

AGENDA  
HISTORIC PRESERVATION / DESIGN REVIEW COMMISSION

July 6, 2016 – 4:30 PM

City Conference Room – County-City Building  
1515 Strongs Avenue – Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

Discussion and possible action on the following:

1. Approval of the report of the June 1, 2016 HP/DRC meeting.
2. Request from AJ Filtz, representing McDonald Title, for design review approval to perform exterior facade improvements which includes the installation of a stucco finishing system at **1059 Clark Street (Parcel ID 2408-32-2020-01)**.
3. Request from BriMark Builders, representing Cobblestone Hotels, for design review approval to construct a hotel on the **lot south of Centerpoint Drive, north of Main Street and between Strongs Avenue and Third Street (Parcel ID 2408-32-2029-70)**.
4. Request Gregg Gokey, representing Penguin Properties, for design review approval to perform exterior facade improvements which includes the installation of windows, doors, vinyl trim, railings, and masonry repairs, at **1324 Centerpoint Drive (Parcel ID 2408-32-2031-37)**.
5. Adjourn.

REPORT OF THE HISTORIC PRESERVATION / DESIGN REVIEW COMMISSION

Wednesday June 1, 2016 – 4:30 PM

Conference Room D – County-City Building  
1515 Strongs Avenue, Stevens Point, WI 54481

PRESENT: Alderperson Garrett Ryan, Commissioner Tim Siebert, and Commissioner Bob Woehr.

ABSENT: Chairperson Lee Beveridge, Commissioner Sarah Scripps, Commissioner Joe Debauche, and Commissioner Tom Baldischwiler

ALSO PRESENT: Associate Planner Kearns, Director Ostrowski, and Nate Enwald

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Discussion and possible action on the following:

1. Approval of the report of the April 6, 2016 HP/DRC meeting.
2. Request from the Tony Phillips with SAC Wireless, representing AT&T, for design review approval to remove an antenna tower at 1045 Clark Street (**Parcel ID 2408-32-2020-02**).
3. Adjourn.

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**Motion by Commissioner Siebert to elect Alderperson Ryan to Chair the meeting; seconded by Commissioner Woehr.**

**Motion carried 3-0.**

1. Approval of the report of the April 6, 2016 HP/DRC meeting.

**Motion by Commissioner Woehr to approve the report of the April 6, 2016 HP / DRC meeting; seconded by Commissioner Siebert.**

**Motion carried 3-0.**

2. Request from the Tony Phillips with SAC Wireless, representing AT&T, for design review approval to remove an antenna tower at 1045 Clark Street (**Parcel ID 2408-32-2020-02**).

Associate Planner Kyle Kearns briefly summarized the request, citing the tower has been up for over 50 years and the applicant wants to remove it as it is obsolete. Staff recommends that the tower be removed.

Commissioner Woehr asked about requirements for a razing permit. Furthermore he stated his concern regarding the tower height, and if insurance is required by the applicant. Mr. Kearns explained that the city would require a razing permit for the tower. He went on to add that insurance or bonds may be required in City ordinance for the razing of structures.

Commissioner Woehr added that to address his concern of possible damage to the surrounding area from the work, a condition be added to the approval to require insurance.

**Motion by Commissioner Woehr to approve the removal of an antenna tower at 1045 Clark Street (Parcel ID 2408-32-2020-02) with the addition conditions:**

1. Building codes and zoning ordinance requirements shall be met.
2. All applicable building permits shall be obtained, including a razing permit.
3. The applicant shall maintain sufficient insurance coverage or bonding to cover potential liabilities incurred during the razing to be determined by the City attorney.

Seconded by Alderperson Ryan.

Motion carried 3-0.

3. Adjourn.

Meeting adjourned at 4:42 PM.

# Administrative Staff Report

**Façade Improvement  
 Design Review Request  
 1059 Clark Street  
 June 28, 2016**



Department of Community Development  
 1515 Strong's Avenue, Stevens Point, WI 54481  
 Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"> <li>McDonald Title</li> </ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"> <li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li> <li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li> </ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"> <li>2408-32-2020-01</li> </ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"> <li>"B-3" Central Business District</li> </ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"> <li>District 1 – Doxtator</li> </ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"> <li>Actual Frontage: 32 feet</li> <li>Effective Depth: 75 feet</li> <li>Square Footage: 2,400</li> <li>Acreage: 0.055</li> </ul> <p><b>Structure Information:</b></p> <ul style="list-style-type: none"> <li>Year Built: addition 1890 (126 years)</li> <li>Number of Stories: 2</li> </ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"> <li>Commercial</li> </ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"> <li>Chapter 22</li> <li>Downtown Design Guidelines</li> </ul>	<p><b>Request</b></p> <p>Request from AJ Filtz, representing McDonald Title, for design review approval to perform exterior facade improvements which includes the installation of a stucco finishing system at <b>1059 Clark Street (Parcel ID 2408-32-2020-01)</b>.</p> <p><b>Attachment(s)</b></p> <ol style="list-style-type: none"> <li>Application</li> <li>Rendering</li> <li>Photos</li> </ol> <p><b>City Official Design Review / Historic District</b></p> <ol style="list-style-type: none"> <li>Downtown Design Review District</li> </ol> <p><b>Staff Recommendation</b></p> <p style="background-color: yellow;">Based on the findings below, staff would recommend denial of the design review request to install an insulation and stucco finishing system on the east façade.</p> <p>Staff would recommend approving a design review request at 1059 Clark Street if the following conditions were met.</p> <ol style="list-style-type: none"> <li>All architectural masonry design features, such as window headers, and openings shall be maintained or restored.</li> <li>Rounded window and door headers matching the original shall be incorporated into the design.</li> <li>All window and door openings must remain open and shall be prohibited from being permanently filled-in</li> <li>Brick (full or veneer) closely matching the original in color, texture, and mortar shall be installed along the east façade. Type N mortar shall be used as defined by the American Society for Testing and Materials (ASTM).</li> <li>Building codes and zoning ordinance requirements shall be met</li> <li>All applicable building permits shall be obtained.</li> </ol>
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# Vicinity Map



## Scope of Work

McDonald Title located at 1059 Clark Street had a severely deteriorated façade. The property owner contacted City staff upon which an inspection of the façade occurred on April 11 (see photos attached). From the inspection it was obvious that the façade was separating from the underlying material. Areas of the east wall (photo to the right) were bowing away from the building. The building inspector utilized emergency procedures granted in Chapter 22: Historic Preservation / Design Review (below), given the deteriorated state of the façade and public safety concern.



*Chapter 22 of the Revised Municipal Code  
Part 9. Emergency Conditions*

*In any case where the building inspector determines that there are emergency conditions dangerous to life, health or property affecting a historic structure, site, or property in a historic district, the building inspector may order the remedying of these conditions without the approval of the commission. The building inspector shall promptly notify the commission of the action being taken. When the emergency conditions do not require demolition, the building inspector shall make every effort to carry out the intent of this ordinance and to use the design guidelines of the commission when remedying the emergency conditions.*

On Monday June 6<sup>th</sup>, a razing permit was issued to remove the deteriorated brick. After removal, ice and water shield proofing adhesive was installed to protect the underlying material. Note that windows were covered during the removal. Also, the Mural on the east wall was removed prior to construction and is in the possession of the applicant.



The applicant is now requesting a treatment method for the exterior façade along the east wall which consists of foam insulation and a stucco coating. Below are standards of review regarding the request.

*CHAPTER 22: HISTORIC PRESERVATION*

*Division 5.02 Regulation of Construction, Reconstruction, Alteration, and Demolition*

*No owner or person in charge of a historic structure or historic site, or property located within a historic district shall reconstruct, alter, or demolish all or any part of the exterior of such property or construct any improvement upon such designated property or properties or cause or permit any such work to be performed upon such property or demolish such property unless approval has been granted by the commission.*

*Upon the filing of any request for a design review certificate with the commission, the commission shall review the request in accordance with the design guidelines. If the commission determines that the application for a design review certificate and the proposed changes are consistent with the design guidelines, it shall issue the design review certificate. Upon the issuance of such certificate, any other required permits shall be obtained.*

**Guidelines of Review** (numbers refer to guidelines standards)

**\*\*\*Other standards within the design guidelines not specifically mentioned below have been reviewed and are met or not applicable pertaining to the proposed building improvement activities.**

**ENGINEERED OR SYNTHETIC SIDING (Sec. 3.1.1)**

- 2. Original walls should be properly maintained and repaired when necessary. If an original wall feature must be replaced due to excessive deterioration or damage, the new feature should match the original in size, profile, material and texture.

**Analysis:** The original wall was brick, however was permitted to be razed given the deteriorated state and danger. Wood exists behind the brick. The applicant is proposing an insulation and stucco covering to replace the brick.

**Findings:** The proposed insulation and stucco finishing material does not match the building and is not original to the building.

- It is not recommended to cover or replace original wall surfaces with vinyl, aluminum, veneer or other synthetic siding, including chemical applications that may change the texture of the original siding.

**Analysis:** The applicant is proposing to replace a brick façade with an insulation and stucco finishing system. Specifics regarding the color and texture of the stucco have not been provided.

**Findings:** The introduction of another façade material, color, and texture will detract from the historical character of the building and negatively impact the historical integrity of the property, and surrounding properties within the Historic Downtown Design Review District.

**MASONRY (3.2.2)**

- Preserve and protect character-defining masonry architectural features including corbelling, cornices, sills, quoins, foundations, and walls.

**Analysis:** Given the deteriorated state and danger posed by the building façade brick, it was allowed to be removed via the emergency procedures. Prior to demolition, a few windows on the east façade were boarded up, including a transom above a door. Lastly, a chimney has been removed on the east wall.

**Findings:** After brick wall demolition, the ice and water treatment indicates that several original window openings will be covered. In addition, a first floor window opening will be reduced in size. Furthermore, rounded window headers are no longer apparent along the façade. Staff would recommend that all architectural masonry design features, such as windows, headers and openings be maintained or restored.



- Deteriorated masonry units should be repaired rather than replaced, using materials that match the original in size, texture, color, and overall appearance. Synthetic materials are not recommended on historic structures for the wholesale covering of a structure.

**Analysis:** The deteriorated masonry units have been removed. An insulation and stucco material is proposed (see application and rendering).

**Findings:** In this situation the deteriorated masonry could not be saved as the structural integrity was lost. Brick was warped and pulling away from the underlying material creating a gap in the façade. This gap was exposed to the elements, allowing for accelerated deterioration. The applicant’s proposal to install an insulation and stucco material is not original to the building. Brick exists on all other facades of the building, any other façade material would decrease the building aesthetics and significantly reduce the historical character of the building. Staff would recommend that brick closely matching the original in color, texture and mortar be installed along the east façade.

**WINDOW AND DOORS (Sec. 3.4)**

- Permanently filling in existing window or door openings is not recommended.

**Analysis:** See masonry standard 1 above.

**Findings:** Staff would recommend that all window and door openings must remain open and shall be prohibited from being permanently filled-in.

- Replacing or covering window or door openings with plywood is strongly discouraged.

**Analysis:** Several window openings were previously covered prior to the construction of the project. They are not proposed to be exposed or utilized, but rather appear to be covered with the finishing stucco and insulation system.

**Findings:** Staff would strongly encourage existing covered window openings to be returned to operation and utilization.

16. Retain and preserve energy efficient features such as transom windows, awnings, shutters, skylights and porches.

**Analysis:** As indicated in masonry standard 1 above, rounded headers on existing windows appear to be absent, however the submitted rendering identifies 2 inch foam on the insets above windows and doors.

**Findings:** Given the proposed rendering, it is assumed that a rounded feature above the windows and doors is proposed as part of the request. Staff would recommend that rounded window and door headers matching the original be incorporated into the design.

In conclusion and based on the findings above, staff recommends denying the design review request to install an insulation and stucco finishing system on the east façade of 1059 Clark Street as several standards of review are not met. Should a more appropriate façade construction method be pursued, such as the installation of brick, staff would recommend approving a design review request at 1059 Clark Street if the following conditions were met.

1. All architectural masonry design features, such as window headers and openings, shall be maintained or restored.
2. Rounded window and door headers matching the original shall be incorporated into the design.
3. All window and door openings must remain open and shall be prohibited from being permanently filled-in
4. Brick (full or veneer) closely matching the original in color, texture, and mortar shall be installed along the east façade. Type N mortar shall be used as defined by the American Society for Testing and Materials (ASTM).
5. Building codes and zoning ordinance requirements shall be met
6. All applicable building permits shall be obtained.

## Photos

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North Façade – Facing Main Street



East Façade



Second Floor Window – Brick Separation



Second Floor Window



East Façade



East Façade



East Façade – During Demolition



East Façade – After Demolition



# HISTORIC PRESERVATION/ DESIGN REVIEW COMMISSION

City of Stevens Point  
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481  
(715) 346-1567  
(715) 346-1498  
[communitydevelopment@stevenspoint.com](mailto:communitydevelopment@stevenspoint.com)  
<http://stevenspoint.com>

## APPLICATION FOR DESIGN REVIEW

### ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #	-	Date Submitted	6/13/14	Assigned Case Manager	Kyle Keams
Associated Permits or Applications (if any)	-			Pre-Application Conference Date	-
Decision		Date Reviewed		Staff Signature	

Notes:

### APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/> )	
Applicant Name	Sally A. McDonald-Lewis	Contact Name	AJ Filtz
Address	1059 Clark St	Address	
City, State, Zip	Stevens Point WI 54481	City, State, Zip	
Telephone	715-344-3700	Telephone	715-340-1411
Fax	715-344-3974	Fax	
Email	rmdonald@mcddtitle.com	Email	

### OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? <input type="checkbox"/> )		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name	Sally A. McDonald-Lewis	Owner's Name	Robert E. McDonald
Address	(Both same as	Address	above)
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

### PROJECT SUMMARY

Subject Property Location [Please include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
281-24-0832202001		
Legal Description of Subject Property		
Area of Subject Property (Acres/Sq Ft)		Area of Building or Structure (Sq Ft)
see attached -		

Current Zoning District(s)		Current Historic District(s) - Local, State, National	
		Clark Street	
Designated Future Land Use Category	Current Use of Property	Proposed Use of Property	
	Title Company/Law Office	same	
Briefly describe the proposed building, structure construction, reconstruction or exterior alteration. Please also provide rationale for the design review request, along with the time schedule (if any) for the project. (Use additional pages if necessary)			
see attached from AJ Filtz			
Will the proposed work detrimentally change, destroy or adversely affect any exterior architectural features of the improvement upon which said work is to be done? Explain your answer.			
Brick is coming off the building on Ellis Street side - abuts the (former) boys and girls club.			
Does the proposed work match and harmonize with the external appearance of adjacent neighboring improvements. Explain your answer.			
city workers already came to site and took photos			
Does the proposed work conform to the objectives of the historic preservation plan for said district (if any)? Explain your answer.			
yes - stucco to replace demolished brick - color to be in conformity with the neighboring districts and buildings			
Does the proposed work conform with the architectural design guidelines with emphasis on contextual issues including compatibility of size, volume proportions, rhythm, materials, detailing, colors, and expressiveness? (Historic Design Guidelines can be found at <a href="http://www.stevenspoint.com">www.stevenspoint.com</a> ) Explain your answer.			

**EXHIBITS**

Letter to District Alderperson ( <a href="http://www.stevenspoint.com/Directory">www.stevenspoint.com/Directory</a> )	<input type="checkbox"/>	Additional Exhibits If Any (List):
Photographs of Building or Structure	<input type="checkbox"/>	
Renderings or Elevations	<input type="checkbox"/>	
Site Plan (for additions, and new construction)	<input type="checkbox"/>	

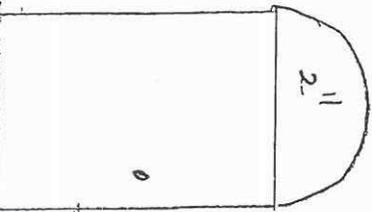
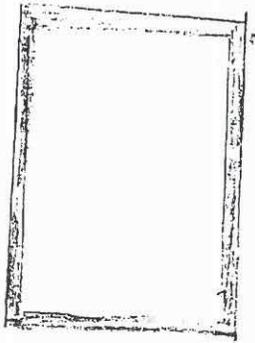
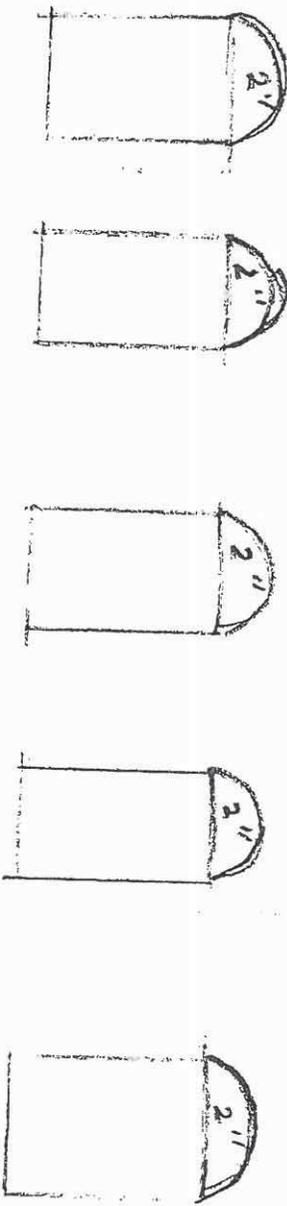
**CERTIFICATION AND SIGNATURE**

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
	4-19-16		4-19-16

2" foam on the  
--- V groove / expansion Joints 3/4" x 3/4"  
2" foam on the insets above window / door  
FASHING w/ needed

raised foam



Coating only



Coating  
only



26' x 75' Color / Texture upon approval.

ATTN:  
AS  
CONSTRUCTION

# Administrative Staff Report



**Construct Hotel  
Design Review Request  
Centerpoint Drive, north of Main Street  
June 28, 2016**

Department of Community Development  
1515 Strongs Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"> <li>BriMark Builders, representing Cobblestone Hotels</li> </ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"> <li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li> <li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li> </ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"> <li>2408-32-2029-70</li> </ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"> <li>"B-3" Central Business District</li> </ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"> <li>District 1 – Doxtator</li> </ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"> <li>N/A Exempt</li> </ul> <p><b>Structure Information:</b></p> <ul style="list-style-type: none"> <li>Number of Stories: 4</li> <li>Hotel Rooms: 61</li> </ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"> <li>Commercial</li> </ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"> <li>Chapter 22</li> <li>Downtown Design Guidelines</li> </ul>	<p><b>Request</b></p> <p>Request from BriMark Builders, representing Cobblestone Hotels, for design review approval to construct a hotel on the <b>lot south of Centerpoint Drive, north of Main Street and between Strongs Avenue and Third Street (Parcel ID 2408-32-2029-70).</b></p> <p><b>Attachment(s)</b></p> <ol style="list-style-type: none"> <li>Property Data</li> <li>Application</li> <li>Renderings</li> </ol> <p><b>City Official Design Review / Historic District</b></p> <ol style="list-style-type: none"> <li>Downtown Design Review District</li> </ol> <p><b>Staff Recommendation</b></p> <p>Based on the findings below, staff would recommend approval of the design review request to construct a hotel as proposed on the lot south of Centerpoint Drive, north of Main Street and between Strongs Avenue and Third Street (Parcel ID 2408-32-2029-70) with the following conditions:</p> <ol style="list-style-type: none"> <li>EIFS shall be permitted to exist as shown on the attached plans and shall not be located below the third story.</li> <li>The chairperson and designated agent shall have the authority to review and approve minor changes to the project and building design.</li> <li>Building codes and zoning ordinance requirements shall be met</li> <li>All applicable building permits shall be obtained.</li> </ol>
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# Vicinity Map



# Scope of Work

BriMark Builders, representing Cobblestone Hotels, is requesting design review to construct a hotel at the location identified above. The applicant was previously approved a six month option on the property, and is moving forward through the approval steps of the project. The project will create a 4 story, 61-room hotel, with a restaurant space. A full application package has been submitted and is attached, including building renderings, site plan, and landscaping plan. Note this project also requires a conditional use permit.



## CHAPTER 22: HISTORIC PRESERVATION

## Division 5.02 Regulation of Construction, Reconstruction, Alteration, and Demolition

*No owner or person in charge of a historic structure or historic site, or property located within a historic district shall reconstruct, alter, or demolish all or any part of the exterior of such property or construct any improvement upon such designated property or properties or cause or permit any such work to be performed upon such property or demolish such property unless approval has been granted by the commission.*

*Upon the filing of any request for a design review certificate with the commission, the commission shall review the request in accordance with the design guidelines. If the commission determines that the application for a design review certificate and the proposed changes are consistent with the design guidelines, it shall issue the design review certificate. Upon the issuance of such certificate, any other required permits shall be obtained.*

## Guidelines of Review (numbers refer to guidelines standards)

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**\*\*\*Other standards within the design guidelines not specifically mentioned below have been reviewed and are met or not applicable pertaining to the proposed building improvement activities.**

### COMMERCIAL CONSTRUCTION (Sec. 5.1)

#### Commercial: Massing, Scale and Orientation Guidelines (5.1.2)

1. Buildings within Stevens Point's Downtown Historic / Design Review District are of similar heights. Therefore, the height of a new building should be compatible with other buildings in the district when measured from grade.

**Analysis:** The proposed building is four stories.

**Findings:** Directly adjacent to the property exists two large single story buildings with high roof heights. To the south exists historic two-story buildings along Main Street. Further southeast exists a masonry three-story office building, as well as a six-story office building. Dense multi-story development will likely occur to the north similarly matching the proposed and existing development. The proposed building is compatible with others in the vicinity.

2. All new buildings should be compatible in heights with adjacent buildings on the block.

**Analysis:** See standard above.

**Findings:** Note many of the surrounding buildings are remnants of the former mall, which reflect a high single story design. Original buildings were demolished to construct the mall, however outside of the mall's footprint exists several multi-story buildings that exceed two-stories.

4. The overall building massing and placement on the lot should be similar to that of other buildings in the historic district. Commercial buildings within the interior of the block should be built to the front property line resulting in a continuous building line.

**Analysis:** The building maximizes the small lot size, and leaves very little room for on-site parking as indicated below. The proposed building placement matches the neighboring buildings and allows for a driveway to connect properties.

**Findings:** While the building is taller than directly adjacent buildings, its placement on site mirrors theirs and maintains a continuous building line, while also hiding interior municipal parking.

6. Where buildings are set back from the property line, the parking should be to the side and rear only.

**Analysis:** The building primarily faces Strongs Avenue, however fronts also on Centerpoint Drive. Very few on-site parking stalls exist on site. A driveway north of the building allows for access to neighboring properties. Furthermore, a driveway off of Strongs Avenue allows for access to the building canopy entrance, on-site parking, and municipal parking without exiting onto a street.

**Findings:** Parking for the site will primarily occur in surrounding municipal lots. No parking exists along Centerpoint Drive.

7. New buildings should have their main entrance and primary architectural façade facing the street. New building should have a rear entrance to accommodate rear parking and access.

**Analysis:** Each building façade has an entrance. Furthermore, the south and east entrances will likely be utilized most. The east entrance faces Strongs Avenues and has a canopy for patrons to utilize when checking-in and unloading.

**Findings:** The primary entrance faces public right-of-way and allows for easy access. Note also that a pedestrian walkway will exist west of the proposed building to assist in connecting the downtown with property to the north.

### Design, Proportion and Architectural Element Guidelines (Sec. 5.1.3)

1. The design of a new building should not attempt to create a false historic appearance, but rather complement buildings in the existing district. New construction should have its own character and style.

**Analysis:** Exterior materials include brick and stone veneer, along with an exterior finishing insulation system (EIFS). In addition, different window styles are presented throughout the façade, along with multiple bump-outs in the architecture.

**Findings:** The proposed design does not mimic any other building in downtown or incorporate false historic elements. The proposed building elements should complement other elements and materials within the downtown historic district.

2. Use materials that are common to the district such as brick, stone, terra cotta, wood, and metal. Modern materials are appropriate on a new building, however, masonry should be the predominant material on the façade as most of downtown's historic structures are brick or stone. Whenever modern materials are used, they should be similar in their physical qualities to historic materials found in the district.

**Analysis:** Brick and stone veneer masonry materials are proposed on nearly two thirds of the façade. The remaining façade will consist of exterior finishing insulation system (EIFS) and windows. As indicated above, EIFS is proposed above the second floor.

**Findings:** The masonry components of brick and stone match that of surrounding buildings. While EIFS is not recommended as a façade material, especially for historic buildings, it is proposed on a portion of the third and fourth floors. The street level of the building will primarily be of masonry. Furthermore, EIFS will be difficult to distinguish on upper levels. Again the EIFS, not typically recommended, may be fitting in this instance given the new construction of the building and its location on the building. Furthermore, EIFS assists in providing a third color, element, and texture to the building, improving the design and appearance. EIFS was similarly used on the west neighboring building to add a design element and break up the monotonous façade.

### LIGHTING (Sec. 4.2)

1. The design of lighting fixtures and poles should be compatible in size, scale, material and brightness with the structure, landscape, and neighborhood setting.

**Analysis:** Up-lighting in the form a wall sconces is proposed on the building (see attached photometric plan and specification sheet). Less than 1 foot candle is identified to spread off-site surrounding the development.

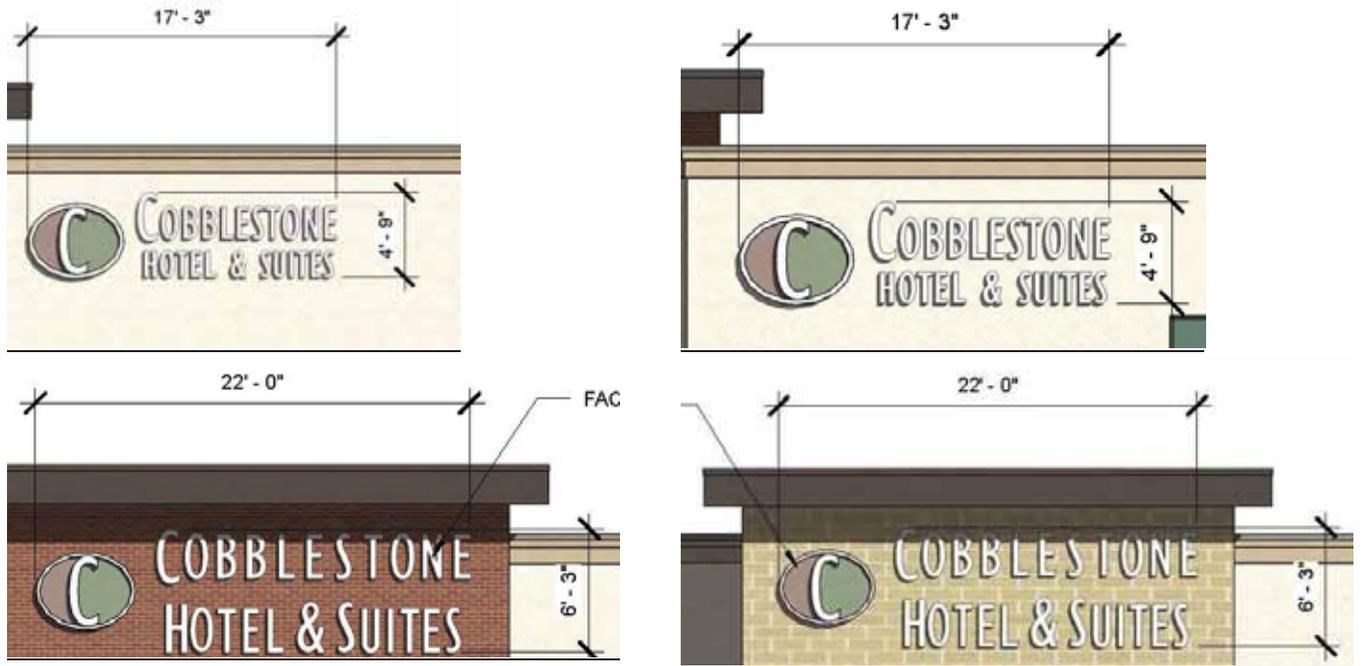
**Findings:** The intensity of light spreading to surrounding properties is minimal. Furthermore, the surrounding properties consist of other commercial establishments or municipal parking lots. While the lighting is of simple design, it should assist in accentuating the building design and architecture as well as signage.

### SIGNS (Sec. 4.4)

4. Size, scale, location, style and material of signage should be compatible with the architecture of the historic buildings and character of the district.

**Analysis:** Individual letter signs are proposed on all facades of the building between the fourth floor and roof. This area is outside of the signable area indicated in Chapter 25: Sign Ordinance, and therefore requires a sign variance. Note that neighboring properties and others within downtown have signage near the roof.

**Findings:** The B-3 Central Business District sign ordinance was written to target building and signage primarily on Main and Clark Street, which have a single façade, limited visibility, small lots, and mixed uses. The ordinance does not accommodate for large standalone buildings such as a hotel. If signage is placed within the signable area, advertisement would be restricted significantly, especially as the building has several entrances and facades facing public right-of-ways. The sign size is appropriate for the building and the number of signs does not create an over prolific amount of signage, as the façade is large. In addition, the proposed signage fits within the overall building design and color scheme. Staff recommends approving signage.



## Photos



Development Site – Looking Northwest



Development Site – Looking Southwest (Strong's Ave. Driveway)



Development Site – Looking South



Development Site – Looking Northeast



# HISTORIC PRESERVATION/ DESIGN REVIEW COMMISSION

City of Stevens Point  
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481  
(715) 346-1567  
(715) 346-1498

[communitydevelopment@stevenspoint.com](mailto:communitydevelopment@stevenspoint.com)  
<http://stevenspoint.com>

## APPLICATION FOR DESIGN REVIEW

### ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Assigned Case Manager	
Associated Permits or Applications (if any)				Pre-Application Conference Date	
Decision		Date Reviewed		Staff Signature	
Notes:					

### APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/> )	
Applicant Name	BriMark Builders, LLC	Contact Name	Stuart Sell
Address	980 American Drive	Address	
City, State, Zip	Neenah, WI 54956	City, State, Zip	
Telephone	(920) 955-3999	Telephone	
Fax	(866) 403-7287	Fax	
Email	ssell@brimarkbuilders.com	Email	

### OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? <input type="checkbox"/> )		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

### PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
Parts of 2408-32-2029-65 and 2408-32-2029-66		
Legal Description of Subject Property		
Pending		
Area of Subject Property (Acres/Sq Ft)		Area of Building or Structure (Sq Ft)
0.62 acres, 27,027 SF		9,863 SF Footprint; 37,205 SF Total

Current Zoning District(s)		Current Historic District(s) - Local, State, National	
B-3		Downtown Design District	
Designated Future Land Use Category	Current Use of Property	Proposed Use of Property	
	Vacant	Hotel	
Briefly describe the proposed building, structure construction, reconstruction or exterior alteration. Please also provide rationale for the design review request, along with the time schedule (if any) for the project. (Use additional pages if necessary)			
The proposed hotel is a four story, wood frame structure, clad in stone and brick veneer and EIFS. The property is located at the southwest corner of Centerpoint and Strongs and exists in the Design Review District. The proposed timeframe for the development shows city approvals in summer, then complete construction documents and begin construction in late summer/early fall.			
Will the proposed work detrimentally change, destroy or adversely affect any exterior architectural features of the improvement upon which said work is to be done? Explain your answer.			
Not applicable.			
Does the proposed work match and harmonize with the external appearance of adjacent neighboring improvements. Explain your answer.			
Not necessarily, but the proposed building is an improvement over neighboring properties. Directly to the east is the Shopko building, a one story monolithic masonry structure with no fenestration. The proposed building more closely matches the building to the west, a one story masonry structure with EIFS accents.			
Does the proposed work conform to the objectives of the historic preservation plan for said district (if any)? Explain your answer.			
Yes. Per article 5 of the Stevens Point Historic Design Guidelines, 'contemporary design is always encouraged in the historic districts, it is important that this new development be compatible with the overall character of the districts.' The proposed building, while modern, acknowledges the massing, materials, roof forms, and fenestration of the downtown district.			
Does the proposed work conform with the architectural design guidelines with emphasis on contextual issues including compatibility of size, volume proportions, rhythm, materials, detailing, colors, and expressiveness? (Historic Design Guidelines can be found at <a href="http://www.stevenspoint.com">www.stevenspoint.com</a> ) Explain your answer.			
Yes, for several reasons. Downtown architecture historically employs masonry products as it's primary cladding. The proposed building materials reflect that approach, while also using EIFS (synthetic stucco). The proposed building is taller than most in the downtown district (four stories), but is respectful to adjacent architecture in the district by making use of the traditional base/middle/top facade composition. Fenestration is accomplished by way of smallish punched openings, which is comparable to window patterns of historic buildings. The flat roof matches what was typically found on older buildings. As for massing, downtown buildings typically vary in width and height within a city block. This feature is mimicked on the proposed building by the use of taller and shorter parapet heights, and variations in the vertical wall plane.			

**EXHIBITS**

Letter to District Alderperson ( <a href="http://www.stevenspoint.com/Directory">www.stevenspoint.com/Directory</a> )	<input checked="" type="checkbox"/>	Additional Exhibits If Any (List):
Photographs of Building or Structure	<input checked="" type="checkbox"/>	
Renderings or Elevations	<input checked="" type="checkbox"/>	
Site Plan (for additions, and new construction)	<input checked="" type="checkbox"/>	

**CERTIFICATION AND SIGNATURE**

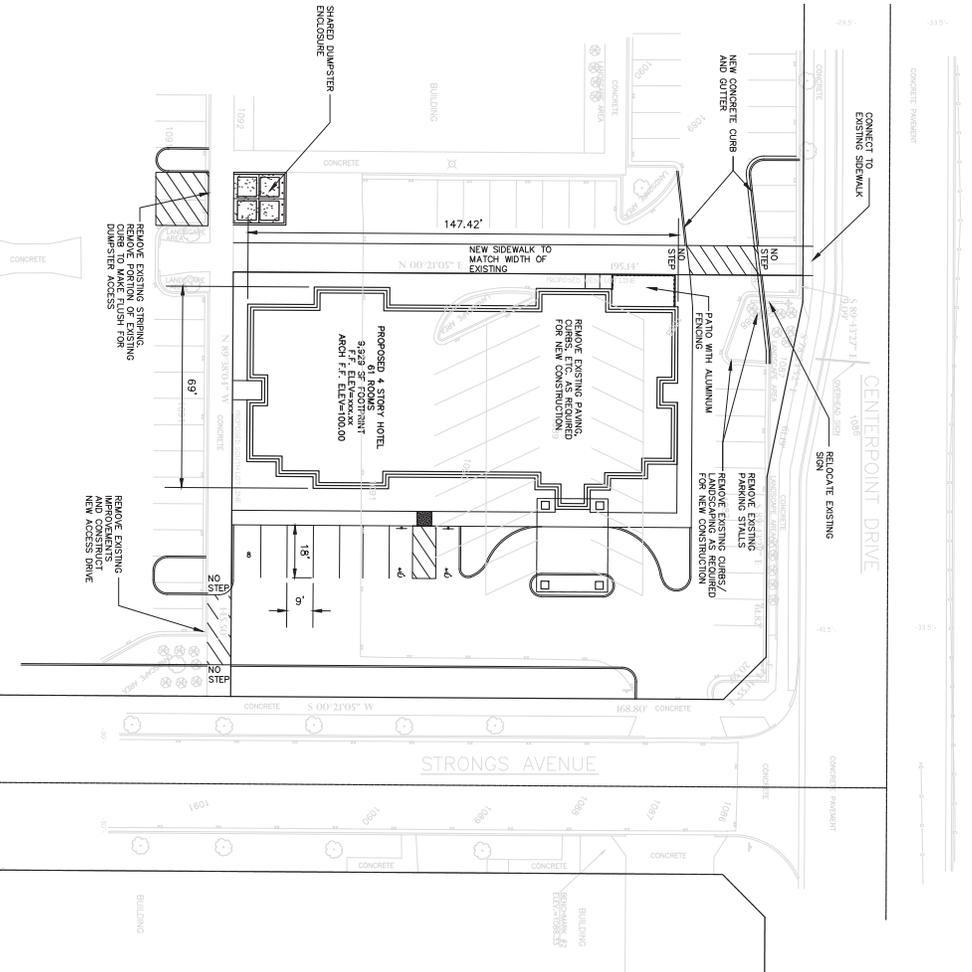
By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
	6-6-16		

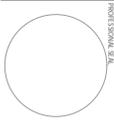
<b>SITE INFORMATION:</b>	
PROPERTY AREA:	AREA = 27,027 S.F. (0.62 ACRES)
EXISTING ZONING:	B-3
PROPOSED ZONING:	B-3
PROPOSED USE:	HOTEL
SETBACKS:	FRONT = 0' REAR = 0'
PROPOSED BUILDING HEIGHT:	51'-0", FOUR STORIES
PARKING PROVIDED:	8 SPACES (2 H.C. ACCESSIBLE), OTHERS PROVIDED OFFSITE
BUILDING COVERAGE:	37% INCLUDING CANOPY

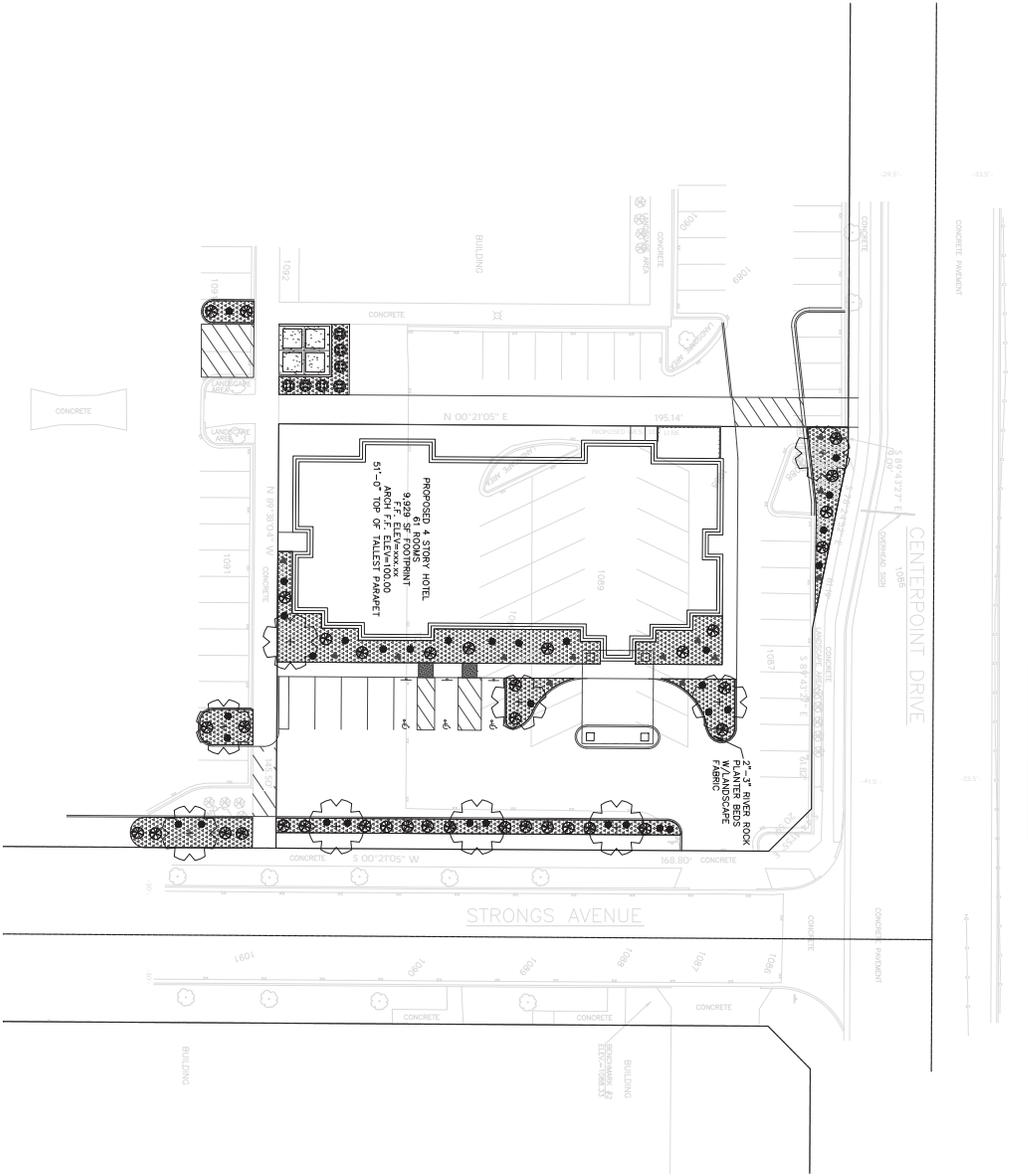


VICINITY MAP



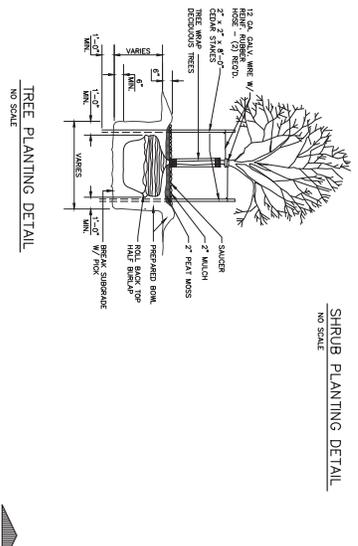
CONCEPT PLAN  
SCALE: 1"=20'-0"

 <p><b>EXCEL</b> ARCHITECTS • ENGINEERS • PLANNERS</p> <p>100 COMMERCE DRIVE STEVENS POINT, WI 54481 PHONE: (920) 756-9800 WWW.EXCELTEAM.COM</p>	 <p><b>Brimark Builders, LLC</b></p>	<p>PROPOSED HOTEL FOR: <b>COBBLESTONE HOTEL &amp; SUITES</b> CENTERPOINT DR &amp; STRONGS AVE • STEVENS POINT, WI</p>	<p>PROFESSIONAL SEAL</p> 	<p><b>NOT FOR CONSTRUCTION</b></p>
<p>DATE: JANUARY 22, 2016                  DATE: MAY 19, 2016                  DATE: MAY 19, 2016                  DATE: JUNE 6, 2016</p>				
<p>PROJECT NUMBER: 1601590</p>				
<p>SHEET NUMBER: <b>C1.2</b></p>				



LANDSCAPING NOTES					
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	MATURE SIZE	QUANTITY
①	Audubon Rose Wreath	ROSAUDUBON	2'-2" (10" TALL MIN)	4'-2" (4')	3
②	Anthony Water Stone	ESCHOLZIA SEROTINA	1.5 GAL (10" TALL MIN)	2'-4"	32
③	Arundo donax	Arundo donax 'arundo'	3 GAL (10" TALL MIN)	3'-5"	37
④	Vernix Arborvitae	Vernix Arborvitae	3 GAL (10" TALL MIN)	4'-6"	7
⑤	Doronic Stella de Oro	DORONICUS	1 GAL (10")	12"-24"	13

LANDSCAPING CALCULATIONS	
ZONE	PLANTS PROVIDED
PARKING	ONE SHRUB PER 15 SF OF LANDSCAPED AREA 150 SF x 1.5 = SHRUBS REQUIRED = 22 SHRUBS 120 SF x 1.5 = SHRUBS REQUIRED = 18 SHRUBS 120 SF / 50 = 2.4 SHRUBS 21 SHRUBS



PROPOSED HOTEL FOR:  
**COBBLESTONE HOTEL & SUITES**  
 CENTERPOINT DR & STRONGS AVE • STEVENS POINT, WI

**EXCEL**  
 LANDSCAPE ARCHITECTURE & PLANNING  
 10000 WISCONSIN DR STE 100  
 WISCONSIN DOWNTOWN

**BriMark**  
 BUILDERS, LLC

PROFESSIONAL SEAL

PROJECT NUMBER 1601590

DATE: JUNE 8, 2016

NOT FOR CONSTRUCTION

LANDSCAPE PLAN SHEET NUMBER: **C1.5**



# RADIUS WALL SCONCE



The RWSC Series radius wall sconce offers maximum versatility with multiple light sources and finishes. The available combination of uplight/downlight washes the building facade while the radial soft form housing will complement similar architectural design elements.

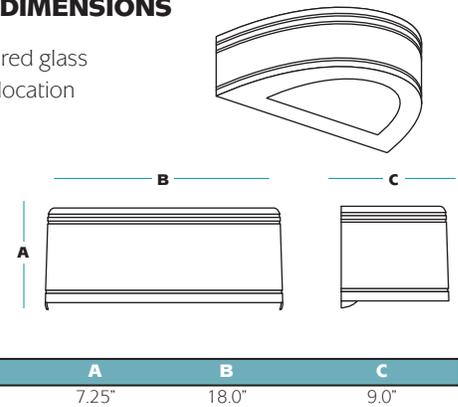


## Fixture Specifications

### FEATURES

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaire finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses suitable for use in wet location
- Ships complete with lamp
- Downlight only, full cut-off Dark Sky compliant

### DIMENSIONS



### ORDERING INFORMATION

#### SAMPLE CATALOG NUMBER

**RWSC** | **XXXXXX** | **XX** | **XX** | **XXX**  
 Series | Wattage/Source | Distribution | Finish | Voltage

SERIES	
<b>RWSC</b>	Radius Wall Sconce
WATTAGE/SOURCE <sup>1</sup>	
<b>70PMH</b>	70 watt pulse start metal halide
<b>100PMH</b>	100 watt pulse start metal halide
<b>150PMH</b>	150 watt pulse start metal halide
<b>70HPS</b>	70 watt high pressure sodium
<b>100HPS</b>	100 watt high pressure sodium
<b>150HPS</b>	150 watt high pressure sodium
<b>26QF</b>	26 watt quad tube fluorescent
<b>32TRF</b>	32 watt triple tube fluorescent
<b>42TRF</b>	42 watt triple tube fluorescent
<b>226QF</b>	2x26 watt quad tube fluorescent
<b>232TRF</b>	2x32 watt triple tube fluorescent
<b>242TRF</b>	2x42 watt triple tube fluorescent
<b>30LED</b>	19 watt LED <sup>3</sup>
<b>50LED</b>	44 watt LED

DISTRIBUTION	
<b>UD</b>	Up/Downlight
<b>WD</b>	Downlight only (wide distribution)- standard
<b>FT</b>	Downlight only (forward throw)

FINISH <sup>2</sup>	
<b>DB</b>	Dark Bronze
<b>BK</b>	Black
<b>WH</b>	White
<b>PS</b>	Platinum Silver

<sup>1</sup> Consult factory for other lamp wattage and sources.  
<sup>2</sup> Other finishes available. Consult factory.  
<sup>3</sup> Available with WD distribution only.  
<sup>4</sup> Not for use with LED source.

VOLTAGE	
<b>120</b>	120 volt
<b>277</b>	277 volt
<b>MT</b>	Multi-Tap

OPTIONS	
<b>QSL</b>	Quartz re-strike with lamp
<b>F</b>	Single fusing
<b>FF</b>	Double fusing
<b>EM12<sup>4</sup></b>	1 MR11/MR16 two pin socket for 12v power (by others) 35w max. 35w MR11 lamp included.
<b>2EM12<sup>4</sup></b>	2 MR11/MR16 two pin sockets for 12v power (by others) 35w max. 35w MR11 lamp included.

ACCESSORIES	
<b>EM</b>	Remote emergency ballast (fluorescent only)



A HUBBELL LIGHTING, INC. COMPANY

Performance Designed Lighting Products

[www.securitylighting.com](http://www.securitylighting.com)

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WEST ELEVATION  
 SCALE 1/8" = 1'-0"



NORTH ELEVATION  
 SCALE 1/8" = 1'-0"



NORTHWEST PERSPECTIVE

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 1000 W. STATE ST. SUITE 400  
 MILWAUKEE, WI 53233  
 WWW.EXCELARCHITECTS.COM

**COLLABORATION**  
**BrMark Builders, LLC**

PROPOSED HOTEL FOR:  
**COBBLESTONE HOTEL & SUITES**  
 CENTERPOINT DR. & STRONGS AVE. • STEVENS POINT, WI

PROFESSIONAL SEAL

**PROJECT INFORMATION**  
 PROJECT NUMBER 1601580

**REVISION/DRAWING DATES**

MAY 20 2016
MAY 23 2016
JUNE 6 2016

**NOT FOR CONSTRUCTION**

**SHEET INFORMATION**

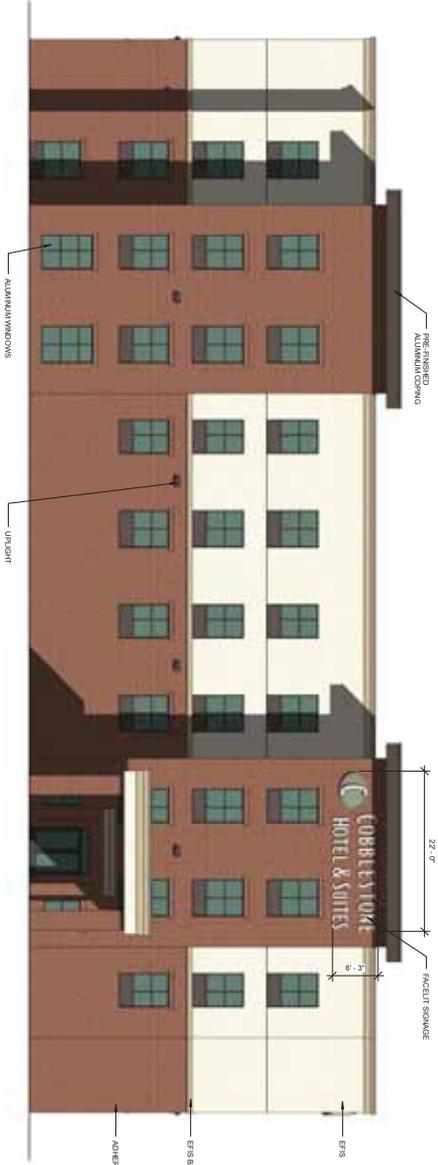
COLOR ELEVATIONS

SHEET NUMBER

**A2.00C**

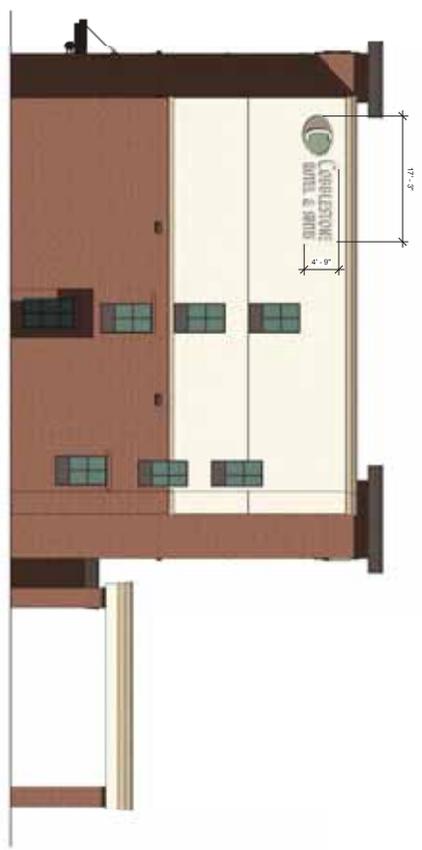
DATE: 6/22/16

- TO WALL HIGH  
131'-0"
- TO WALL LOW  
147'-0"
- TRUSS BRG  
149'-0.34"
- FOURTH FLOOR  
132'-6.93"
- THIRD FLOOR  
122'-4.11"
- SECOND FLOOR  
112'-2.83"
- FIRST FLOOR  
100'-0"



EAST ELEVATION  
SCALE: 1/8" = 1'-0"

- TO WALL HIGH  
141'-0"
- TO WALL LOW  
124'-0"
- TRUSS BRG  
146'-0.30"
- FOURTH FLOOR  
132'-6.36"
- THIRD FLOOR  
122'-4.12"
- SECOND FLOOR  
112'-2.56"
- FIRST FLOOR  
100'-0"



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTHEAST PERSPECTIVE

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 1000 WISCONSIN DRIVE  
 FARMER CITY, WISCONSIN 54601  
 WWW.EXCELCORP.COM

**COLLABORATION**  
**BrMark Builders, LLC**

PROPOSED HOTEL FOR:  
**COBBLESTONE HOTEL & SUITES**  
 CENTERPOINT DR. & STRONGS AVE. • STEVENS POINT, WI

PROFESSIONAL SEAL

PROJECT INFORMATION  
 PROJECT NUMBER: 1601580

REVISION/DRAWING DATES  
 MAY 20, 2016  
 MAY 23, 2016  
 JUNE 6, 2016

**NOT FOR CONSTRUCTION**

SHEET INFORMATION  
 COLORED ELEVATIONS  
 SHEET NUMBER  
**A2.1C**  
 DATE: 6/22/2016

# Administrative Staff Report

**Windows, Doors, Trim, Railings & Masonry  
Design Review Request  
1324 Centerpoint Drive  
June 29, 2016**



Department of Community Development  
1515 Strong's Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"> <li>Gregg Gokey, representing Penguin Properties</li> </ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"> <li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li> <li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li> </ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"> <li>2408-32-2031-37</li> </ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"> <li>"B-3" Central Business District</li> </ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"> <li>District 1 – Doxtator</li> </ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"> <li>Actual Frontage: 201 feet</li> <li>Effective Depth: 49 feet</li> <li>Square Footage: 9,849</li> <li>Acreage: 0.226</li> </ul> <p><b>Structure Information:</b></p> <ul style="list-style-type: none"> <li>Year Built: addition 1977 (39 years)</li> <li>Number of Stories: 2</li> </ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"> <li>Commercial</li> </ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"> <li>Chapter 22</li> <li>Downtown Design Guidelines</li> </ul>	<p><b>Request</b></p> <p>Request Gregg Gokey, representing Penguin Properties, for design review approval to perform exterior facade improvements which includes the installation of windows, doors, vinyl trim, railings, and masonry repairs, at <b>1324 Centerpoint Drive (Parcel ID 2408-32-2031-37)</b>.</p> <p><b>Attachment(s)</b></p> <ol style="list-style-type: none"> <li>Application</li> <li>Renderings</li> <li>Photos</li> </ol> <p><b>City Official Design Review / Historic District</b></p> <ol style="list-style-type: none"> <li>Downtown Design Review District</li> </ol> <p><b>Staff Recommendation</b></p> <p>Based on the findings below, staff would recommend approval of the design review request for 1324 Centerpoint Drive with the following conditions:</p> <ol style="list-style-type: none"> <li>Windows matching the original in materials, design, and size shall be installed.</li> <li>Decorative moulding and trim around doors shall remain.</li> <li>The applicant shall provide further details regarding window and doors to be approve by the chairperson and designated agent.</li> <li>Windows shall be constructed of wood and be permitted to be wrapped in aluminum cladding.</li> <li>Window and door trim shall match in color and material.</li> <li>Type N mortar shall be used as defined by the American Society for Testing and Materials (ASTM), matching in color and texture to the original mortar</li> <li>Brick matching the original in size and color shall be installed if necessary under the walkways.</li> <li>The existing railings shall be repaired and restored however if they are beyond repair, a new metal railing matching the original design shall be installed which shall be reviewed and approved by the chairperson and designated agent.</li> <li>Wood siding shall be installed around the window boxes matching the original.</li> <li>Building codes and zoning ordinance requirements shall be met</li> <li>All applicable building permits shall be obtained.</li> </ol>
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## Vicinity Map



## Scope of Work

Gregg Gokey, representing Penguin Properties, is requesting design review approval to replace windows, and wrap window boxes, as well as, install new doors and replace handrails and perform masonry work to entrances. The building was built in 1977 and falls within the boundary of the Design Review District, therefore requiring review by the Commission. Note that currently the building is vacant.



### Proposed Improvements

#### Windows

1. Replace 16 windows with full picture windows
2. Wrap windows in autumn red
3. Install cedar vinyl siding around window boxes

#### Doors

1. Replace two entrances with glass doors and security locks
2. The rear two door entrance will be replaced with a glass panel and single glass door

## Entrance/Exit Ramps &amp; Walkway

1. Perform tuckpointing and masonry work to brick entrance ramps and walkways
2. Remove and replace wrought iron hand rails

## CHAPTER 22: HISTORIC PRESERVATION

## Division 5.02 Regulation of Construction, Reconstruction, Alteration, and Demolition

*No owner or person in charge of a historic structure or historic site, or property located within a historic district shall reconstruct, alter, or demolish all or any part of the exterior of such property or construct any improvement upon such designated property or properties or cause or permit any such work to be performed upon such property or demolish such property unless approval has been granted by the commission.*

*Upon the filing of any request for a design review certificate with the commission, the commission shall review the request in accordance with the design guidelines. If the commission determines that the application for a design review certificate and the proposed changes are consistent with the design guidelines, it shall issue the design review certificate. Upon the issuance of such certificate, any other required permits shall be obtained.*

## Guidelines of Review (numbers refer to guidelines standards)

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**\*\*\*Other standards within the design guidelines not specifically mentioned below have been reviewed and are met or not applicable pertaining to the proposed building improvement activities.**

### WINDOW & DOOR GUIDELINES (Sec. 3.4)

1. Retain and preserve historic windows and doors. All elements associated with historic windows and doors should be retained and preserved including frames, trim, sashes, muntins, glass, lintels, shutters, and hardware.

**Analysis:** The applicant is proposing to replace 16 windows with full glass picture windows. Other window details are unknown. The windows and window boxes are deteriorated and accelerating the process without a treatment method. In addition, existing doors are proposed to be replaced with glass doors. The rear (west façade) entrance door is proposed to be changed from a double to a single door configuration.

**Findings:** If replacement of a window or door unit is necessary, the new unit should be replaced to match the original in size, scale, material, detail, pane and/or panel configurations. A picture window design and glass door design would not match the existing. Note however that given the young age of the building and its location, it may be considered a non-contributing building within the district, and therefore not significantly impact the integrity of the district. Staff would recommend that windows matching the original in materials, design and size be installed.



2. Windows and doors should be repaired when necessary by splicing or patching only the deteriorated section to match the original.

**Analysis:** New windows and doors are proposed. Specifics regarding doors and windows may be provided at the meeting. Leaking windows are contributing to window box rot and deterioration. The proposed business operating within the building has security standards which are jeopardized with the maintenance of double doors.

**Findings:** Given the request to improve security and reduce deterioration, new windows and doors seem appropriate. Staff would recommend that the decorative moulding and trim around doors remain.

3. If replacement of a window or door unit is necessary, the new unit should be replaced to match the original in size, scale, material, detail, pane and/or panel configurations. Exterior aluminum clad is permitted to be installed on new wooden windows.

**Analysis:** New windows and doors are proposed. The applicant has indicated that the windows will be wrapped in autumn red. In addition, the window boxes will have cedar vinyl siding. Specifics regarding the doors and windows have not been provided, however a glass door exists on the east building façade which will be mirrored as proposed.

**Findings:** Vinyl siding and windows are typically not recommended. Staff would recommend that the applicant provide further details regarding window and doors to be approved by the chairperson and designated agent. In addition, windows shall be constructed of wood and be permitted to be wrapped in aluminum cladding. Staff would also recommend window and door trim to match in color and material.

#### ENGINEERED OF SYNTHETIC SIDING (Sec. 3.1.1)

4. Original walls should be properly maintained and repaired when necessary. If an original wall feature must be replaced due to excessive deterioration or damage, the new feature should match the original in size, profile, material, and texture.

**Analysis:** Given the deteriorated state of the painted wood window boxes, cedar vinyl siding is proposed to be installed around the windows and in place of the wood.

**Findings:** As stated previously, this building is unique given its construction date of 1977 and design, which may define it as a non-contributing building within the district. Typically vinyl is not recommended as a façade material regardless of the building in the district. The proposed cedar vinyl siding may improve the building aesthetics, however, may create a false historic appearance. Therefore, staff would recommend wood siding matching the existing be installed around the window boxes.

#### WALKWAY GUIDELINES (Sec. 4.3.3)

1. Historic walkways and sidewalk materials should be retained and preserved whenever possible. New sidewalks in historic district should be composed of either concrete, brick, stone or other masonry material such as pavers.

**Analysis:** The walkways are constructed of masonry and concrete. A wrought iron railing exists on the walkways. Maintenance of the walkways is needed to prevent further deterioration.

**Findings:** Staff recommends type N mortar as defined by the American Society for Testing and Materials (ASTM), matching in color and texture to the original mortar be used. In addition, brick matching the original in size and color shall be used if installation is required. The wrought iron railings should be repaired and restored if feasible. If they are beyond repair, staff recommends a new metal railing matching the original design be installed.

**REAR ELEVATIONS (Sec. 3.9)**

- 2. Historic structures that are adjacent to rear parking areas or public rights-of-ways are encouraged to utilize rear entrances allowing public and private access. If the rear entrance is public, awnings and other exterior features should be more subdued than those of the primary elevation.

**Analysis:** A rear entrance to the second floor currently exists in the middle of the building, however, the applicant is requesting to move the entrance to the east window. Removal and installation of brick below the windows would also occur. In order to access the doorway, a staircase is also proposed. Specifics on the staircase have not yet been provided, but may be provided at the meeting.

**Findings:** The rear entrance is fitting on the rear elevation as it uses an existing opening, and will maintain the window header and brickwork. Furthermore, the aesthetics should be improved with the relocation of the door, as the windows will be more visible and the entire rear façade in more order and neatness. The applicant has indicated that the proposed stairwell will resemble that of a recently approved project at 1140 Main Street, see photo. Staff would recommend the stairwell be constructed of metal and be black in color.

After review, staff would recommend approving the request with the conditions outlined on page one of the staff report. The proposed building improvement activities are primarily occurring on a rear, non-character defining elevation accessible via an alley-way. No major historic defining elements are in jeopardy of being lost with the improvements. Furthermore, the improvements will assist in allowing the property to have a mix of uses and be fully utilized.

**Photos**

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East Façade – Main Entrance & Parking Lot



South Façade



Entrance Ramp and Railing



East Façade – Existing Glass Door



Window & Window Box



West Façade – Rear Entrance



West Entrance – Double Doors



East Façade – Ramp and Entrances



# HISTORIC PRESERVATION/ DESIGN REVIEW COMMISSION

City of Stevens Point  
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481  
(715) 346-1567  
(715) 346-1498  
[communitydevelopment@stevenspoint.com](mailto:communitydevelopment@stevenspoint.com)  
<http://stevenspoint.com>

## APPLICATION FOR DESIGN REVIEW

### ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted	6/15/16	Assigned Case Manager	Kyle Korman
Associated Permits or Applications (if any)				Pre-Application Conference Date	-
Decision		Date Reviewed		Staff Signature	
Notes:					

### APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? <input type="checkbox"/> )	
Applicant Name	Penguin Properties	Contact Name	
Address	1324 Centerpoint Dr	Address	
City, State, Zip	Stevens Point, WI, 54481	City, State, Zip	
Telephone	715-869-3440	Telephone	
Fax	702-553-2783	Fax	
Email	management@penguinproperties.net	Email	

### OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? <input type="checkbox"/> )		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

### PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
1324 Centerpoint Dr	281-24-0832203137	
Legal Description of Subject Property		
Lot 1 CSM#2831-10-89 BNG PRT BLK 3 Smith Briggs & Phillips ADD S32 T24 R8 776433-LC		
Area of Subject Property (Acres/Sq Ft)		Area of Building or Structure (Sq Ft)
0.23 Acres		2635.71 Sq Ft

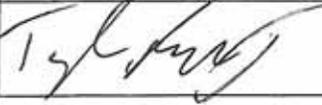
Current Zoning District(s)		Current Historic District(s) - Local, State, National	
B-2 CBD		City of Stevens Point, WI, USA	
Designated Future Land Use Category	Current Use of Property	Proposed Use of Property	
Commercial	Commercial	Commercial - Office	
Briefly describe the proposed building, structure construction, reconstruction or exterior alteration. Please also provide rationale for the design review request, along with the time schedule (if any) for the project. (Use additional pages if necessary)			
See Attachment 1			
Will the proposed work detrimentally change, destroy or adversely affect any exterior architectural features of the improvement upon which said work is to be done? Explain your answer.			
No, all changes are repairs to the existing architectural features in which there will be no detrimental changes.			
Does the proposed work match and harmonize with the external appearance of adjacent neighboring improvements. Explain your answer.			
Yes, the building was built was 1983, any improvements are modern and current and not outside the norm from concrete buildings like the Post Office, the Stevens Point Housing Authority, and the next door residences. Improvements are targeting water penetration issues with materials based on safety issues. There will be no archetectural changes that change the look, feel, or era of the building.			
Does the proposed work conform to the objectives of the historic preservation plan for said district (if any)? Explain your answer.			
We are not aware of any impact as the building was constructed in 1983.			
Does the proposed work conform with the architectural design guidelines with emphasis on contextual issues including compatibility of size, volume proportions, rhythm, materials, detailing, colors, and expressiveness? (Historic Design Guidelines can be found at <a href="http://www.stevenspoint.com">www.stevenspoint.com</a> ) Explain your answer.			
There are no architectural changes. Finishings and colors to mitigate, update, and improve the building and structure, and to address the water penetration ongoing issues where updated and modern materials need to be applied to mitigate and maintain property value from further degradation.			

**EXHIBITS**

Letter to District Alderperson ( <a href="http://www.stevenspoint.com/Directory">www.stevenspoint.com/Directory</a> )	<input type="checkbox"/>	Additional Exhibits If Any (List):
Photographs of Building or Structure	<input checked="" type="checkbox"/>	
Renderings or Elevations	<input type="checkbox"/>	
Site Plan (for additions, and new construction)	<input type="checkbox"/>	

**CERTIFICATION AND SIGNATURE**

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
	6/15/2014		6/15/2014

## Attachment 1

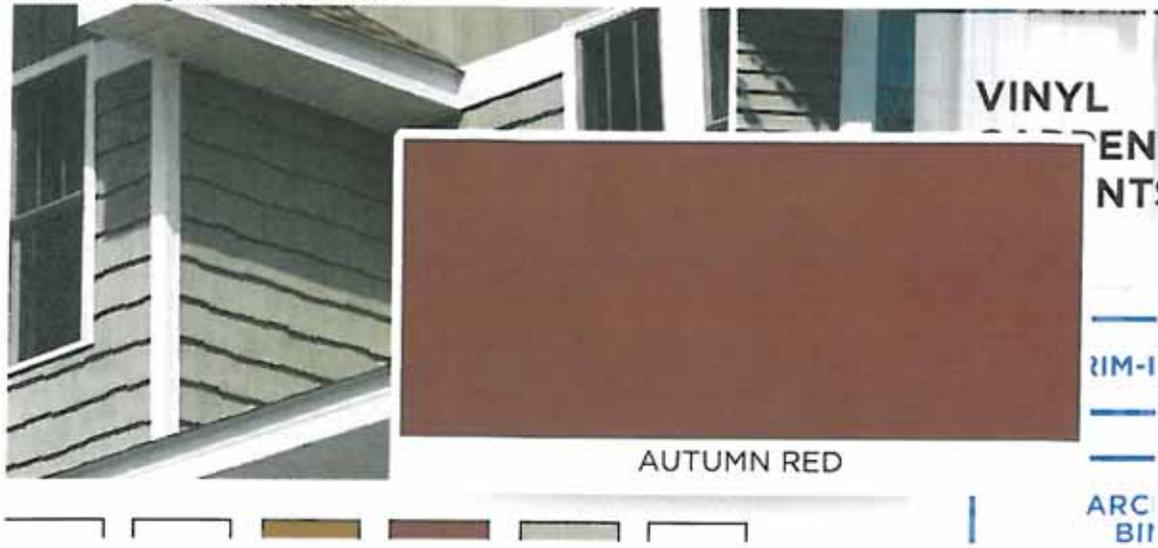
1324 Centerpoint Dr.  
Stevens Point WI 54481

Windows: All 16 windows on the building need to be replaced. We intend to replace them with a full picture window. This mainly needs to be done as the current windows are contributing to the water damage we are finding. We will need to replace the large amount of rot around each of these windows. We will wrap the outside then in autumn red and the entire window box underneath the copper in Cedar vinyl. This vinyl is high end and looks like wood. The reasoning behind this is that it is the best material to mitigate the excessive water damage that continues to plague to this day. This will match the existing roofing colors as well as tie into the brick work. We will only be using the vinyl on the window boxes.

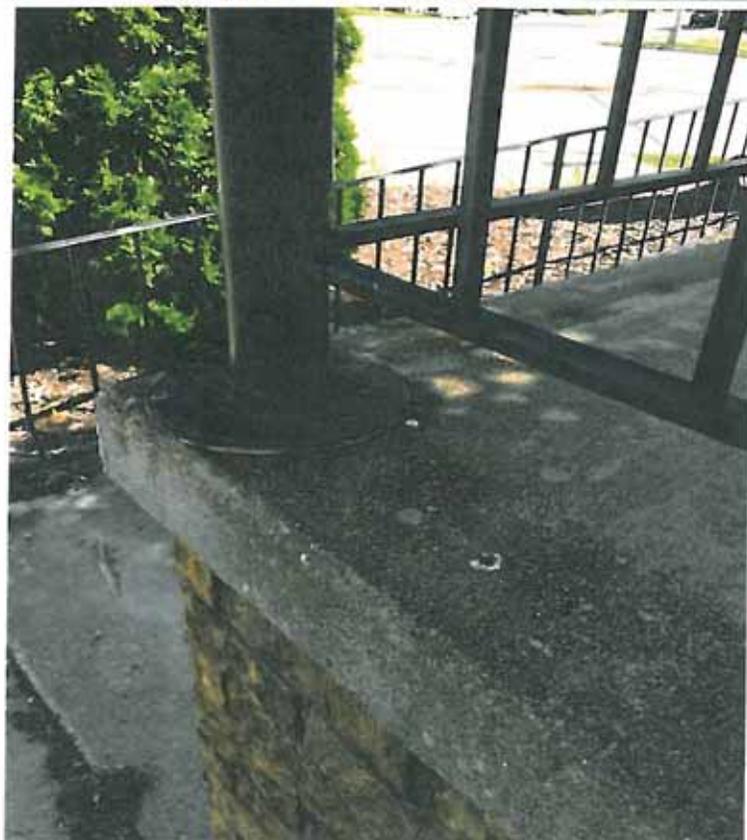




Material being used and the color.

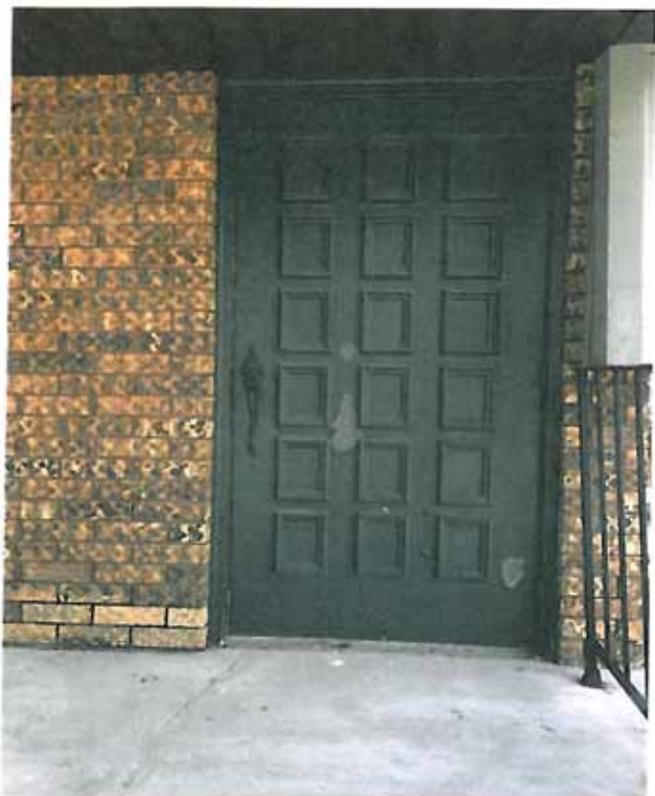


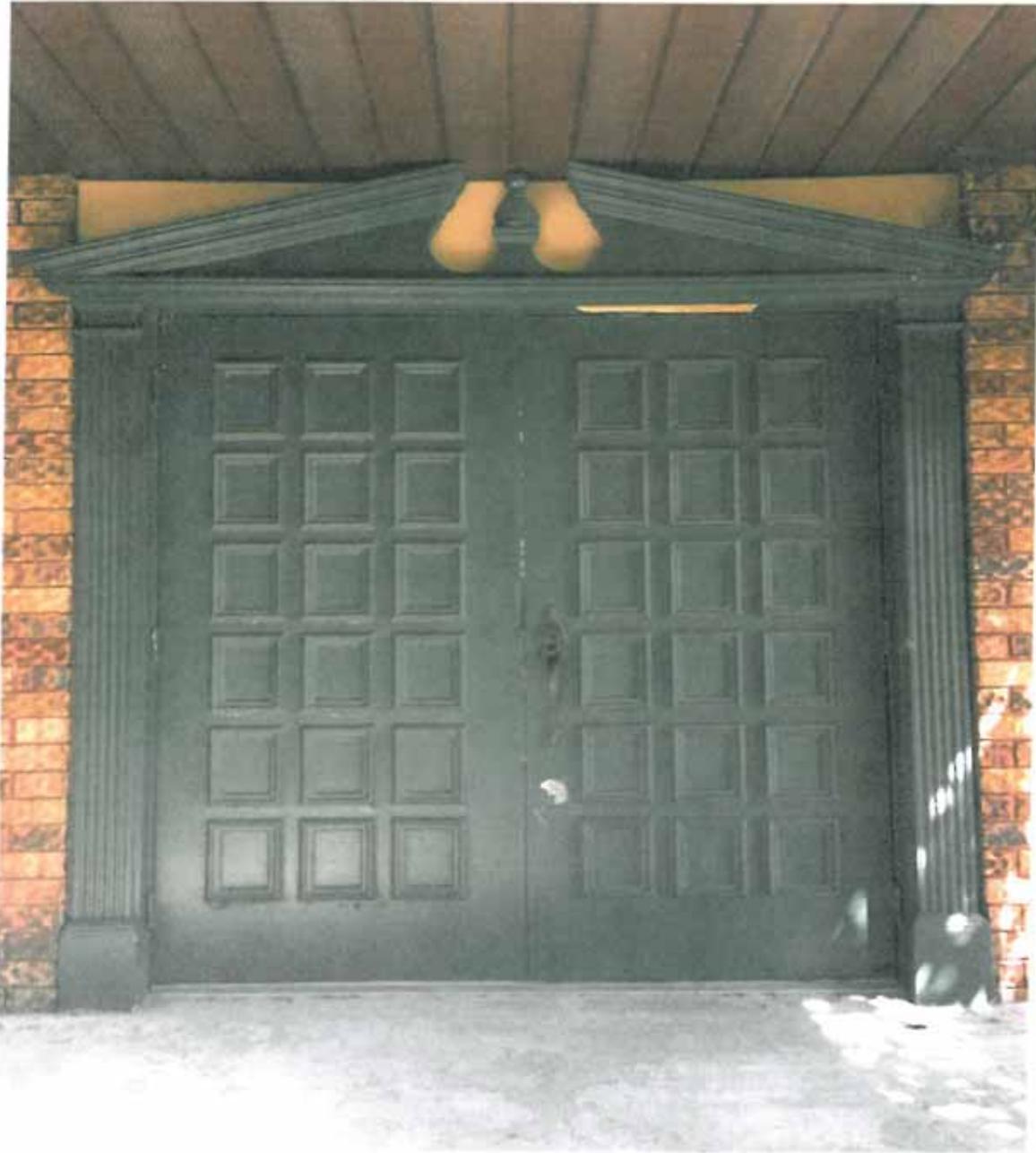
Access Ramps and Stairways: These access points to the building have been neglected and are in desperate need of repair. We are currently trying to contact a mason to do this work, however the extreme cost of fixing or replacing the wrought iron hand rails may require us to look for a less expensive metal choice.





Doors on the front and back of the buildings 1st floor: As these doors were custom made with the building and do not meet our security needs, we are going to replace them with Glass doors with security locks. We can leave the scroll work archway if that means they are more look and feel compliant. However, as previously mentioned with the security concerns we have, we need to turn the back door from a double door to a single. This improvement takes into account that the current door is a double door with one fixed in place, what we propose is that we replace the two doors with a single glass door with side glass side panels. This will leave the overall look the same while addressing the need for security improvements. The bottom level of the building already has glass doors thus making all doors consistent. .





This constitutes the work we feel needs to be done. Although we understand that this building is not a historic building, we also understand that it needs to maintain the look and feel of the area. Please let us know your thoughts and guidance on our project.