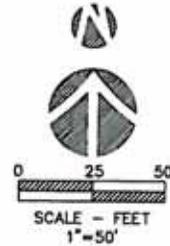
LOCATED IN THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 24 NORTH, RANGE 8 EAST, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

NOTES:

THIS INSTRUMENT WAS DRAFTED BY PATRICK J. FUEHRER.

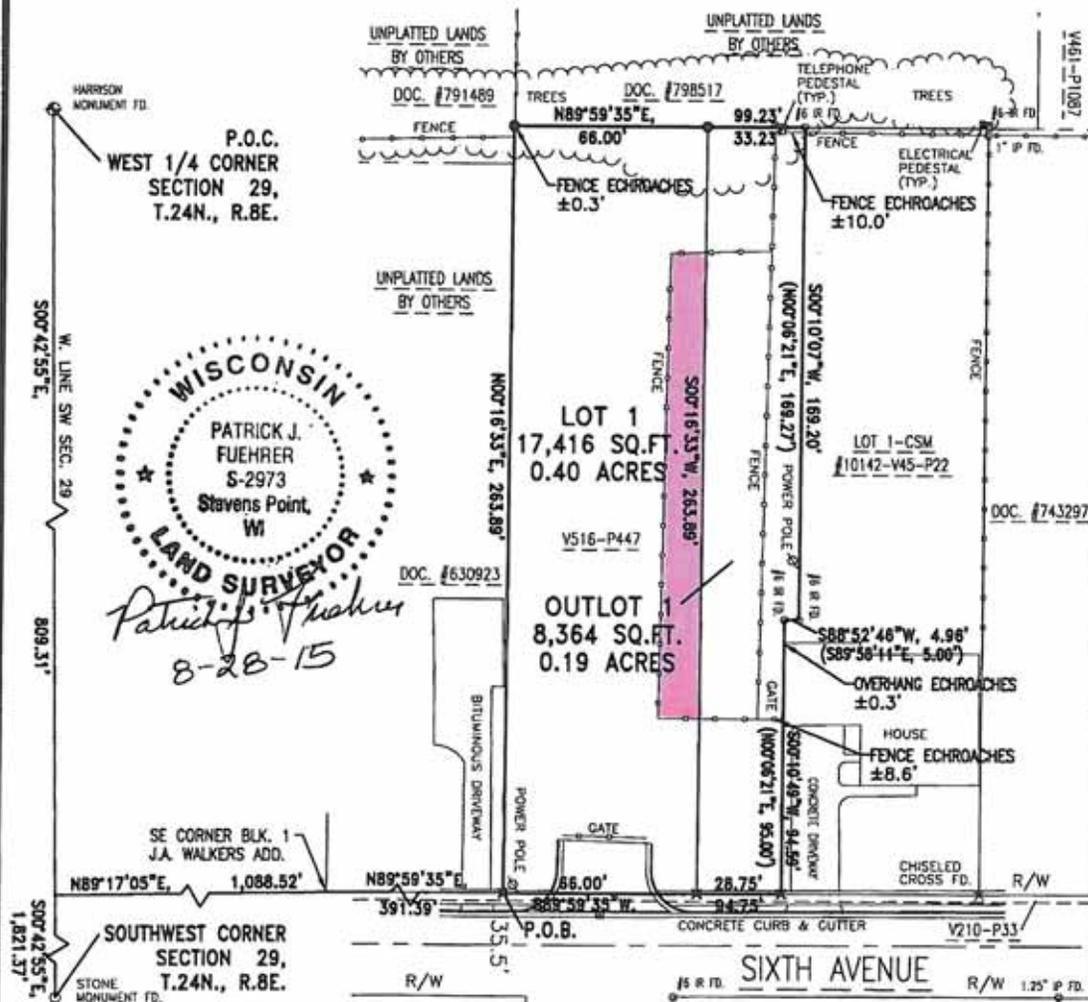
THE BEARINGS HEREIN ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM—PORTAGE COUNTY—NAD 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 29 BEARS S00°42'55"E.

THIS CSM IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.



LEGEND

- 3/4" X 18" IRON REBAR SET-1.5#/FT.
- x CROSS SET IN CONCRETE
- () PREVIOUSLY RECORDED AS



CERTIFIED SURVEY MAP NO.

SURVEYOR'S CERTIFICATE

I Patrick J. Fuehrer, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided, and mapped the land described and represented by this Certified Survey Map located in the Northeast Quarter of the Southwest Quarter of Section 29, Township 24, North, Range 8 East, City of Stevens Point, Portage County, Wisconsin.

Commencing at the west quarter corner of said Section 29; thence South 00 degrees 42 minutes 55 seconds East along the west line of said Southwest Quarter of Section 29 a distance of 809.31 feet; thence North 89 degrees 17 minutes 05 seconds East 1,088.52 feet to the southeast corner of Block 1 of J.A. Walkers Addition to the City of Stevens Point; thence North 89 degrees 59 minutes 35 seconds East along the westerly extension and the north right-of-way line of Sixth Avenue 391.39 feet to the **point of beginning**; thence North 00 degrees 16 minutes 33 seconds East 263.89 feet; thence North 89 degrees 59 minutes 35 seconds East 99.23 feet to the northwest corner of Lot 1 of Portage County Certified Survey Map Number 10142-45-22; thence South 00 degrees 10 minutes 07 seconds West along the west line of said Lot 1 a distance of 169.20 feet; thence South 88 degrees 52 minutes 46 seconds West 4.96 feet; thence South 00 degrees 10 minutes 49 seconds West along said west line of Lot 1 a distance of 94.59 feet to the southwest corner of said Lot 1 and the north right-of-way line of said Sixth Avenue; thence South 89 degrees 59 minutes 35 seconds West along said north right-of-way line 94.75 feet to the **point of beginning** and there terminating.

That I have made such survey, and map at the direction of the City of Stevens Point; that such map is a correct representation of all the exterior boundaries of the land surveyed. That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, and the local ordinances of the City of Stevens Point, in surveying and mapping the same.

Dated: August 28, 2015



Patrick J. Fuehrer
Patrick J. Fuehrer, PLS No. 2973

CITY OF STEVENS POINT ACCEPTANCE CERTIFICATE

I HEREBY CERTIFY THIS MAP AND ACCOMPANYING INFORMATION IS ~~APPROVED~~ (CONDITIONALLY APPROVED) PURSUANT TO THE BUILDING AND SAFETY ORDINANCES OF STEVENS POINT ON THE BASIS OF THE FOLLOWING (FACTS) (CONDITIONS):

BY: *Michael Ostrowski*

MICHAEL OSTROWSKI
DIRECTOR OF COMMUNITY DEVELOPMENT