

 REVISED AGENDA
CITY PLAN COMMISSION

Monday, October 3, 2011 – 6:00 PM
Lincoln Center – 1519 Water Street, Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

1. Approval of the report of the September 6, 2011 Plan Commission meeting.
2. Discussion and possible action on an annexation request from Josh and Amber Garbe, **324 Indiana Avenue North**, for the purposes of annexing a portion of **Outlot 1 of Certified Survey Map #9165-38-95** from the Town of Hull to the City of Stevens Point.
3. Discussion and possible action on establishing a permanent zoning classification for the property listed above (Garbe annexation request).
4. Discussion and possible action on a request from Kwik Trip, for a conditional use permit to operate a carwash at **1600 Maria Avenue/1601 Academy Avenue and 1616 Maria Avenue. Parcel ID 2408-29-1300-17 and 2408-29-1300-20.**
5. Discussion and possible action on a request from the Robin Engum, for an exterior building review of the proposed 24 bedroom apartment complex on the property located just **east of 117, 125, and 133 Second Street North. Parcel ID 2408-29-2400-11. – Plans to be delivered prior to meeting.**
6. Discussion and possible action on a request from Ministry, Saint Michael’s Hospital, for a site plan review and a modification of the landscape requirements for the reconstruction of an existing parking lot at **2501 Main Street, 2601 Main Street, 1310 Chase Street, 1318 Chase Street, 1317 Cross Street, and Clark Street. Parcel IDs 2408-33-2025-04, 2408-33-2025-02, 2408-33-2025-14, 2408-33-2025-13, 2408-33-2025-05, and 2408-33-2025-15.**
-  ~~7. Discussion and possible action on an annexation request from Peter and Kerry Klismith, 473 Shadow Oak Lane, Stevens Point, WI and Justin and Christina Callan, 1605 Infinity Lane, Stevens Point, WI, for the purposes of annexing the property located at the **northwest quadrant of Casimir Road and Interstate Highway 39** from the Town of Hull to the City of Stevens Point. **PETITION #1.**~~
-  ~~8. Discussion and possible action on an annexation request from Peter and Kerry Klismith, 473 Shadow Oak Lane, Stevens Point, WI and Justin and Christina Callan, 1605 Infinity Lane, Stevens Point, WI, for the purposes of annexing the property located at the **northwest quadrant of Casimir Road and Interstate Highway 39** from the Town of Hull to the City of Stevens Point. **PETITION #2.**~~
-  ~~9. Discussion and possible action on an annexation request from Peter and Kerry Klismith, 473 Shadow Oak Lane, Stevens Point, WI and Justin and Christina Callan, 1605 Infinity Lane, Stevens Point, WI, for the purposes of annexing the property located at the **northwest quadrant of Casimir Road and Interstate Highway 39** from the Town of Hull to the City of Stevens Point. **PETITION #3.**~~
-  ~~10. Discussion and possible action on establishing a permanent zoning classification for the property listed above (Klismith/Callan annexation request).~~
7. Discussion and possible action on a Letter of Map Revision (LOMR) for Flood Insurance Rate Maps (FIRM) 55097C0220D and 55097C0331D to amend the base flood elevations for the City along the Big Plover River.

Any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715)346-1569, TDD# 346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

8. Discussion and possible action on the transferring of property located at 1017 Third Street from the City of Stevens Point to the Community Development Authority of the City of Stevens Point. **Parcel ID 2408-32-2003-01.**
9. Discussion and possible action on updating Chapter 23 (Zoning) of the Revised Municipal Code of the City of Stevens Point.
10. Adjourn.

REPORT OF CITY PLAN COMMISSION

Tuesday, September 6, 2011 – 6:00 PM

PRESENT: Chairperson Mayor Halverson, Commissioner Anna Haines, Commissioner Shari Laskowski, Commissioner Jack Curtis, and Commissioner Maurice Rice.

ALSO PRESENT: Community Development Director Michael Ostrowski, Alderperson M. Molski, Public Works Director Joel Lemke, Matthew Brown, Rob Konkol, Jo Seiser, Tom Brown, Juanita Keller, Art Oksuita, Ross Rettler, Dave Davis, Bonnie Foley, Robin Engum, Dave Eiden, Perry Piotrowski, Ryan Jeidy, Gerard Blakeslee, and Megan Christie.

INDEX:

1. Approval of the report of the August 1, 2011 Plan Commission meeting.
2. Discussion and possible action on a request from NewPage, for an amendment to their conditional use permit for the purposes of constructing a courtyard dock addition to their building at **707 Arlington Place**, using insulated metal panels as opposed to brick. **Parcel ID 2408-32-3002-55.**
3. Discussion and possible action on a request from Partner's Pub & Grill, for a conditional use permit to operate a tavern with a temporary premise extension for the outdoor area for an event on October 8, 2011 at **2600 Stanley Street. Parcel ID 2408-28-3024-38.**
4. (a) Discussion and possible action on a request from the Stevens Point Brewery, to rezone the properties located at **2725 Water Street** and **the adjacent northwest parcel**, from "R-2" Single Family Residence District to "M-1" Light Industrial District. **Parcel IDs 2308-05-1018-11 and 2308-05-1018-10.**
or
(b) Discussion and possible action on a request from the Stevens Point Brewery, to rezone the property located at **2725 Water Street**, from "R-2" Single Family Residence District to "R-5" Multiple Family II Residence District, and **the adjacent northwest parcel**, from "R-2" Single Family Residence District to "M-1" Light Industrial District. **Parcel IDs 2308-05-1018-11 and 2308-05-1018-10.**
5. Discussion and possible action on a request from the Stevens Point Brewery, for a conditional use permit for the purposes of constructing a parking lot at the properties located at **2725 Water Street** and **the adjacent northwest parcel. Parcel IDs 2308-05-1018-11 and 2308-05-1018-10.**
6. Discussion and possible action on a request from Scaffidi Motors, for a site and landscape plan review for a parking lot, and a modification from the landscaping standards, for the properties located at **201 Green Avenue North, the adjacent northwest parcel, and the adjacent southeast parcel. Parcel IDs 2408-27-2100-01, 2408-27-2200-06 and 2408-27-2401-01.**
7. Discussion and possible action on a request from Don Scaffidi, to rezone the property located at **245 Green Ave North** from "R-3" Single and Two Family Residence District to "B-4" Commercial District. **Parcel ID 2408-27-2401-04.**
8. Discussion and possible action on a request from the City of Stevens Point to vacate and discontinue a portion of Green Avenue North (formerly known as C.T.H. YY and Green Avenue), between Green Avenue North, as relocated, and Interstate 39.
9. Discussion and possible action on a request from the City of Stevens Point to vacate and discontinue Mitchell Avenue, between Green Avenue North and Interstate 39.

10. Discussion and possible action on a request from the Robin Engum, for a conditional use permit for the purposes of constructing a 24 bedroom apartment complex on the property located just **east of 117, 125, and 133 Second Street North. Parcel ID 2408-29-2400-11.**
 11. Discussion and possible action on a request from the City of Stevens Point, for a conditional use permit for the purposes of constructing a brine shed at **100 Sixth Avenue. Parcel ID 2408-30-4008-07.**
 12. Discussion and possible action on a request from Larry Stuczynski, Gerry Stuczynski, and Ronald Feltz for the City of Stevens Point to vacate and discontinue an unnamed street between Lot 23 of Eagle Pointe Subdivision, also known as 2100 Falcons Cove, and Lot 22 of Eagle Pointe Subdivision, also known as 2116 Falcons Cove.
 13. Discussion and possible action on amending the City of Stevens Point Zoning Ordinance to allow temporary expansions to conditional uses without amending the conditional use permit (creation of Section 23.01(16)(b)(4)).
 14. Discussion and possible action on having the Plan Commission serve as the Zoning Rewrite Committee.
 15. Discussion on parking lot variances.
 16. Adjourn.
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1. Approval of the report of the August 1, 2011 Plan Commission meeting.

Motion by Commissioner Laskowski to approve the report; seconded by Commissioner Haines. Motion carried 4-0 (Commissioner Curtis was not present at time of vote).

2. Discussion and possible action on a request from NewPage, for an amendment to their conditional use permit for the purposes of constructing a courtyard dock addition to their building at **707 Arlington Place**, using insulated metal panels as opposed to brick. **Parcel ID 2408-32-3002-55.**

Director Ostrowski reported that this request was presented at the last Plan Commission meeting on August 1, 2011 and was approved; however, NewPage is now requesting an amendment to their conditional use permit to allow insulated metal panels, as opposed to the required brick for the main exterior material. Given that the location of the dock will be between two portions of the existing building, and that it will not be that viewable from the street, staff does not feel that the change from brick to insulated panels will be detrimental to the area. Therefore, staff would recommend approval of the request.

Motion by Commissioner Rice to approve; seconded by Commissioner Haines. Motion carried 4-0 (Commissioner Curtis was not present at time of vote).

3. Discussion and possible action on a request from Partner's Pub & Grill, for a conditional use permit to operate a tavern with a temporary premise extension for the outdoor area for an event on October 8, 2011 at **2600 Stanley Street. Parcel ID 2408-28-3024-38.**

Director Ostrowski reported Partner's Pub & Grill is requesting a one day temporary expansion of the premises on Saturday, October 8, 2011 for its 34th annual Homecoming celebration. The event will be from 11:00 AM - 7:30 PM with a DJ from 12:00 PM – 6:30 PM. The owners have indicated that there will be ten security personnel, plus two uniformed Stevens Point police officers. The area will be fenced and only two ingress/egress points will be present, and staffed by security.

The current conditional use permit for Partner's Pub has the following conditions:

- Approval to include the porch, volleyball court, and picnic table areas located 8 ft. from south fence and 8ft. from east fence as shown on the attached map,
- No amplified music allowed on the deck or the volleyball courts,
- Security be present outdoors at all times that alcoholic beverages are either served or consumed outdoors in permitted area,
- Conditional Use Approval to expire June 30, 2012.

The Plan Commission would need to modify the original conditional use permit for this one day event, to allow for the extension of premise to the property lines, as well as to allow for amplified music. Staff recommends the approval of the conditional use permit, subject to the following conditions:

- The Public Protection Committee must review this event request.
- Adequate security shall monitor the event, including two uniformed Stevens Point police officers.
- DJ can operate with amplified music at a reasonable volume during the hours of 12:00 PM – 6:30 PM for the event.
- The event is concluded by 7:30 PM.
- The premise area must be fenced and there shall be adequate security monitoring each entrance for the event.
- Any garbage or trash shall be removed from the property within 24 hours following the event.
- No cups or garbage shall leave the site. If it does, Partner's Pub shall be responsible for cleanup of these materials.
- Fencing must be removed within 48 hours following the event.
- All alcohol must be consumed within the legally defined premise area.
- Refuse containers shall be screened from neighboring properties with a trash enclosure or the containers shall be neatly placed behind the building.
- Previous conditions still remain.
- The conditional use permit shall expire June 30, 2012.

Commissioner Laskowski asked if the event would have the same conditions as in the past. Director Ostrowski stated for the most part, but there are some additional requirements.

Motion by Commissioner Haines to approve; seconded by Commissioner Laskowski. Motion carried 3-0, with Commissioner Rice abstaining (Commissioner Curtis not present at time of vote).

4. (a) Discussion and possible action on a request from the Stevens Point Brewery, to rezone the properties located at **2725 Water Street** and **the adjacent northwest parcel**, from "R-2" Single Family Residence District to "M-1" Light Industrial District. **Parcel IDs 2308-05-1018-11 and 2308-05-1018-10.**

or

(b) Discussion and possible action on a request from the Stevens Point Brewery, to rezone the property located at **2725 Water Street**, from "R-2" Single Family Residence District to "R-5" Multiple Family II Residence District, and **the adjacent northwest parcel**, from "R-2" Single Family Residence District to "M-1" Light Industrial District. **Parcel IDs 2308-05-1018-11 and 2308-05-1018-10.**

Director Ostrowski reported the Stevens Point Brewery recently purchased the vacant dwelling located at 2725 Water Street. They wish to rezone this parcel and the adjacent northwest parcel from "R-2" Single Family Residence District to "M-1" Light Industrial District. Their intent is to use the northwest parcel for potential expansion area, and to use the parcel at 2725 Water Street for a parking lot for customer parking. However, if there is concern regarding the rezoning of the property located at 2725 Water Street to M-1, they would be willing to rezone the property to a less intense zoning classification, such as R-5. In the R-5 zoning district, parking lots serving any commercial use and not exceeding 50 spaces, can be allowed as a conditional use. Director Ostrowski stated staff recommends approving the rezoning of Parcel 2308-05-1018-10 from R-2 to M-1 and Parcel 2308-05-1018-11 from R-2 to R-5.

Commissioner Haines asked why not zone both parcels to R-5, and would an M-1 zoning meet the setbacks. Director Ostrowski stated that the Stevens Point Brewery plans to expand in the future, and this would put the zoning consistent with the future plans. In regards to M-1 zoning, any expansion would require them to meet the required setbacks, as well as amend their conditional use permit. Art Oksuita, Stevens Point Brewery - Stated that the M-1 zoning gives options for future expansion. In regards to the property located at 2725, the brewery had an opportunity to purchase the property after a foreclosure.

Commissioner Haines questioned the current parking situation. Mr. Oksuita stated that, currently, the parking is across the street from the brewery, but the new lot would be the primary lot, with the old lot being the overflow area.

Director Ostrowski indicated that while this request may not be exactly what the Future Land Use Map indicates for these specific parcels, he does feel that this change is consistent with the overall Comprehensive Plan goals and objectives. The reason being is that we are helping to reduce land use conflicts between an industrial use and a low intensity residential use. By introducing a buffer zone with the parking lot, it helps mitigate some of the negative impacts that typically come from industrial uses, and ultimately furthers the goals and objectives our Comprehensive Plan.

Mayor Halverson stated he likes the idea of insulating from the residential area and the industrial area with the parking lot.

Motion by Commissioner Laskowski to approve rezoning the property located at 2725 Water Street from "R-2" Single Family Residence District to "R-5" Multiple Family II Residence District, and the adjacent northwest parcel from "R-2" Single Family Residence District to "M-1" Light Industrial District; seconded by Commissioner Haines. Motion carried 3-0, with Commissioner Rice abstaining (Commissioner Curtis was not present at time of vote).

5. Discussion and possible action on a request from the Stevens Point Brewery, for a conditional use permit for the purposes of constructing a parking lot at the properties located at **2725 Water Street** and **the adjacent northwest parcel**. **Parcel IDs 2308-05-1018-11 and 2308-05-1018-10.**

Director Ostrowski presented the proposed plan for the parking lot, indicating that the parking lot would have a 5 foot tall vinyl fence around three sides, and appropriate screening in the front yard setback area. Director Ostrowski stated that staff would recommend approval of the conditional use, subject to the following condition(s):

- The parking lot shall be screened from view using the following standards:
 - An opaque decorative type fence, at least five feet in height, shall be installed along the property lines where the parking lot borders any residentially used properties.
 - The entire parking lot, including the northwest side, shall be screened with landscaping, using the landscape standards outlined in section 23.01(14)(f) of the City's Zoning Ordinance, with appropriate adjustments to be made by staff. The landscaping shall not cause any vision obstructions, and it shall be maintained in perpetuity.
 - Where the parking lot is not screened with an opaque decorative type fence at least five feet in height, it shall have solid, non-deciduous type shrubs at least three feet in height.
- A lighting plan shall be submitted for review and approval by staff.
 - The maximum permitted illumination in footcandles shall not exceed 0.05 footcandles measured at the property line.
 - The light fixture shall be a cut-off type luminaire with a maximum height of 12 feet if within 50 feet of a residential property line or 15 feet if a greater distance.
- The parking lot must be setback at least 10 feet from the street yard property line and 10 feet from the side and rear property lines.
- Any mechanical equipment or refuse storage shall be screened from view from neighboring properties.
- Snow shall be removed from the site, or stored in a location that it will not negatively impact adjacent properties.
- A stormwater plan for the parking lot must be approved by the Department or Public Works.
- Either curb or wheel stops shall be installed for each space.
- Construction shall be completed within one year after final approval.

Commissioner Haines asked what is meant by the stormwater plan, and is the fenced placed right on the property line. Director Ostrowski stated that a stormwater plan would be needed for them to show where the water runoff would go. This could include a pond on the north, overflow into the storm sewer, or both. The fence would be up to the property line, with green area inside the fence.

Dave Eiden, 1008 Matilda Street - Asked for clarification on the 10 foot setbacks, the fence location, and information on the lighting. Director Ostrowski indicated that the fence would be up to the property line and there would be 10 feet of green area between the property line and the parking lot. In regards to lighting, a plan would need to be supplied for staff to review and approve based on the conditions indicated earlier.

Juanita Keller, 309 Fifth Avenue - Asked if there is only one entry and exit for the lot and is it on Water Street. Mayor Halverson indicated that there is only one ingress/egress point and that will be on Water Street.

Motion by Commissioner Laskowski to approve; seconded by Commissioner Haines. Motion carried 3-0, with Commissioner Rice abstaining (Commissioner Curtis was not present at time of vote).

6. Discussion and possible action on a request from Scaffidi Motors, for a site and landscape plan review for a parking lot, and a modification from the landscaping standards, for the properties located at **201 Green Avenue North, the adjacent northwest parcel, and the adjacent southeast parcel. Parcel IDs 2408-27-2100-01, 2408-27-2200-06 and 2408-27-2401-01.**

Director Ostrowski stated Scaffidi is looking to pave a majority of the existing parking area for its truck center. This request is a little more unique than a standard parking lot request, as the some of the area in which they are paving serves as the sales area for the vehicles. The parking lot will be constructed with 4.5" asphalt pavement, except for an area approximately 20,000 square feet that will be used as a staging area. This area will be gravel/recycled asphalt. An item that will be discussed later on the agenda will include the vacation of the right-of-way of the former Green Avenue. When Green Avenue North was redirected, a portion of the right-of-way was never vacated to the abutting property owners. Given this, the City has introduced a resolution to vacate this portion of the former Green Avenue to the abutting property owners. In addition, Scaffidi will need to acquire the left over right-of-way from the Wisconsin Department of Transportation, or enter into an agreement with them for the use of this property. Staff does recommend approval with the following conditions:

- Stormwater requirements must be met as per Public Works department standards.
- Scaffidi must receive approval to construct this parking lot over the areas in which they do not currently own. This may include a lease agreement, receiving ownership of the property, or similar.
- Curb or wheel stops will need to be installed where the parking lot abuts landscaping strips.

Motion by Commissioner Haines to approve the landscaping plan as presented; seconded by Commissioner Laskowski. Motion carried 3-0, with Commissioner Rice abstaining (Commissioner Curtis was not present at time of vote).

7. Discussion and possible action on a request from Don Scaffidi, to rezone the property located at **245 Green Ave North** from "R-3" Single and Two Family Residence District to "B-4" Commercial District. **Parcel ID 2408-27-2401-04.**

Director Ostrowski reported Scaffidi is looking to rezone the above described property from R-3 to B-4. The reason for the request is that Scaffidi may plan to expand their operations into this area if business warrants the expansion. At this time, the current use of the property is a single family home, and it fronts on Green Avenue North. Staff recommends approving the rezoning as it will create a contiguous zoning district north of Mitchell Drive, and it will help alleviate immediately adjacent incompatible uses. Director Ostrowski stated that as noted with the brewery item, our Future Land Use Map of the Comprehensive Plan indicates that this specific parcel should be a residential use. However, this is another instance where by rezoning this parcel, we are reducing a land use conflict between this parcel and the other surrounding commercial properties, which is a major element of our Comprehensive Plan. Mitchell Drive or the vacated Mitchell Drive would now serve as the dividing point between the commercial and residential parcels.

Commissioner Haines asked what is allowed in B-4 Commercial District. Director Ostrowski stated a variety of commercial uses, including many that you see on Church Street and Division Street.

Mayor Halverson stated that more than likely there will be an expansion of the current services to this lot.

Commissioner Haines asked what is to the east of the lot. Director Ostrowski stated that this is the only lot not owned by Scaffidi. It is a greeting card factory.

Bonnie Faley, 237 Green Avenue North - Asked if there would be a barrier between the commercial area and the residential area, as she has concerns with the trucks on this drive. Director Ostrowski stated that the intent is to vacate Mitchell Drive for private driveway for Scaffidi, and depending on the use in that area, we may be able to require screening, but that is not certain. Mayor Halverson stated that if they decided to expand their parking lot to this area, we could then require screening.

Gerard Blakeslee, 4016 Kennedy Drive – Is concerned about the noise pollution, the trucks running all night, and the compressors used for repairs. Mayor Halverson stated that if possible, screening may occur, but it would be difficult to screen the noise.

Commissioner Haines asked why the B-4 Commercial District is the intended zoning, and is there an eminent project as this point. Director Ostrowski stated that a rezoning to B-4 would create a contiguous zoning district for this area. At this point, there is no eminent project for this property.

Commissioner Laskowski asked if Scaffidi was already using Mitchell Drive. Director Ostrowski indicated that they do use Mitchell Drive to access their properties.

Commissioner Haines asked if Mitchell Drive would be completely removed, including any private drive. Mayor Halverson stated that a complete removal is going to be difficult because of the need to maintain access to the other business (Biga) on Mitchell Drive.

Director Ostrowski stated that Scaffidi has indicated that there is a plan to build a storage shed on the east end of Mitchell Drive.

Commissioner Haines asked if it is possible to make the private driveway smaller. Mayor Halverson stated that the driveway would still be the same width as Mitchell Drive.

Director Ostrowski stated that the typical process when vacating a street is for the land to revert from the property in which it was taken from. In this case, all of the property was taken from the north, so that is where it would revert back. Director Ostrowski indicated that a cross access easement agreement would need to be made with the Scaffidi's and the Biga's, so the vacation does not create and landlocked parcels.

Commissioner Haines asked what is the B-1 district. Mayor Halverson stated that B-1 is the neighborhood business district. This is typically used for smaller commercial areas that are on corners in residential areas.

Thomas Brown, 317 Sixth Avenue - Asked if Scaffidi's operation is a permitted or conditional use. Director Ostrowski indicated that it is permitted.

Mr. Brown suggested a short sound wall be included as a condition. Mr. Brown also asked for clarification that if the property is rezoned to B-4, then most of the uses would not come back to the Plan Commission. However, if the property is rezoned to R-5, then many of the uses would have to be brought back to the Plan Commission. Mayor Halverson indicated that we cannot put conditions on a rezoning. In regards to the zoning classification, most commercial uses would not come back to the Plan Commission to review in the B-4 district. If rezoned to R-5, the current use of the Scaffidi Truck Center would not be allowed on this property.

Motion by Commissioner Laskowski to approve; seconded by Mayor Halverson. Motion carried 3-1, with Commissioner Haines voting in the negative, and Commissioner Rice abstaining.

8. Discussion and possible action on a request from the City of Stevens Point to vacate and discontinue a portion of Green Avenue North (formerly known as C.T.H. YY and Green Avenue), between Green Avenue North, as relocated, and Interstate 39.

Director Ostrowski reported when Green Avenue North was redirected, a portion of the former right-of-way was never vacated to the adjacent land owners. The right-of-way goes through Scaffidi's Truck Center parking lot, as well as a portion of the Courtesy Motors building. The portion of area to be vacated is between Green Avenue North, as relocated, and Interstate 39. On August 15, 2011, the Common Council introduced a resolution, ordering to vacate this right-of-way to the abutting property owners. Given that the public way is no longer active, it serves no foreseeable benefit for the access of other potential lots, nor will it create any landlocked parcels. With that said, staff would recommend approval of this vacation.

Motion by Commissioner Haines to approve; seconded by Commissioner Laskowski. Motion carried 4-0, with Commissioner Rice abstaining.

9. Discussion and possible action on a request from the City of Stevens Point to vacate and discontinue Mitchell Avenue, between Green Avenue North and Interstate 39.

Director Ostrowski reported Mitchell Drive between Green Avenue North and Interstate 39 was given to the City of Stevens Point from the Town of Hull. The road serves as access to properties owned by Scaffidi, as well as one other property owned by Richard and Steven Biga (4026 Mitchell Drive). The road is a dead-end road, and provides little if any benefit to the City of Stevens Point. All of the dwellings on the south part of Mitchell Drive have access onto Kennedy Drive. Since the property for the public way was taken from the northern properties on Mitchell Drive, the vacated public way would return to those property owners. All but one parcel is owned by Scaffidi. Scaffidi has indicated that they would work out an easement agreement between the property owned by Richard and Steven Biga, so that they would not be landlocked. The property owners would then be responsible for the maintenance of this drive. Given that the road serves little to no benefit to the public, other than to Scaffidi and Richard and Steven Biga, staff would recommend approval to vacate the public way, with the condition that an agreement is made between Scaffidi and the Biga's allowing access between the properties.

Juanita Keller, 309 Fifth Avenue - Asked if the street is vacated, can the property owners move the buildings further back. Mayor Halverson explained that not as long as the drive serves as the primary access to other properties.

Commissioner Haines asked how the parcel would work, would this be a separate parcel, and would it be assigned a zone. Mayor Halverson stated that it would have to be certified survey map, and be recorded. Director Ostrowski explained that the zoning would revert to the zoning of the adjacent property, which would be B-4 Commercial.

Motion by Commissioner Laskowski to approve the vacation of Mitchell Drive, with the condition that an agreement is made between the property owners to allow access; seconded by Commissioner Haines. Motion carried 4-0, with Commissioner Rice abstaining.

10. Discussion and possible action on a request from the Robin Engum, for a conditional use permit for the purposes of constructing a 24 bedroom apartment complex on the property located just **east of 117, 125, and 133 Second Street North. Parcel ID 2408-29-2400-11.**

Director Ostrowski reported that Mr. Engum is proposing to construct a 24-bedroom (7 or 8 units) apartment complex on a vacant parcel north of Maria Drive and east of Second Street North. Mr. Engum constructed the apartment complex located at 925 Maria, which this proposal will be similar in design. Currently, this property does not have street access, however, access will be provided by a private drive off of Maria. In addition, the property is directly adjacent to the future mapped Third Street. Staff would recommend approval with the following conditions:

- A new architectural/elevation plan shall be resubmitted for approval by the Plan Commission. The new plan shall include architectural features that help distinguish the building, such as increased masonry, stoops, varying roof lines, jogs in the building, increased doors and windows, shutters, etc.
- The natural vegetation areas within the minimum setback area for the rear yard and the south property line shall be maintained in their natural state, with adjustments to be made for proper maintenance.
- Additional landscaping to match the proposed landscaping, shall be installed along the western bend in the driveway and along the foundation, between the walkways on the west side of the building.
- The maximum number of units shall be 8, with a maximum number of 24 beds.
- The dumpster enclosure shall be constructed out of finished wood or masonry materials (except for unfinished concrete block).
- Street trees shall be installed along Third Street at the owner's expense when Third Street is installed. This requirement shall be done within one year after completion of Third Street.
- Walkways (from the building to Third Street sidewalk) shall be installed to connect with the sidewalks on Third Street, at the owner's expense when Third Street is installed. This requirement shall be done within one year after completion of Third Street.
- The ingress/egress to the property shall be relocated to Third Street within one year after Third Street is installed.
- An easement agreement with the land owner(s) to the south will need to be recorded to allow access to the site.
- A lighting plan shall be submitted for review and approval by staff. The lighting shall not negatively impact the adjacent properties.
- Snow shall be removed from the site, or stored in a location that it will not negatively impact adjacent properties.

- A stormwater plan will need to be reviewed and approved by the Department of Public Works.
- Curb or wheel stops will need to be installed for the parking lot.
- A minimum of a six foot high solid vinyl fence shall be installed along the north (starting at the rear of the building) and west property lines.

Mayor Halverson stated that ultimately it makes sense, but the building does need more architectural design.

Commissioner Haines asked what is the ratio for bedrooms and units. Robin Engum, 3038 Campsite Drive – Stated that the complex would have 8, 3-bedroom units, or 7 units with a different layout for the units.

Mr. Engum indicated that he will be submitting a new architectural plan with staggering on the proposed Third Street side.

Mr. Engum asked when Third Street would be installed. Mayor Halverson stated that a discussion would have to include the owners of the convent property, and the willingness to sell and develop that area. There is no definite timeframe at this point.

Megan Christie, 120 Second Street North – Expressed concern for possible access from Second Street North and the possible drainage issue onto surrounding properties. In addition, Ms. Christie has concerns of reducing the parking for the Final Score tavern because of the drive. This may cause additional street parking. Director Ostrowski stated that if the access comes from Second Street North, then there would need to be a rezoning of that lot to a Multi-Family zoning, which he would not be in favor of doing. In regards to the draining, they will need to keep the drainage on their property and not have it run onto adjacent properties.

Ryan Jeidy, 141 Second Street North - Has concerns with the lot being in his back yard, and issues with noise, screening of headlights, as well as water issues. Mr. Jeidy already has water pooling in his yard until June. He is concerned that the water issue will worsen, as well as a decrease in his property value. He does not feel the landscaping is an adequate screening.

Juanita Keller, 309 Fifth Avenue - Asked how far would Third Street would extend, and why not build single family homes in this area instead of more apartments. Mayor Halverson stated that the construction of Third Street really depends on the development of the area. At this time, the City is attempting to find ways to financially assist in the conversion of single-family homes that have been turned into multi-family, back to single-family.

Director Ostrowski stated the complex would be required to have 24 parking stalls.

Mr. Engum stated that he is concerned for the safety of parking and the water runoff, and the plans address both issues as well as to take out the vacant building and clean up the area.

Director Ostrowski stated that with noise concerns, there is the requirement of the multi-family dwelling license, and it can be revoked if there are repeated violations. In addition, it would be within the Plan Commission's right to require fencing around the property.

Motion by Mayor Halverson to approve the request with the conditions recommended by staff, as well as the condition to install a 6 foot high vinyl solid vinyl fence adjacent to the north and west property lines, starting at the rear of the building; seconded by Commissioner Haines.

Commissioner Haines asked for clarification of the easement, and would it run with the deed. Director Ostrowski stated that it would be recorded with the Register of Deeds.

Motion carried 3-0, with Commissioners Rice and Laskowski abstaining.

11. Discussion and possible action on a request from the City of Stevens Point, for a conditional use permit for the purposes of constructing a brine shed at **100 Sixth Avenue. Parcel ID 2408-30-4008-07.**

Director Ostrowski stated that the City of Stevens Point is looking to construct a brine storage shed on the Municipal Garage property. A brine mixture will be used to control snow and ice in the winter. The storage shed is approximately 40' x 40', and will be constructed using metal panels. Staff would recommend approval with the following conditions:

- Lighting for the proposed building shall not negatively impact the adjacent properties.
- The existing vegetation shall remain on Sixth Avenue and Old Wausau Road to provide proper screening for the adjacent properties, except for proper maintenance.
- The project shall be completed within one year after final approval.

Commissioner Haines asked if the brine shed would be a replacement of the salt shed, and how would the salt be moved on site. Mayor Halverson stated no, the new building would be a brine mixing shed that would mix the salt with water and be loaded onto the plows that would then spray and activate the salt prior to spreading. With this brine mix, there would be a reduction in the amount of overall salt used. Director Lemke explained that the purpose of the brine is to pre-wet, which makes operations more effective. The salt would be transported on site from the salt shed to the brine shed.

Commissioner Rice asked if this would be used in winter only, and could the building be placed right up to the salt shed. Director Lemke stated that the brine would be used for ice and snow, it could also be used for deicing and pre-wetting prior to a storm, but this is a winter time only usage. Due to travel paths, and drainage paths, the brine shed could not be placed next to the salt shed.

Commissioner Rice stated that he does not believe a municipal facility such as this fits into the conservancy zoning, and that being next to the river and the park does not seem to be the best location for this facility. Mayor Halverson stated that the municipal garage was built in the 1960's. Unless the community can purchase and construct a new facility in a new location, we have no choice but to work with what we have and to insulate the situation through the conditional use process.

Commissioner Rice brought to the attention of the Commission, a letter (see Attachment A) from John & Penny Quirk of 325 Front Street, expressing concerns with the facility. Commissioner Rice asked where Front Street is in relation to this facility. Mayor Halverson stated that they live directly east of the facility, and their front yard faces the facility.

Director Lemke stated that the area at the driveway opening of the salt shed has been the topic of recent discussions, and states that there are plans to green up the area with additional landscaping.

Commissioner Haines questioned the drainage issues and where does the run-off go. Mayor Halverson indicated that drainage goes into the stormwater system, and then into the Wisconsin River.

Tom Brown, 317 6th Avenue – is against locating the brine shed to this location. He feels that the Plan Commission should place significant conditions on this facility, as well as the entire complex. His concerns relate to the exterior lighting for the complex, as well as the inadequate screening. Please see attachment B for the entire statement.

Jo Seiser, 317 6th Avenue – Does not believe the addition of this facility is consistent with the Park Plan for the City. The long range plan for this area is to remove the industrial uses from Bukolt Park. Portage County is doing brine at their facilities station and the City should look at using that facility. She believes this is a waste and is against the project.

Juanita Keller, 309 Fifth Avenue –Indicated that she moved to this area because of the parks and greenspace. She commends the department for using brine, as it is more effective and environmentally effective, but believes this facility should be located next to the new transit facility. She feels the area is a blight on the parks.

Commissioner Rice said he agrees that this location is not ideal, but it is a necessary decision. He believes that a new site for these types of functions should be explored. He believes that the lighting issue is a concern and that there should be shields placed on these fixtures to minimize the impacts.

Commissioner Haines agrees with Commissioner Rice that this is not a good idea to have municipal services in a conservancy area. She feels that there should be a more detailed lighting, landscaping, and stormwater plan. She indicated that she is very uncomfortable with the draining into the river.

Motion by Commissioner Rice to approve the conditional use permit for the construction of the brine shed with the following conditions:

- **Lighting for the site shall be shielded and directed away from adjacent properties, so it does not negatively impact the adjacent properties.**
- **The existing vegetation shall remain on Sixth Avenue and Old Wausau Road to provide proper screening for the adjacent properties, except for proper maintenance.**
- **Additional landscaping shall be installed at the entrances to better screen the property.**
- **The project shall be completed within one year after final approval.**

seconded by Laskowski.

Commissioner Haines feels that additional plans should be submitted before moving forward.

Motion by Commissioner Haines to amend the motion to require a lighting, landscaping, and stormwater plan for the entire site prior to acting on the conditional use; seconded by Commissioner Laskowski.

Mayor Halverson indicated that to place significant conditions on the entire site for this type of request would be treating the City differently than a private request. To his knowledge, the Plan Commission has not required any private development to go to this extent.

Amended motion failed 1-4, with Commissioner Laskowski, Rice, Curtis, and Mayor Halverson voting in the negative.

Commissioner Rice said he would like to see the Plan Commission develop a plan for the removal of these facilities out of this area to a more proper location.

Original motion by Commissioner Rice carried 4-2, with Commissioner Haines and Mayor Halverson voting in the negative.

12. Discussion and possible action on a request from Larry Stuczynski, Gerry Stuczynski, and Ronald Feltz for the City of Stevens Point to vacate and discontinue an unnamed street between Lot 23 of Eagle Pointe Subdivision, also known as 2100 Falcons Cove, and Lot 22 of Eagle Pointe Subdivision, also known as 2116 Falcons Cove.

Director Ostrowski stated that back in March of this year, Mr. Stuczynski requested the vacation of an unnamed street in the Eagle Pointe Subdivision. At that time, the Plan Commission granted approval of this vacation, however, a resolution was never presented to the Common Council for final action. Since then, Mr. Stuczynski has sold the eastern most lot that abuts this street to Ronald Feltz. Since State Statutes require a petition to be signed by all abutting landowners, a new petition is needed.

Motion by Commissioner Haines to approve; seconded by Commissioner Laskowski. Motion carried 5-0.

13. Discussion and possible action on amending the City of Stevens Point Zoning Ordinance to allow temporary expansions to conditional uses without amending the conditional use permit (creation of Section 23.01(16)(b)(4)).

Director Ostrowski reported that our current Zoning Ordinance requires any change in a conditional use permit, including temporary expansions, for the owner to receive an amendment to the original conditional use permit. This requirement is creating a cumbersome process for businesses that want to have a temporary or special event for a very limited time. For example, if a tavern wants to expand the premises for a single day event, they must receive approval through the conditional use process (Plan Commission and Common Council), as well as through the premise expansion process (Public Protection Committee and Common Council). While staff feels that it is important for the Plan Commission and Common Council to review requests that will have a permanent impact on the surrounding properties, staff believes that this process is burdensome and can be addressed more efficiently. This would relate to the Partner's Pub request that we addressed earlier.

Therefore, staff would recommend the following change to our conditional use requirements in the Zoning Ordinance:

A temporary expansion a conditional use shall not constitute a change in the conditional use permit. Temporary expansions of the use shall not exceed two consecutive days, and not more than four temporary expansions in a twelve month calendar year. All temporary expansions shall meet the intent and purpose of the original conditional use permit, as well as the standards outlined in section 23.01(16)(c). Temporary expansions shall be approved by the Zoning Administrator, or designee. Denials by the Zoning Administrator, or designee, may be appealed to the Plan Commission.

This will allow requests to be reviewed more efficiently and increase opportunities for businesses within the City of Stevens Point. If however, valid complaints or concerns are generated from the temporary expansion, the Zoning Administrator would require the next future event to go through the standard conditional use permit process.

Motion by Commissioner Rice to approve; seconded by Commissioner Haines. Motion carried 5-0.

14. Discussion and possible action on having the Plan Commission serve as the Zoning Rewrite Committee.

Mayor Halverson stated when originally planning the zoning rewrite, it was deemed appropriate to have a subcommittee, but on further review, Director Ostrowski and himself feel it is the job of the Plan Commission to deal with zoning changes, and it is more appropriate to have the Commission make these changes.

Director Ostrowski agrees that the Plan Commission should serve as the committee. Given the amount of concerns that we have seen over the years with our zoning code, it may be best for the Plan Commission to serve as the actual body for the zoning code rewrite. The Plan Commission has firsthand knowledge of some of the concerns, and may be best suited for this task. In addition, they are the body who are most familiar with the goals of the comprehensive plan.

Commissioner Haines agreed and questioned how the meetings would operate. Mayor Halverson stated that we may have a regular agenda with zoning rewrite items at the end, or there may be separate meetings. Director Ostrowski indicated that it would really depend on the amount of agenda items per meeting.

Commissioner Rice agreed, stating it would be the right body to review the zoning, and would be an educational component to the Plan Commission as well.

Motion by Commissioner Rice to have the Plan Commission serve as the body to review the rewrite of the zoning ordinance; seconded by Commissioner Laskowski. Motion carried 5-0.

15. Discussion on parking lot variances.

Commissioner Rice indicated that he has received some concerns relating to variances for parking lots. He would like this to be clarified for the Commission and general public.

Director Ostrowski indicated that variances for parking lots should really not be called variances, they are more of a modification or special exception. These variances are not held to the same standard as variances relating to size or bulk standards, for example, setbacks. Under State law,

variances relating to size, bulk, or use standards are held to a much higher standard. Those variances must demonstrate that they meet a three part test: (1) a unnecessary hardship exists, (2) there are unique property limitations, and (3) no harm to public interests will occur with granting the variance. Parking lot variances are granted through local policymaking, which is more of a special exception. Ultimately, the Plan Commission is the approving body, as it is given that power through our Zoning Ordinance.

Mayor Halverson and Commissioner Haines inputted that in the future we should not call them variances to cause less confusion.

16. Adjourn.

Motion to adjourn. Meeting adjourned at 8:15 PM.



Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Michael Ostrowski
CC:
Date: 9/22/2011
Re: Garbe Annexation

In regards to annexation, there are basically six types:

- Annexation by Unanimous Approval
- Annexation by One-Half approval
- Annexation by Referendum
- Annexation by City or Village Initiated Referendum
- Annexation of Town Islands
- Annexation of Territory Owned by a City or Village

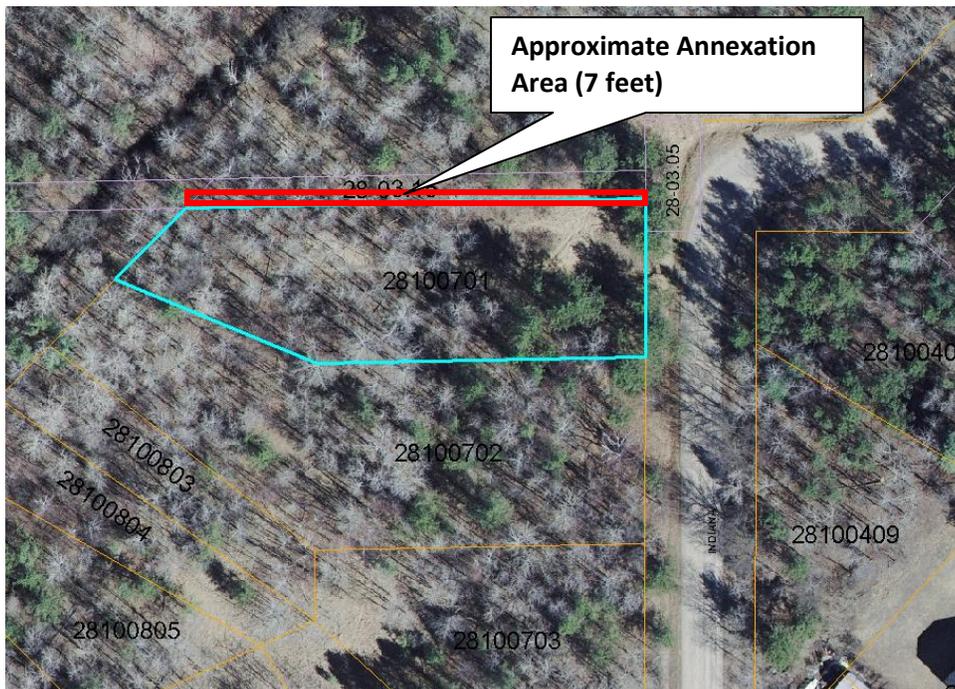
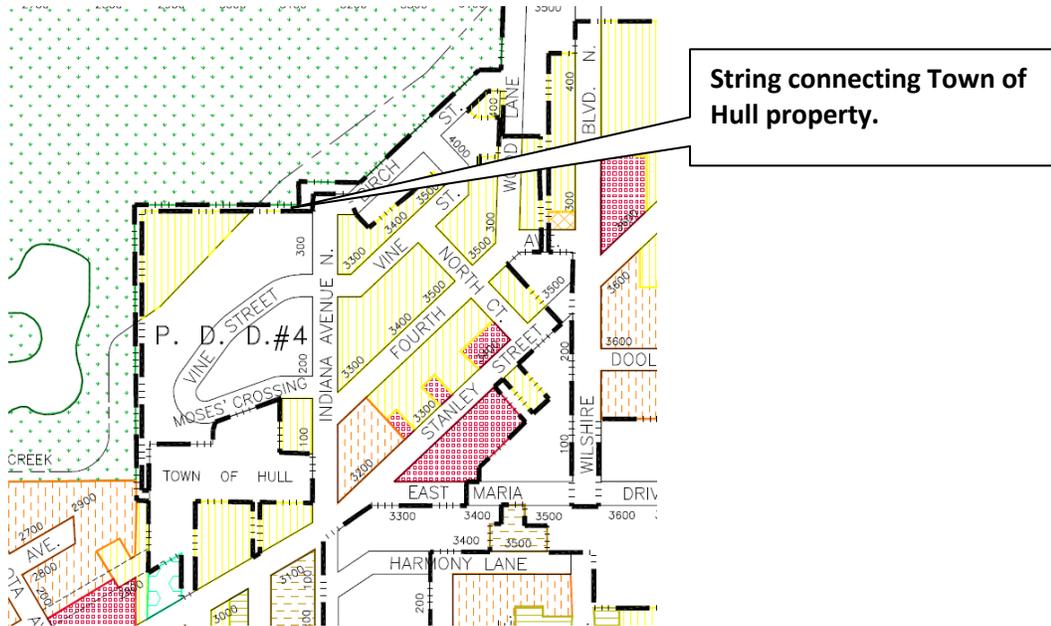
With this request, we are dealing with annexation by unanimous approval:

66.0217(2) Direct annexation by unanimous approval. *Except as provided in this subsection and sub. (14), and subject to ss. 66.0301 (6) (d) and 66.0307 (7), if a petition for direct annexation signed by all of the electors residing in the territory and the owners of all of the real property in the territory is filed with the city or village clerk, and with the town clerk of the town or towns in which the territory is located, together with a scale map and a legal description of the property to be annexed, an annexation ordinance for the annexation of the territory may be enacted by a two-thirds vote of the elected members of the governing body of the city or village without compliance with the notice requirements of sub. (4). In an annexation under this subsection, subject to sub. (6), the person filing the petition with the city or village clerk and the town clerk shall, within 5 days of the filing, mail a copy of the scale map and a legal description of the territory to be annexed to the department and the governing body shall review the advice of the department, if any, before enacting the annexation ordinance. No territory may be annexed by a city or village under this subsection unless the territory to be annexed is contiguous to the annexing city or village.*

In 2010, the Garbe's constructed a new home at 324 Indiana Avenue North, which is located within the City of Stevens Point. During the construction of this home approximately seven (7) feet of the home was built over the property line to the north. Since then, the Garbe's

have acquired the parcel to the north, and it is now under their ownership. They are now requesting to annex approximately 7 feet of the parcel into the City of Stevens Point from the Town of Hull so that their home is located entirely within the city limits of Stevens Point.

The outlet to the north is approximately fifteen (15) feet wide, and it serves as a string to connect Town of Hull property that is nearly completely surrounded by City of Stevens Point property. Please see image below:



Wis. Stats. require the Plan Commission to make a recommendation to the governing body on annexation requests. In addition, our Zoning Ordinance requires the following for the zoning of property:

All territory annexed to the City of Stevens Point shall automatically become a part of the "R-1" Low Density Residence District until definite boundaries and zoning districts are recommended by the City Plan Commission and adopted by the Common Council; provided, however, that the Common Council shall adopt definite boundaries and district regulations within 90 days from the date of the annexation. The Plan Commission may recommend definite zoning districts and boundaries to the City Council prior to or at the time the Council acts on a proposed annexation, and may adopt definite boundaries at the time of annexation provided the public notice procedure is followed.

Given that the annexation will correct the concern of having a structure across the municipal boundary line, staff would recommend approval of the annexation, and would recommend that the property be zoned ""PD" Planned Development District, which is the zoning classification of the owner's primary property and surrounding properties. The Future Land Use Map of the Comprehensive Plan indicates this area to be a residential use.

REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION

ADDRESS OF PROPERTY: 324 Indiana Ave N. Stevens Point, WI 54481

- Zoning Ordinance Change (\$90.00 fee required)
- Conditional Use Permit (\$90.00 fee required)
- Variance from Zoning Ordinance -Board of Appeals (\$90.00 fee required)
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).
Annexation a portion of Outlot 1 CSM 9165. This annexation
is being requested to bring into the city the portion of the
house that lies within the Town of Hull.

OWNER/APPLICANT:

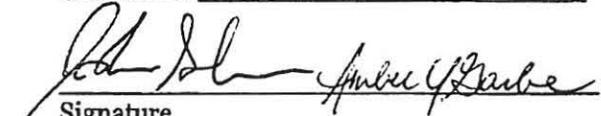
AGENT FOR OWNER/APPLICANT:

Name: Joshua and Amber Garbe
Address: 324 Indiana Ave N.
Stevens Point, WI 54481
(City, State, Zip Code)

Name: _____
Address: _____
(City, State, Zip Code)

Telephone: 715-340-6168
Cell Phone: same

Telephone: _____
Cell Phone: _____


Signature

Signature

Scheduled Date of Plan Commission Meeting: 10-3-11

Scheduled Date of Common Council Meeting: 10-17-11

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office three weeks prior to the actual meeting.

\$90.00 Fee Required for Rezoning Requests, Variances, and Conditional Use Permits

Receipt # _____

Petition of Electors and Property Owners
for Direct Annexation

We the undersigned, constituting all of the resident electors and the owners of all of the land in area in the following territory of the Town of Hull Portage County, Wisconsin, adjoining the City of Stevens Point, petition the Honorable Mayor and Common Council of said City to annex the territory described below as shown on the scale map to the City of Stevens Point, Portage County, Wisconsin.

We, the undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexations, incorporation or consolidation proceeding, if any.

The current population of the area to be annexed is 2

Signature of Petitioner

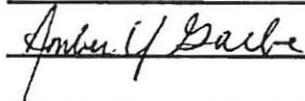
Date of Signing

Address



9/18/2011

324 INDIANA AVE N
STEVENS POINT, WI. 54481



9/18/11

324 Indiana Ave N.
Stevens Point, WI 54481

Legal Description of Land Petitioned for Annexation

North

175' 5/8"

Remaining Town of Hull "Strip"

15'

8'

Outlot 1 CSM 9165

7'

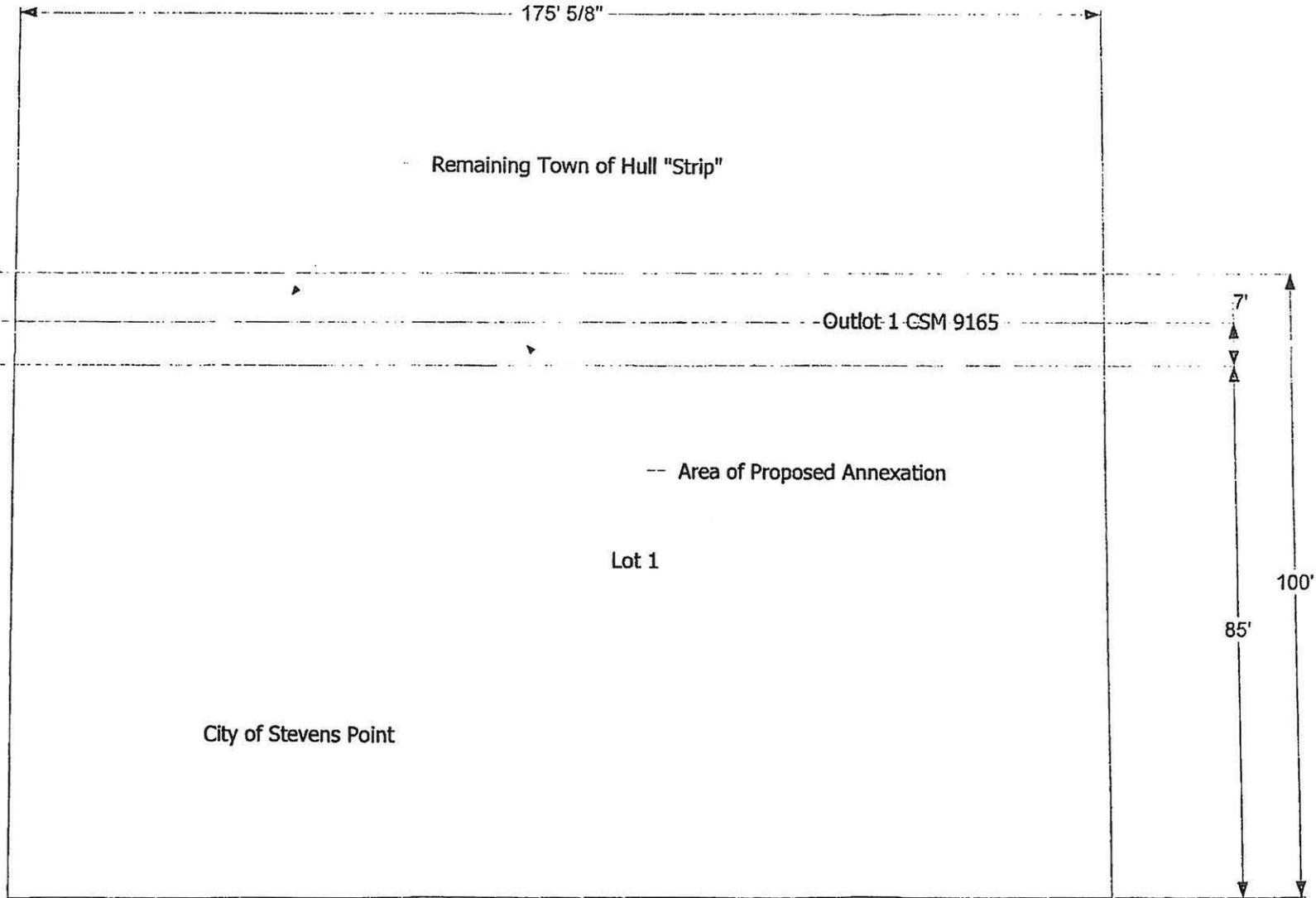
Area of Proposed Annexation

Lot 1

100'

85'

City of Stevens Point



GLODOWSKI ROSICKY LAND SURVEYING, INC

DESCRIPTION FOR JOSH GARBE

BEING THE SOUTH 7 FEET OF OUTLOT 1 OF CERTIFIED SURVEY MAP #9165, VOLUME 38, PAGE 95, DOCUMENT #693737 LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4, SECTION 28, TOWN 24 NORTH, RANGE 8 EAST, TOWN OF HULL, PORTAGE COUNTY, WISCONSIN BOUNDED AND DESCRIBED AS FOLLOWS:

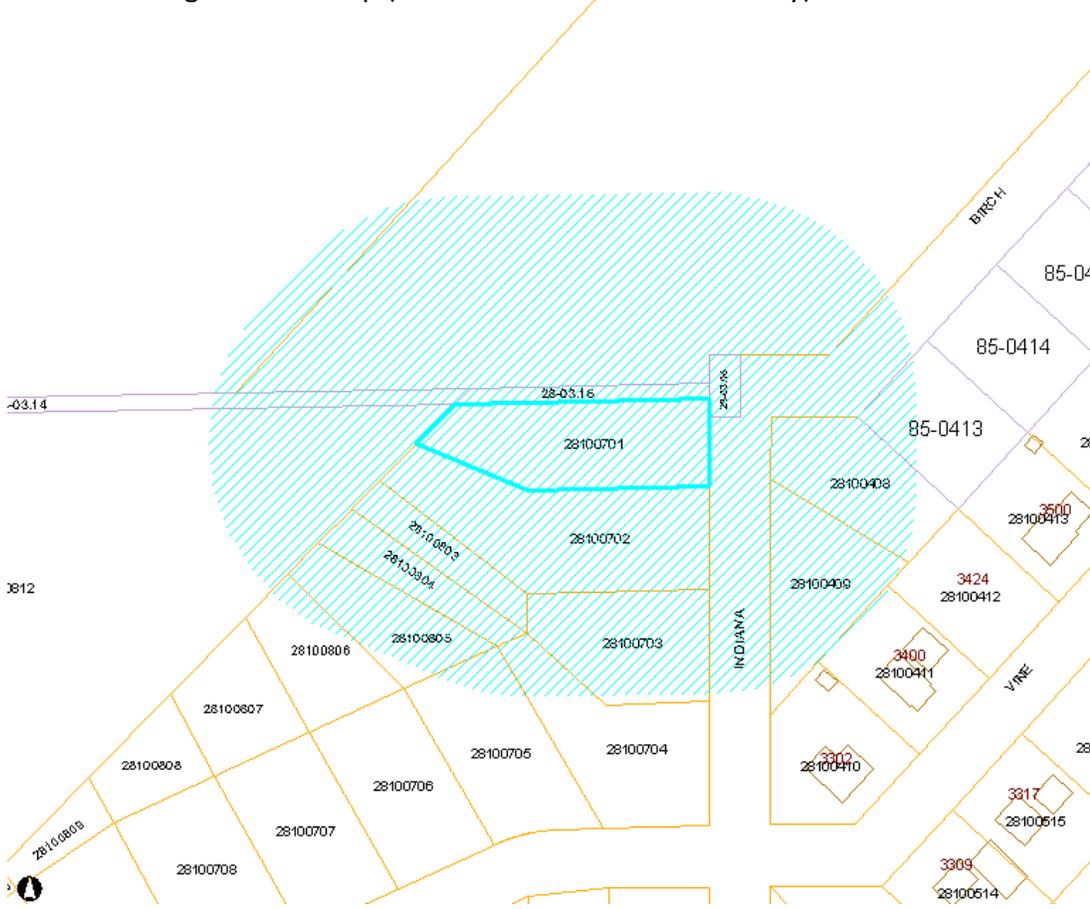
COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 28, THENCE S88°59'29"W ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 28, A DISTANCE OF 1,321.38 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE N00°04'45"E, ALONG THE EAST LINE OF SAID SW1/4-NE1/4, 1,332.66 FEET TO THE NORTHEAST CORNER OF SAID SW1/4-NE1/4; THENCE S88°46'36"W, ALONG THE NORTH LINE OF SAID SW1/4-NE1/4, 29.77 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT 1, CSM #9165 ALSO BEING THE WEST RIGHT-OF-WAY OF INDIANA AVENUE NORTH, THENCE S00°04'45"W, ALONG SAID WEST RIGHT-OF-WAY, 15.00 FEET TO THE SOUTHEAST CORNER OF SAID OUTLOT 1, BEING THE POINT OF BEGINNING OF THIS DESCRIPTION;
THENCE S88°46'36"W, ALONG THE SOUTH LINE OF SAID OUTLOT 1, 175.05 FEET TO THE SOUTHWEST CORNER THEREOF;
THENCE N00°04'45"E, ALONG THE WEST LINE OF SAID OUTLOT 1, 7.00 FEET;
THENCE N88°46'36"E, 175.05 FEET TO THE EAST LINE OF SAID OUTLOT 1, ALSO BEING THE WEST RIGHT-OF-WAY OF INDIANA AVENUE NORTH;
THENCE S00°04'45"W, ALONG SAID WEST RIGHT-OF-WAY, 7.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION CONTAINING 0.03 ACRES, [1,225 SQUARE FEET].

SEPTEMBER 16, 2011

GLODOWSKI ROSICKY
LAND SURVEYING, INC
2925 POST RD.
STEVENS POINT, WI 54481
PHONE: 715-342-9649
FAX: 715-342-1335

24082830.M&B

Garbe - Zoning - Exhibit Map (200 Feet Notification Boundary)



TaxKey	Property Address	Owner Name	Mailing Address	City	State	Zip Code
020240828-03.05		TOWN OF HULL ROAD				0
020240828-03.14		WISCONSIN UNIV OF BOARD OF REGENTS	PO BOX 8010	MADISON WI		537080000
020240828-03.14		WISCONSIN UNIV OF BOARD OF REGENTS	PO BOX 8010	MADISON WI		537080000
20850413		SCIARRONE ANTHONY M	2517 PRAIS ST	STEVENS POINT WI		544810000
281240828100408	Birch St & Indiana Ave	Francesco E Sciarrone	2512 Prais St	Stevens Point	WI	54481
281240828100409	Indiana Ave	Lee Roy & Sharon Newby	3302 Vine St	Stevens Point	WI	54481
281240828100410	3302 Vine St	Lee Roy & Sharon Newby	3302 Vine St	Stevens Point	WI	54481
281240828100411	3400 Vine St	Daria Sciarrone	2517 Prais St	Stevens Point	WI	54481
281240828100412	3424 Vine St	Jeremy A & Mandy J King	3424 Vine St	Stevens Point	WI	54481
281240828100701	324 Indiana Ave N	Joshua Y & Amber Y Garbe	218 Wilshire Blvd	Stevens Point	WI	54481
281240828100702	Indiana Ave N	Richard G & Rosan M Zahn	2253 Frosty Pine Ct	Stevens Point	WI	54482
281240828100703	Indiana Ave N	Jarabek Trust	3189 Dan's Dr	Stevens Point	WI	54481
281240828100704	Indiana Ave N	Jarabek Trust	3189 Dan's Dr	Stevens Point	WI	54481
281240828100705	Vine St	John & Jeanne M Herder	5517 Old Highway 18	Stevens Point	WI	54482
281240828100803	Indiana Ave N	Francesco Sciarrone &	2517 Prais St	Stevens Point	WI	54481
281240828100804	Indiana Ave N	Francesco Sciarrone &	2517 Prais St	Stevens Point	WI	54481
281240828100805	Vine St	Francesco Sciarrone &	2517 Prais St	Stevens Point	WI	54481
281240828100806	Vine St	Francesco Sciarrone &	2517 Prais St	Stevens Point	WI	54481
281240828100812	Vine St	Board of Regents of the	P O Box 8010	Madison	WI	53708
281240828110002	North Point Dr	Board of Regents of the	P O Box 8010	Madison	WI	53708
281240828120001	North Point Dr	Board of Regents of the	PO Box 8010	Madison	WI	53708

Administrative Staff Report

**Kwik Trip Carwash Conditional Use
1600 Maria Avenue/1601 Academy Avenue and
1616 Maria Avenue
October 3, 2011**



Department of Community Development

<p>Applicant(s):</p> <ul style="list-style-type: none">• Kwik Trip <p>Staff:</p> <ul style="list-style-type: none">• Michael Ostrowski, Director Community Development Ph: (715) 346-1567 Fax: (715) 346-1498 mostrowski@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">• 2408-29-1300-17• 2408-29-1300-20 <p>Lot Information:</p> <ul style="list-style-type: none">• 2408-29-1300-17<ul style="list-style-type: none">○ Effective Frontage: 90 feet○ Effective Depth: 517 feet○ Square Footage: 46,530○ Acreage: 1.068• 2408-29-1300-20<ul style="list-style-type: none">○ Effective Frontage: 148 feet○ Effective Depth: 247 feet○ Square Footage: 36,556○ Acreage: 0.839 <p>Zone(s):</p> <ul style="list-style-type: none">• "B-4" Commercial District <p>Master Plan:</p> <ul style="list-style-type: none">• Commercial <p>Council District:</p> <ul style="list-style-type: none">• District 1 – Beveridge <p>Current Use:</p> <ul style="list-style-type: none">• Carwash <p>Applicable Regulations:</p> <ul style="list-style-type: none">• 23.01(14)(f), 23.01(16), and 23.02(2)(d)	<p>Request</p> <p>Discussion and possible action on a request from Kwik Trip, for a conditional use permit to operate a carwash at 1600 Maria Avenue/1601 Academy Avenue and 1616 Maria Avenue. Parcel ID 2408-29-1300-17 and 2408-29-1300-20.</p> <p>Attachment(s)</p> <ul style="list-style-type: none">• Parcel ID Sheet• Exhibit Map• Application• Site Plan <p>Findings of Fact</p> <ul style="list-style-type: none">• Carwash is a conditional use within the B-4 zoning district. <p>Staff Recommendation</p> <p>Approve the conditional use permit, subject to the following condition(s):</p> <ul style="list-style-type: none">• The eastern most ingress/egress on Maria Drive is removed.• The entire western property line shall be appropriately screened with a solid decorative fence or have additional solid shrubbery at least three feet in height along the entire property line, as per the requirements in 23.01(14)(f)
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Vicinity Map



Background

Kwik Trip is proposing to construct a new gas station and convenience store with a detached carwash at the above described location. Kwik Trip plans to remove the current structures on the two lots for this project. The reason the request is before the Plan Commission is because a carwash is considered a conditional use within the B-4 zoning district. The gas station is a permitted use.

Standards of Review

- 1) **The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

Analysis: The carwash will be an accessory use to the already permitted use of a gas station. The carwash is located just off of a high traveled commercial corridor.

Findings: This standard is met.

- 2) **The use will not be injurious to the use and for the purpose already permitted;**

Analysis: The carwash will be an accessory use to the already permitted use of a gas station. The carwash is located just off of a high traveled commercial corridor.

Findings: This standard is met.

- 3) **The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

Analysis: The property in which the carwash is planned for construction is a residential lot that has two dwellings on it. It has been identified in several plans, including our Comprehensive Plan that this area would should be a commercial use. The establishment of this use will further the development of this district.

Findings: This standard is met.

- 4) **The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

Analysis: The architectural appeal of the building will be similar to the proposed gas station. In this district, there are a variety of commercial uses with varying architectural styles.

Findings: This standard is met.

- 5) **Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

Analysis: The respective area is an established area of the City.

Findings: Utilities currently exist in this area.

- 6) **Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

Analysis: There will be three ingress/egress points on the property. Two will be on Maria and one will be on Academy.

Findings: Staff would recommend that the eastern most ingress/egress point on Maria Drive be removed to reduce traffic congestion and other potential conflicts.

- 7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

Analysis: The proposed use would be within the "B-4" Commercial District. This district is established to provide for retail, commercial, office, service and apartment uses in areas of good accessibility along arterial streets consistent with the City's Comprehensive Plan. This district is primarily intended to accommodate general commercial uses requiring on-site parking and arterial access.

Findings: The proposed use is appropriate for the intent of this district.

- 8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The structure will meet all other zoning requirements.

Findings: This standard is met.

- 9) The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

N/A

- 10) Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

- 11) Access to the site shall be safe.**

- a. All developments shall front on a public right-of-way unless recommended by the Public Works Director.**

Analysis: The use fronts on Maria Drive and Academy Drive.

Findings: This standard is met.

- b. The driveway to the site shall be located so as not to be a danger to the street flow of traffic.**

Analysis: Three ingress/egress points exist on this site, two on Maria Drive and one on Academy Drive.

Findings: Staff would recommend that the eastern most driveway on Maria Drive be eliminated. The driveway is only about 60 feet to the intersection, which may cause backups and traffic conflicts.

- c. The driveway shall not be too close to neighboring intersections.**

Analysis: Three ingress/egress points exist on this site, two on Maria Drive and one on Academy Drive.

Findings: Staff would recommend that the eastern most driveway on Maria Drive be eliminated. The driveway is only about 60 feet to the intersection, which may cause backups and traffic conflicts.

- d. Alignment of the driveway shall be coordinated with adjacent access points to avoid conflict or confusion.**

Analysis: The driveways are aligned with across from other driveways.

Findings: This standard is met.

- e. Only one driveway shall be allowed per site unless recommended by the Public Works Director. Two family units may be allowed more than one driveway if those driveways are separated by not less than 10 feet. Maximum driveway openings shall be 20 feet (each).**

Analysis: Three ingress/egress points exist on this site, two on Maria Drive and one on Academy Drive.

Findings: Staff would recommend that the eastern most driveway on Maria Drive be eliminated. The driveway is only about 60 feet to the intersection, which may cause backups and traffic conflicts.

- f. The organization of traffic flow on-site and between the site and the street shall be organized in a clear hierarchy of flow patterns. Internal and external areas where traffic flow changes directions or creates intersections shall be organized at clear intersections and those intersections are spaced far enough apart so as to not cause confusion or problems and to provide for adequate spacing for waiting vehicles.**

Analysis: The traffic flow on the site to the street should flow smoothly if the eastern most driveway is removed on Maria Drive.

Findings: Staff would recommend that the eastern most driveway on Maria Drive be eliminated.

- g. Intersections are visible and not visually screened.**

Analysis: The intersections are not screened from view.

Findings: Vision obstructions should not be a concern.

- h. Adequate drainage and snow storage is provided.**

Analysis: Drainage plans are being reviewed by the Department of Public Works.

Findings: Drainage requirements shall be determined by the Department of Public Works.

- i. Minimum size requirements are maintained for safe vehicle circulation.**

Analysis: The lot provides for adequate traffic aisles.

Findings: This standard is met.

- j. Parking areas shall be safe. They shall be adequately lit, sized to meet minimum standards, graded so as to not be too steep, and paved with concrete, brick, or bituminous surfacing. The light source shall not be visible from adjacent properties. Lighting shall be developed in such a way to minimize light straying onto adjacent properties.**

Analysis: The site will be illuminated as per the proposed plans.

Findings: There will be minimum light spillover onto adjacent properties. This standard is met.

k. Driveways shall be located to minimize the impact to adjacent properties.

Analysis: The driveways should not cause a negative impact to the adjacent properties, except for the most eastern driveway on Maria Drive.

Findings: Staff would recommend the removal of the eastern most driveway on Maria Drive.

12) There shall be adequate utilities to serve the site.

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

Analysis: The property has the needed utilities and access.

Findings: This standard is met.

13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

- a. Mechanical equipment including refuse storage shall be screened from neighboring properties.**

Analysis: Refuse containers will be located behind the gas station and the architectural design will match that of the proposed building.

Findings: This standard is met.

- b. Lighting shall be located to minimize intrusion onto the neighboring properties.**

Analysis: The site will be illuminated as per the proposed plans.

Findings: There will be minimum light spillover onto adjacent properties. This standard is met.

- c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

Analysis: There is a residential dwelling located to the west of this site.

Findings: Staff would recommend that the western property line be appropriately screened with a solid decorative fence or have additional solid shrubbery at least three feet in height along the entire property line, as per the requirements in 23.01(14)(f):

Continuous Screening. Any off-street parking spaces or parking lot abutting the public street right-of-way or property zoned R-1, R-2, R-3, and R-4 or used for residential purposes shall provide continuous screening as provided below. CLEAR VIEW requirements shall be maintained as described in Sec. 2.c.) a. and b.

Continuous Screening Specifications. Screening shall consist of natural plant material and/or decorative wall or durable landscape barrier.

Plant material (shrubs/hedges): minimum 18 inches in height when measured immediately after planting. Three (3) foot maximum height where abutting public right-of-way. Individual plants shall be spaced so as to provide continuous screening within a two-year period.

Wall or Barrier: minimum three (3) feet in height except as described in Sec. 2, a.4; Three (3) feet maximum height where abutting public right-of-way.

Clearview Requirements. Sight Distance for Landscaping Adjacent to Public Rights-of-Way and Points of Access. When an accessway intersects a public right-of-way or when the subject property abuts the intersection of two or more public rights-of-way, all landscaping within the triangular area described below shall provide unobstructed cross-visibility, with no plantings or visual barrier higher than two feet.

14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

N/A

Name and Address		Parcel #	Alt Parcel #	Land Use
Judith A Daniel Et Al c/o Karen Karl 1808 Karen Ln Stevens Point, WI 54481		240829130017	240829130017	Residential
		Property Address		Neighborhood
		1600 Maria Dr / 1601 Academy		26 North West (Residential)
		Subdivision		Zoning
Display Note		Assessors Plat #4		B4-COMMERCIAL

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
Judith A Daniel Et Al	4/20/2004	\$1	Term. Dec. Prop. Int.	655034		Land & Build.
Judith A Daniel Et Al	12/28/1995	\$85,300	Quit Claim Deed	663	1136	Land & Build.
Judith A Daniel Et Al	12/28/1995	\$85,300	Quit Claim Deed	663	1138	Land & Build.
Valerian & Esther Przekurat	7/1/1984	\$610	Warranty Deed	453	385	Land & Build.

SITE DATA

PERMITS

Actual Frontage	90.0	Date	Number	Amount	Purpose	Note
Effective Frontage	90.0	7/3/2003	31695	\$5,000	090 Roof/Strip & re-ro	
Effective Depth	517.0	8/20/1998	27881	\$950	032 Furnace (HVAC)	
Square Footage	46,530.0					
Acreage	1.068					

2011 ASSESSED VALUE

Class	Land	Improvements	Total
A-Residential	\$55,600	\$99,600	\$155,200
Total	\$55,600	\$99,600	\$155,200

LEGAL DESCRIPTION

LOT 8 OF ASSESSOR'S PLAT #4 EXC N 48' & S 13.5' FOR STREETS BNG PRT SW NE S29 T24 R8 663/1138 703/1092 655034

DWELLING DATA (1 of 2)

Style	07A Old Style - 1sty			Basement	Full	Exposed	No
Ext. Wall	Stone			Heating	Basic		
Story Height	1	Age	56	Fuel Type	Oil		
Year Built	1955	Eff. Year	1955	System Type	Warm Air		
Class	A-Residential			Total Rooms	5	Bedrooms	3
Int. Cond. Relative to Ext.	Interior Same As Exterior			Family Rooms	0		
Physical Condition	Average			Full Baths	1	Half Baths	1
Kitchen Rating	Average			Bath Rating	Average		

FEATURES

ATTACHMENTS

Description	Units	Description	Area
Additional Plumbing Fixtures	1	Open Frame Porch	24
		Open Frame Porch	55
		Enclosed Frame Porch	154
		Open Frame Porch	55
		Masonry Garage	480

Name and Address		Parcel #	Alt Parcel #	Land Use
Judith A Daniel Et Al c/o Karen Karl 1808 Karen Ln Stevens Point, WI 54481		240829130017	240829130017	Residential
		Property Address		Neighborhood
		1600 Maria Dr / 1601 Academy		26 North West (Residential)
		Subdivision		Zoning
Display Note		Assessors Plat #4		B4-COMMERCIAL

LIVING AREA

Description	Gross Area	Calculated Area
Basement	1,260.0	
Finished Basement Living Area	0.0	0.0
First Story	1,260.0	1,260.0
Second Story	0.0	0.0
Additional Story	0.0	0.0
Attic / Finished	0.0	0.0
Half Story / Finished	0.0	0.0
Attic / Unfinished	0.0	
Half Story / Unfinished	0.0	
Room / Unfinished	0.0	
Total Living Area		1,260.0

DETACHED IMPROVEMENTS

Description	Year Built	Square Feet	Grade	Condition
Frame Shed	1940	520.0	D	Poor

PROPERTY IMAGE



PROPERTY SKETCH

Name and Address		Parcel #	Alt Parcel #	Land Use
Judith A Daniel Et Al c/o Karen Karl 1808 Karen Ln Stevens Point, WI 54481		240829130017	240829130017	Residential
		Property Address		Neighborhood
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PERMITS

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Effective Depth	517.0	8/20/1998	27881	\$950	032 Furnace (HVAC)	
Square Footage	46,530.0					
Acreage	1.068					

2011 ASSESSED VALUE

Class	Land	Improvements	Total
A-Residential	\$55,600	\$99,600	\$155,200
Total	\$55,600	\$99,600	\$155,200

LEGAL DESCRIPTION

LOT 8 OF ASSESSOR'S PLAT #4 EXC N 48' & S 13.5' FOR STREETS BNG PRT SW NE S29 T24 R8 663/1138 703/1092 655034

DWELLING DATA (2 of 2)

Style	07 Old Style		Basement	Full	Exposed	No
Ext. Wall	Wood / Masonite		Heating	Basic		
Story Height	1	Age	71	Fuel Type	Oil	
Year Built	1940	Eff. Year	1940	System Type	Warm Air	
Class	A-Residential		Total Rooms	4	Bedrooms	2
Int. Cond. Relative to Ext.	Interior Same As Exterior		Family Rooms	0		
Physical Condition	Average		Full Baths	1	Half Baths	
Kitchen Rating	Average		Bath Rating	Average		

FEATURES

ATTACHMENTS

Description	Units	Description	Area

Name and Address		Parcel #	Alt Parcel #	Land Use
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		Property Address		Neighborhood
		1600 Maria Dr / 1601 Academy		26 North West (Residential)
		Subdivision		Zoning
Display Note		Assessors Plat #4		B4-COMMERCIAL

LIVING AREA

Description	Gross Area	Calculated Area
Basement	600.0	
Finished Basement Living Area	0.0	0.0
First Story	600.0	600.0
Second Story	0.0	0.0
Additional Story	0.0	0.0
Attic / Finished	0.0	0.0
Half Story / Finished	0.0	0.0
Attic / Unfinished	0.0	
Half Story / Unfinished	0.0	
Room / Unfinished	0.0	
Total Living Area		600.0

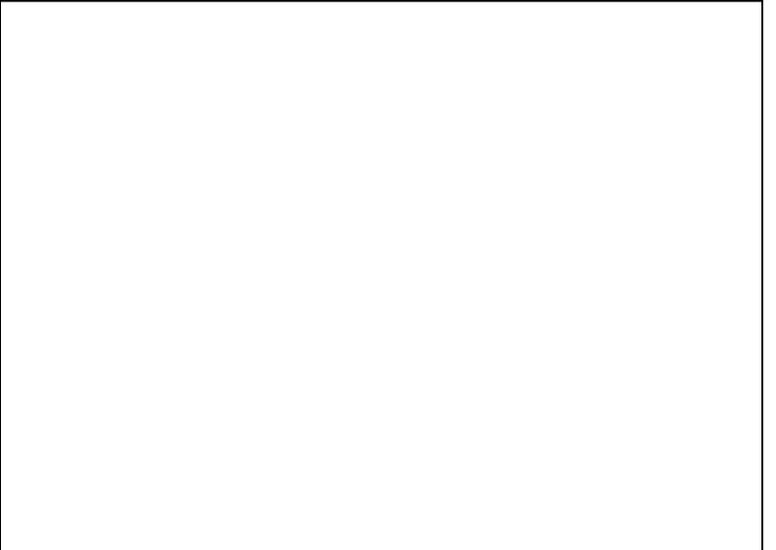
DETACHED IMPROVEMENTS

Description	Year Built	Square Feet	Grade	Condition
Frame Shed	1940	520.0	D	Poor

PROPERTY IMAGE



PROPERTY SKETCH



Name and Address		Parcel #	Alt Parcel #	Land Use
Convenience Store Investments 1626 Oak St Lacrosse, WI 54603		240829130020	240829130020	Store, Mini Mart w/ Gas
		Property Address		Neighborhood
		1616 Maria Dr		Division Str North (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
Convenience Store Investments	5/15/2009	\$750,000	Warranty Deed	731995		Land & Build.
First Banking Center	4/17/2009	\$750,000	Sheriff Deed	730647		Land & Build.
Texas Oil LLC	8/1/2006	\$850,000	Special Warranty Deed	692494		Land & Build.
Petroleum Realty IV LLC	11/18/2000	\$734,000	Warranty Deed	58	0971	Land & Build.
Petrol Properties LLC	11/17/2000	\$622,000	Warranty Deed	58	0970	Land & Build.

SITE DATA

PERMITS

Actual Frontage		Date	Number	Amount	Purpose	Note
148.0		6/24/2009	36336	\$16,740	024 Exterior Renovatio	Beer storage room
Effective Frontage	148.0	1/15/2003	31306	\$3,750	003 Addition	
Effective Depth	247.0	5/8/2001	29837	\$10,000	099 Sign	
Square Footage	36,556.0	9/19/2000	29443	\$2,000	099 Sign	
Acreage	0.839	4/10/1995	24908	\$1,500	xReplace Dispensers	Replace Dispensers
		3/11/1995	24871	\$5,000	020 Electrical	

2011 ASSESSED VALUE

Class	Land	Improvements	Total
B-Commercial	\$255,100	\$378,700	\$633,800
Total	\$255,100	\$378,700	\$633,800

LEGAL DESCRIPTION

THE S 260.16' OF LOT 7 ASSESSORS PLAT #4 EXC S13.5' FOR ST BNG PRT SW NE S29 T24 R8 731995

PROPERTY IMAGE

PROPERTY SKETCH



Name and Address		Parcel #	Alt Parcel #	Land Use
Convenience Store Investments 1626 Oak St Lacrosse, WI 54603		240829130020	240829130020	Store, Mini Mart w/ Gas
		Property Address		Neighborhood
		1616 Maria Dr		Division Str North (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

BUILDING SUPERSTRUCTURE DATA

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Gas Station Mini Mart (D avg)	1986	4,194	Wood Frame - Avg	12

Total Area		4,194
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BASEMENT DATA

COMPONENTS

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area

DETACHED IMPROVEMENTS

Structure	Year Built	Square Feet	Grade	Condition

SITE IMPROVEMENTS

STRUCTURE DATA

Site Improvement	Units	Age	16
		Year Built	1986
		Eff. Year	1995
		One Bedroom	
		Two Bedroom	
		Three Bedroom	
		Total Units	
		Stories	1.00
		Business Name	Convenience Store Investments

R# 1-44150
9/16/11
\$90

REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION

ADDRESS OF PROPERTY: 1600 MARIA DR.

- Zoning Ordinance Change (\$90.00 fee required)
- Conditional Use Permit (\$90.00 fee required)
- Variance from Zoning Ordinance -Board of Appeals (\$90.00 fee required)
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

REQUEST FOR CONDITIONAL USE PERMIT TO ALLOW CONSTRUCTION OF SINGLE BAY CARWASH.

OWNER/APPLICANT:

AGENT FOR OWNER/APPLICANT:

Name: Kwik Trip, Inc.
Address: 1626 OAK ST.
LA CROSSE, WI 54602
(City, State, Zip Code)

Name: JUSTIN DORSCHIED
Address: 1626 OAK ST.
LA CROSSE, WI 54602
(City, State, Zip Code)

Telephone: (608) 793-6189
Cell Phone: (608) 792-0624

Telephone: (608) 793-6189
Cell Phone: (608) 792-0624

Signature

Justin Dorschied
Signature

Scheduled Date of Plan Commission Meeting: 10-3-11

Scheduled Date of Common Council Meeting: 10-17-11

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office three weeks prior to the actual meeting.

\$90.00 Fee Required for Rezoning Requests, Variances, and Conditional Use Permits

Receipt # _____

CONSTRUCTION NOTE:

Construction fencing to be installed around entire construction site. Coordinate with owner for fencing and gate locations and appropriate signage installation.

LAYOUT NOTES:

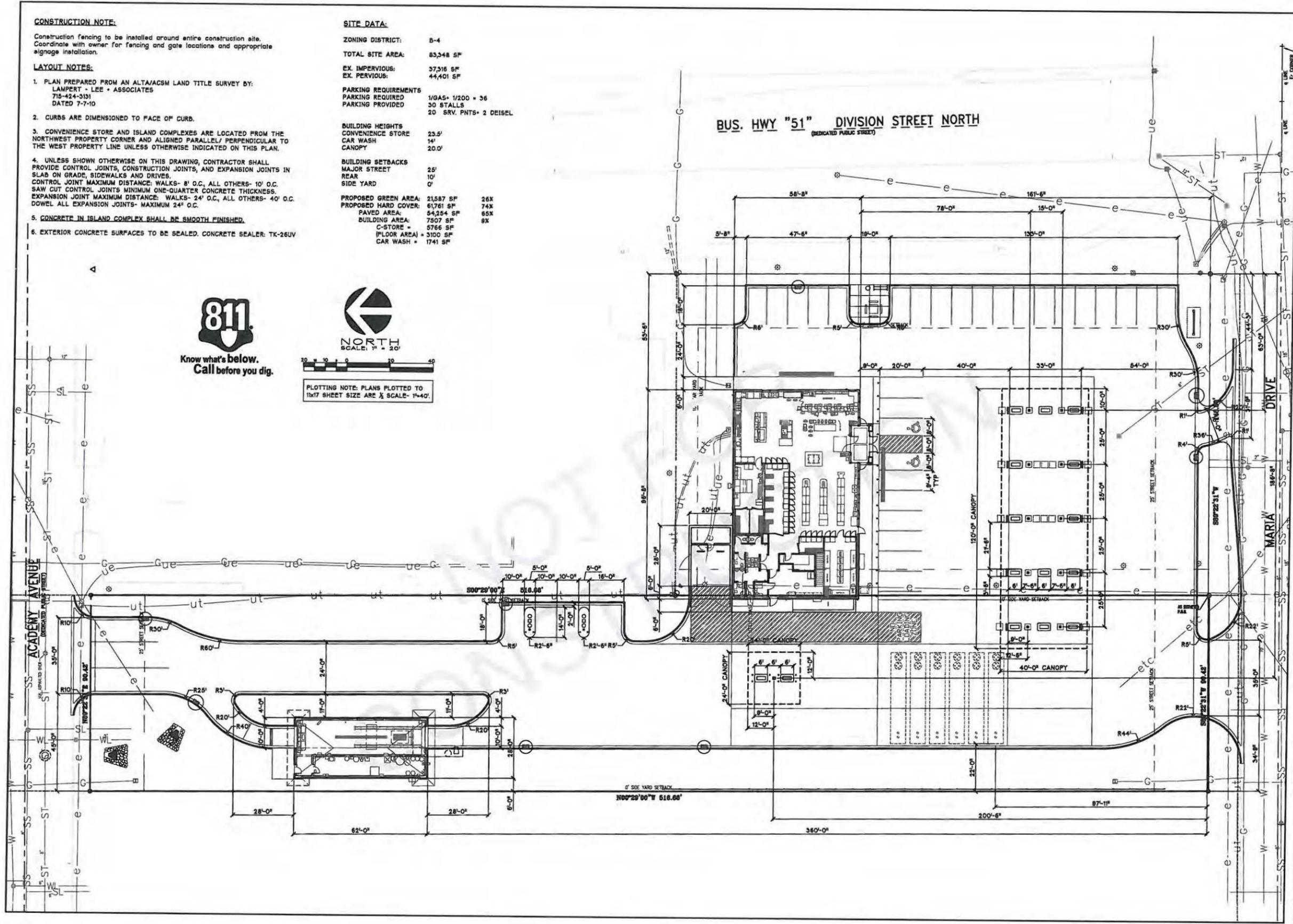
1. PLAN PREPARED FROM AN ALTA/JCSM LAND TITLE SURVEY BY: LAMPERT - LEE + ASSOCIATES 715-424-3131 DATED 7-7-10
2. CURBS ARE DIMENSIONED TO FACE OF CURB.
3. CONVENIENCE STORE AND ISLAND COMPLEXES ARE LOCATED FROM THE NORTHWEST PROPERTY CORNER AND ALIGNED PARALLEL/ PERPENDICULAR TO THE WEST PROPERTY LINE UNLESS OTHERWISE INDICATED ON THIS PLAN.
4. UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES. CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 10' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS. EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24" O.C.
5. CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.
6. EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER: TK-26UV

SITE DATA:

ZONING DISTRICT: B-4
 TOTAL SITE AREA: 83,348 SF
 EX. IMPERVIOUS: 37,316 SF
 EX. PERVIOUS: 44,401 SF
 PARKING REQUIREMENTS
 PARKING REQUIRED 1/GAS+ 1/200 + 36
 PARKING PROVIDED 30 STALLS
 20 SRV. PNTS+ 2 DEISEL
 BUILDING HEIGHTS
 CONVENIENCE STORE 23.5'
 CAR WASH 14'
 CANOPY 20.0'
 BUILDING SETBACKS
 MAJOR STREET 25'
 REAR 10'
 SIDE YARD 0'
 PROPOSED GREEN AREA: 21,587 SF 26X
 PROPOSED HARD COVER: 61,761 SF 74X
 PAVED AREA: 54,254 SF 65X
 BUILDING AREA: 7507 SF 9X
 C-STORE = 5766 SF
 FLOOR AREA = 3100 SF
 CAR WASH = 1741 SF



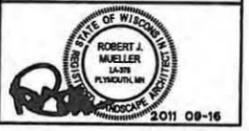
PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1"=40'.



KWIK TRIP
STORES
KWIK STAR
STORES

KWIK TRIP, Inc.
 P.O. BOX 2107
 1626 OAK STREET
 LACROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8960

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, STE 131
 Plymouth, Minnesota 55447
 763.383.8400
 Fax: 763.383.8410



SITE PLAN
CONVENIENCE STORE 691
HIGHWAY 51
STEVEN'S POINT, WISCONSIN

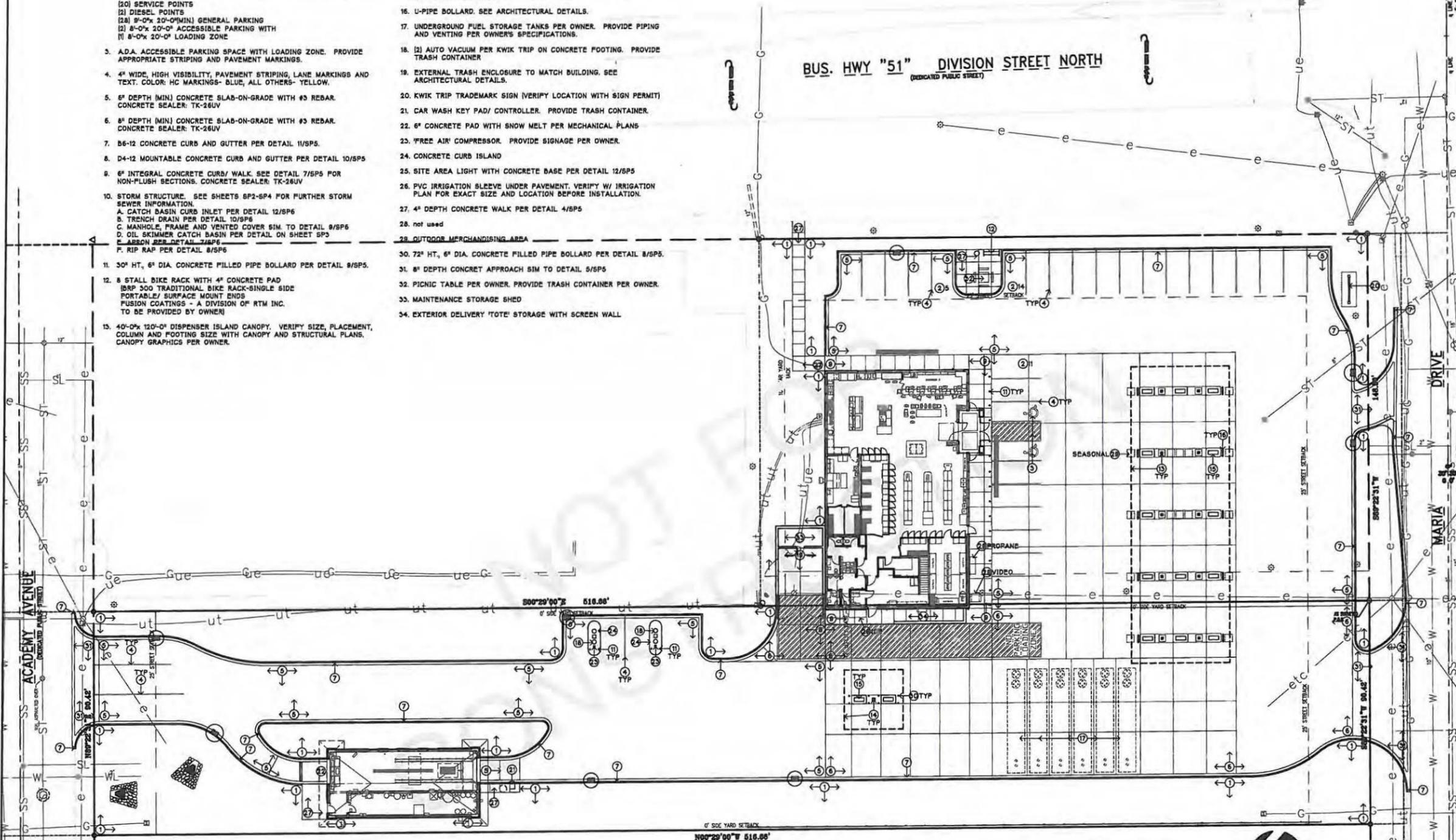
NO.	DATE	DESCRIPTION
-	9/8/11	for Submittal
-	9/16/11	for Submittal

DRAWN BY _____
 SCALE _____ GRAPHIC
 PROJ. NO. 11681
 DATE 2011 08-02
 SHEET **SP1**

11-032

SITE PLAN KEYNOTES

1. LANDSCAPE AREA. SEE SHEET L1.
2. OFF-STREET PARKING STALLS STRIPING - 4' WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT. SPACES PROVIDED:
 (20) SERVICE POINTS
 (2) DIESEL POINTS
 (24) 8'-0" x 20'-0" (MIN) GENERAL PARKING
 (2) 8'-0" x 20'-0" ACCESSIBLE PARKING WITH
 (1) 8'-0" x 20'-0" LOADING ZONE
3. ADA ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
4. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- BLUE, ALL OTHERS- YELLOW.
5. 6" DEPTH (MIN) CONCRETE SLAB-ON-GRADE WITH #3 REBAR. CONCRETE SEALER: TK-26UV
6. 8" DEPTH (MIN) CONCRETE SLAB-ON-GRADE WITH #3 REBAR. CONCRETE SEALER: TK-26UV
7. 66-12 CONCRETE CURB AND GUTTER PER DETAIL 11/SP5.
8. D4-12 MOUNTABLE CONCRETE CURB AND GUTTER PER DETAIL 10/SP5.
9. 6" INTEGRAL CONCRETE CURB/ WALK. SEE DETAIL 7/SP5 FOR NON-FLUSH SECTIONS. CONCRETE SEALER: TK-26UV
10. STORM STRUCTURE. SEE SHEETS SP2-SP4 FOR FURTHER STORM SEWER INFORMATION.
 A. CATCH BASIN CURB INLET PER DETAIL 12/SP6
 B. TRENCH DRAIN PER DETAIL 10/SP6
 C. MANHOLE, FRAME AND VENTED COVER SIM. TO DETAIL 9/SP6
 D. OIL SKIMMER CATCH BASIN PER DETAIL ON SHEET SP3
 E. ARSON PER DETAIL 7/SP6
 F. RIP RAP PER DETAIL 8/SP6
11. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 9/SP5.
12. 8 STALL BIKE RACK WITH 4" CONCRETE PAD
 (BRP 300 TRADITIONAL BIKE RACK-SINGLE SIDE PORTABLE/ SURFACE MOUNT ENDS FUSION COATINGS - A DIVISION OF RTM INC. TO BE PROVIDED BY OWNER)
13. 40'-0" x 120'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
14. 24'-0" x 24'-0" COMMERCIAL DIESEL DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
15. CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER.
16. U-PIPE BOLLARD. SEE ARCHITECTURAL DETAILS.
17. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS.
18. (2) AUTO VACUUM PER KWIK TRIP ON CONCRETE FOOTING. PROVIDE TRASH CONTAINER.
19. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
20. KWIK TRIP TRADEMARK SIGN (VERIFY LOCATION WITH SIGN PERMIT)
21. CAR WASH KEY PAD/ CONTROLLER. PROVIDE TRASH CONTAINER.
22. 6" CONCRETE PAD WITH SNOW MELT PER MECHANICAL PLANS
23. 'FREE AIR' COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
24. CONCRETE CURB ISLAND
25. SITE AREA LIGHT WITH CONCRETE BASE PER DETAIL 12/SP5
26. PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY W/ IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION.
27. 4" DEPTH CONCRETE WALK PER DETAIL 4/SP5
28. not used
29. OUTDOOR MERCHANDISING AREA
30. 72" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 8/SP5.
31. 8" DEPTH CONCRET APPROACH SIM TO DETAIL 5/SP5
32. PICNIC TABLE PER OWNER. PROVIDE TRASH CONTAINER PER OWNER.
33. MAINTENANCE STORAGE SHED
34. EXTERIOR DELIVERY 'TOTE' STORAGE WITH SCREEN WALL



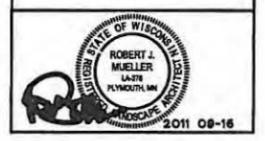
PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE & SCALE: 1/4"=10'

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 FAX 763.383.3444



SITE PLAN (KEYNOTE)	
CONVENIENCE STORE 691	
HIGHWAY 51 STEVEN'S POINT, WISCONSIN	
NO.	DATE DESCRIPTION
-	8/8/11 For Submittal
-	8/16/11 For Submittal
DRAWN BY	
SCALE	GRAPHIC
PROJ. NO.	11691
DATE	2011-08-02
SHEET	SP.11

NOTE: CONTRACTOR TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION NOTE:

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

NOTE:

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

- PLAN PREPARED FROM ALTA/JACSM LAND TITLE SURVEY BY:
LAMPERT - LEE + ASSOCIATES
715-424-3131
DATED 7-7-10

- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

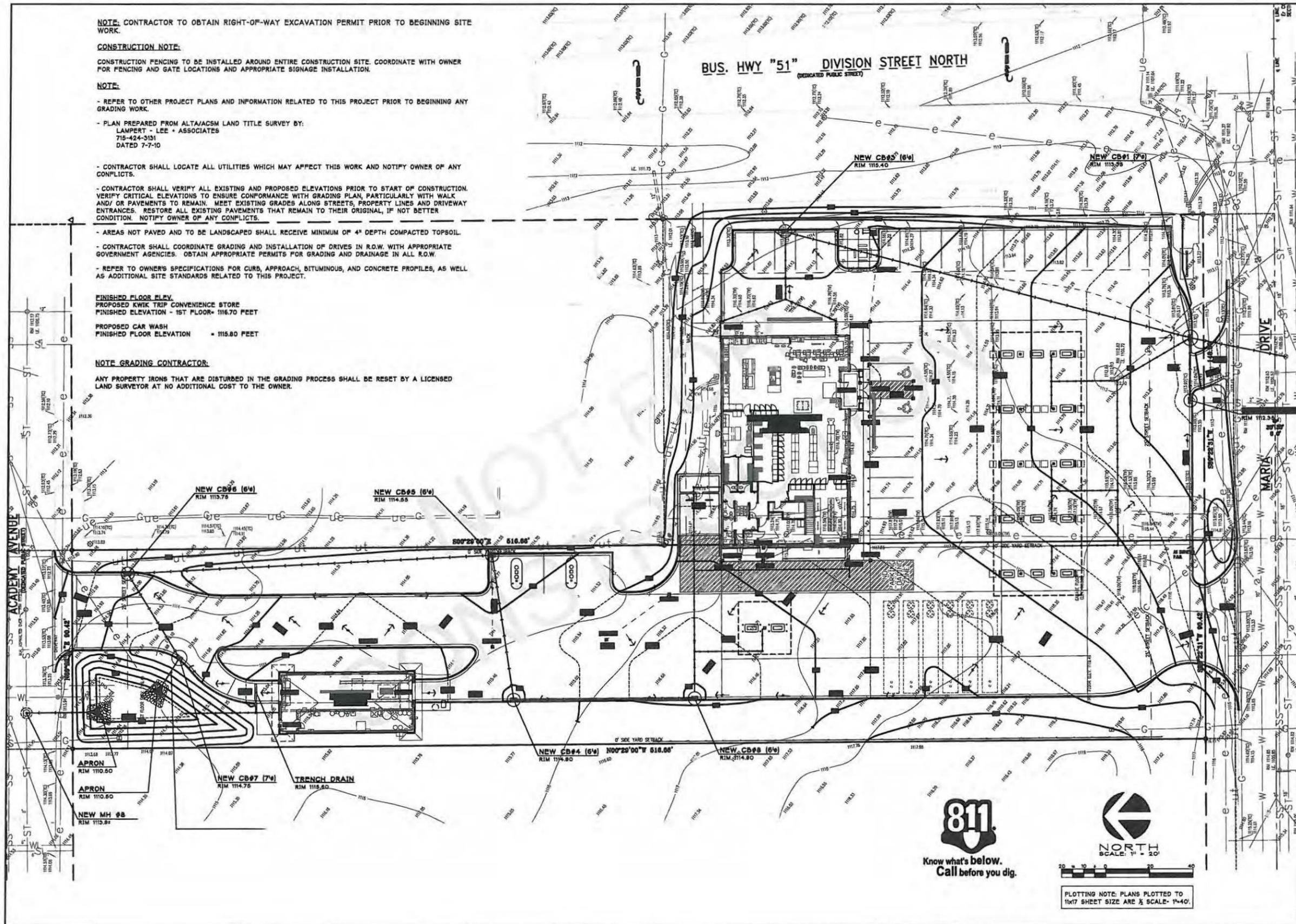
FINISHED FLOOR ELEV.

PROPOSED KWIK TRIP CONVENIENCE STORE
FINISHED ELEVATION - 1ST FLOOR- 1116.70 FEET

PROPOSED CAR WASH
FINISHED FLOOR ELEVATION = 1115.80 FEET

NOTE GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.



KWIK TRIP STORES

KWIK STAR STORES

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

INSITES
SITE PLANNING/LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, STE 131
Plymouth, Minnesota 55447
763.383.8400
763.383.8400



GRADE PLAN
CONVENIENCE STORE 691

HIGHWAY 51
STEVEN'S POINT, WISCONSIN

NO.	DATE	DESCRIPTION
-	8/8/11	For Submittal
-	8/16/11	For Submittal

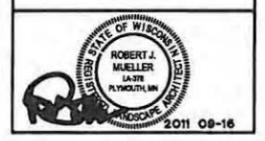
DRAWN BY: GRAPHIC
SCALE: 1" = 20'
PROJ. NO.: 11691
DATE: 2011 08-02
SHEET: **SP2**

11/08/11 11:03:22



KWIK TRIP, Inc.
 P.O. BOX 2107
 1626 OAK STREET
 LACROSSE, WI 54602-2107
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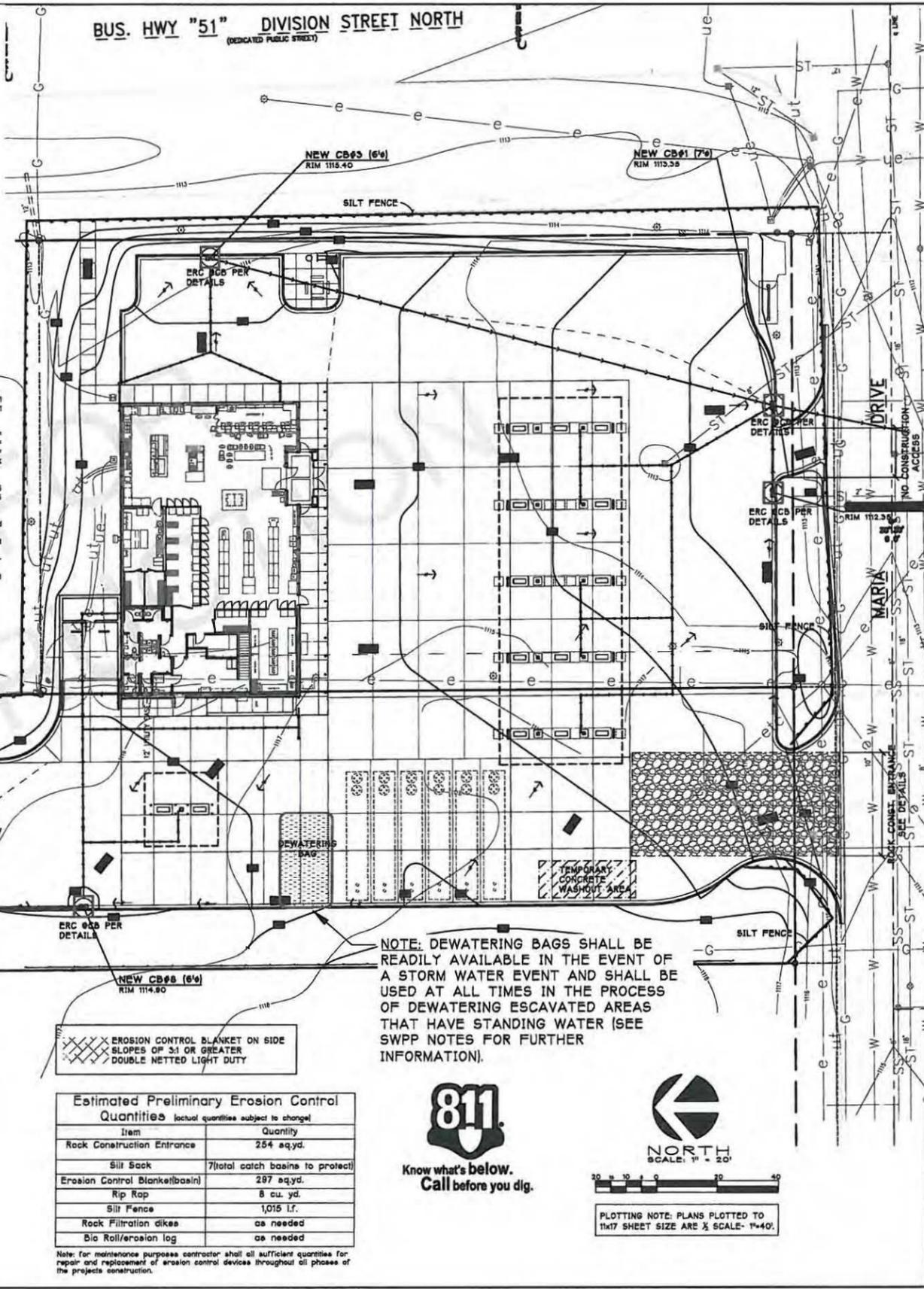
EROSION CONTROL PLAN
CONVENIENCE STORE 691
 HIGHWAY 51
 STEVEN'S POINT, WISCONSIN

NO.	DATE	DESCRIPTION
-	8/18/11	For Submittal
-	8/16/11	For Submittal

DRAWN BY: _____
 SCALE: GRAPHIC
 PROJ. NO.: 11691
 DATE: 2011 08-02
 SHEET: **SWPPP1**

Universal Soil Loss Equation for Construction Sites
 for use in the State of Wisconsin

Land Use/Management Practice	Soil Erosion Factor (K)	Soil Erosion Factor (L)	Soil Erosion Factor (S)	Soil Erosion Factor (P)	Soil Erosion Factor (C)	Soil Erosion Factor (R)	Soil Erosion Factor (M)	Soil Erosion Factor (D)	Soil Erosion Factor (E)	Soil Erosion Factor (F)	Soil Erosion Factor (G)	Soil Erosion Factor (H)	Soil Erosion Factor (I)	Soil Erosion Factor (J)	Soil Erosion Factor (K)	Soil Erosion Factor (L)	Soil Erosion Factor (M)	Soil Erosion Factor (N)	Soil Erosion Factor (O)	Soil Erosion Factor (P)	Soil Erosion Factor (Q)	Soil Erosion Factor (R)	Soil Erosion Factor (S)	Soil Erosion Factor (T)	Soil Erosion Factor (U)	Soil Erosion Factor (V)	Soil Erosion Factor (W)	Soil Erosion Factor (X)	Soil Erosion Factor (Y)	Soil Erosion Factor (Z)		
...



-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS SWPPP2-4 FOR MORE INFORMATION.

CONTACT BRAD FRY
 KWIK TRIP, INC.
 PO BOX 2107
 LACROSSE, WI 54602
 608-781-8920

CONSTRUCTION SEQUENCE

- *INSTALL EROSION/SEDIMENT CONTROL MEASURES
- *INSTALL STORMWATER MANAGEMENT
- *INSTALL STORM SEWER
- *INSTALL STRUCTURES
- *INSTALL PAVEMENTS
- *INSTALL LAWN/LANDSCAPE
- *PLUSH STORM SEWER
- *REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

PROJECT DATA

PROJECT START DATE: FALL 2011
 PROJECT COMPLETION DATE: JULY 2011

SITE AREA DATA
 DISTURBED AREA: 85,348 SF
 PRE-CONSTRUCTION IMPERVIOUS AREA: 37,316 SF
 POST-CONSTRUCTION IMPERVIOUS AREA: 61,768 SF
 APPROX. AREA OF LAND DISTURBANCE: 100K

SITE RUNOFF COEFFICIENT
 PRE-CONSTRUCTION: 66
 POST-CONSTRUCTION: 85

SOIL DATA
 SURFACE SOIL: silty sand
 SUB-SURFACE SOIL: silty sand
 DEPTH OF GROUND WATER: bedrock 13'-4"

DOWN-STREAM TRIBUTARY: Wisconsin River/ Conserv Wild

EROSION CONTROL BLANKET ON SIDE SLOPES OF 3:1 OR GREATER DOUBLE NETTED LIGHT DUTY

NOTE: DEWATERING BAGS SHALL BE READILY AVAILABLE IN THE EVENT OF A STORM WATER EVENT AND SHALL BE USED AT ALL TIMES IN THE PROCESS OF DEWATERING ESCAVATED AREAS THAT HAVE STANDING WATER (SEE SWPPP NOTES FOR FURTHER INFORMATION).

Estimated Preliminary Erosion Control Quantities (actual quantities subject to change)

Item	Quantity
Rock Construction Entrance	254 sq.yd.
Silt Sack	7(total catch basins to protect)
Erosion Control Blanket(basin)	297 sq.yd.
Rip Rap	8 cu. yd.
Silt Fence	1,015 LF.
Rock Filtration dikes	as needed
Bio Roll/erosion log	as needed



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE- 1"=40'

RECEIVING WATER- WISCONSIN RIVER-IMPAIRED WITHIN 1 MILE FROM SITE

PROVIDE TEMPORARY EROSION CONTROL ON EXPOSED SOILS BANKS AT ALL TIMES. PROVIDE LONG TERM PERMANENT EROSION CONTROL-SEE LANDSCAPE PLAN AND SWPPP NOTES FOR MORE INFORMATION

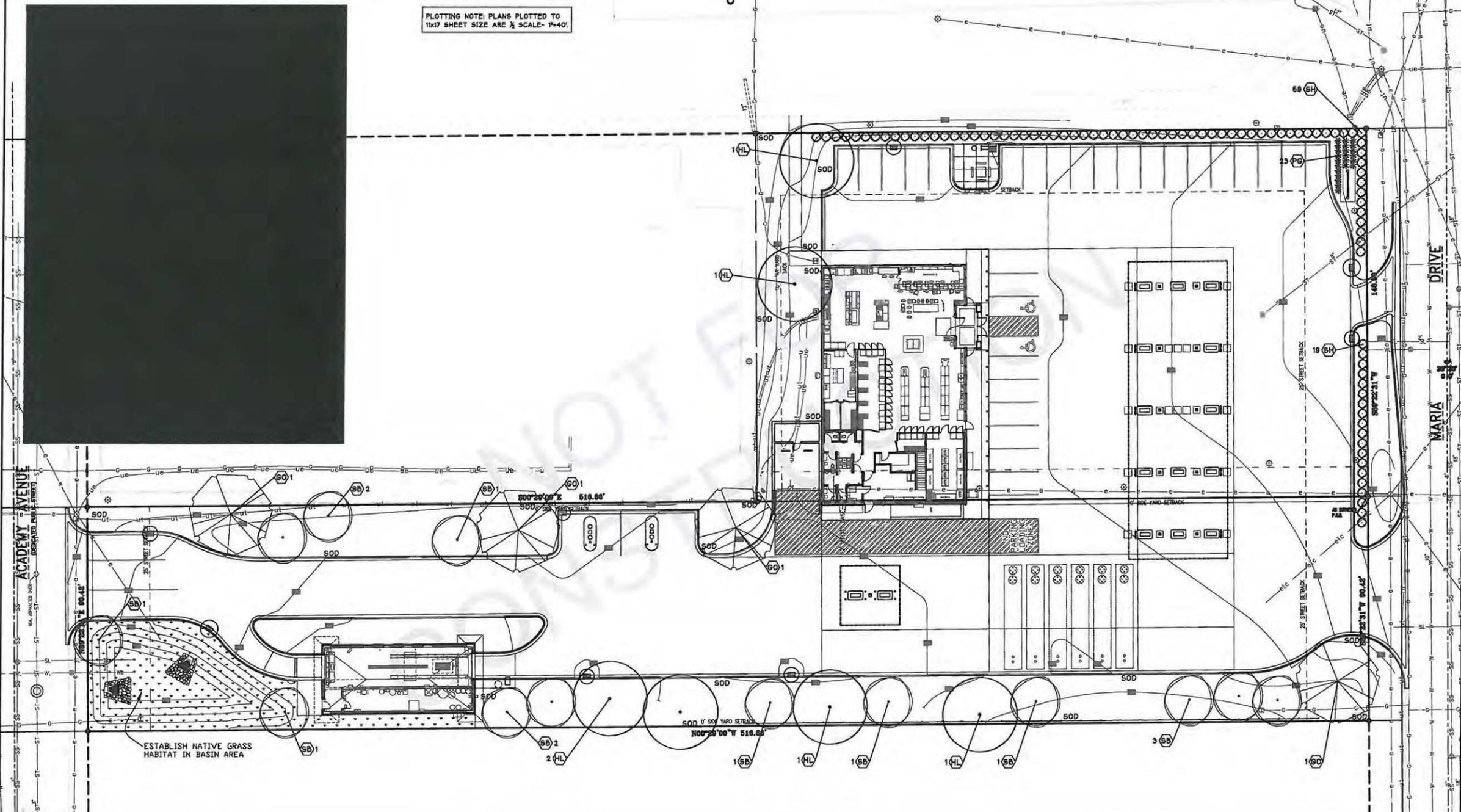
Note: for maintenance purposes contractor shall all sufficient quantities for repair and replacement of erosion control devices throughout all phases of the projects construction.

PLANT MATERIAL			
QUANTITY	SIZE	ROOT TYPE	COMMON NAME BOTANICAL NAME
GO 4	2.5" CAL.	B&B	AUTUMN GOLD GINKGO <i>Ginkgo biloba 'Autumn Gold' (male only)</i>
HL 6	2.5" CAL.	B&B	SKYLINE HONEYLOCUST <i>Gleditsia triacanthos var. inermis 'Skycole'</i>
SB 13	6' HT CLUMP	B&B	AUTUMN BRILLIANCE SERVICEBERRY <i>Amelanchier x grandiflora 'Autumn Brilliance'</i>
SH 86	24" HT	POT	DWARF BUSH HONEYSUCKLE <i>Diervilla lonicera</i>
PG 23	-	POT	KARL FOERSTER FEATHER REED GRASS <i>Calamagrostis x acutiflora Karl Foerster</i>

811
Know what's below.
Call before you dig.

NORTH
SCALE: 1" = 20'

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE- 1"=40'

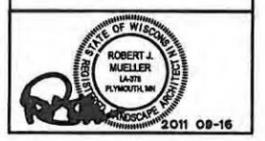


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STORES

KWIK STAR
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INSITES
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602.755.8866



LANDSCAPE PLAN
CONVENIENCE STORE 691
HIGHWAY 51
STEVEN'S POINT, WISCONSIN

NO.	DATE	DESCRIPTION
-	9/8/11	for Submittal
-	9/16/11	for Submittal

DRAWN BY: GRAPHIC
SCALE: 1"=40'
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SHEET **L1**

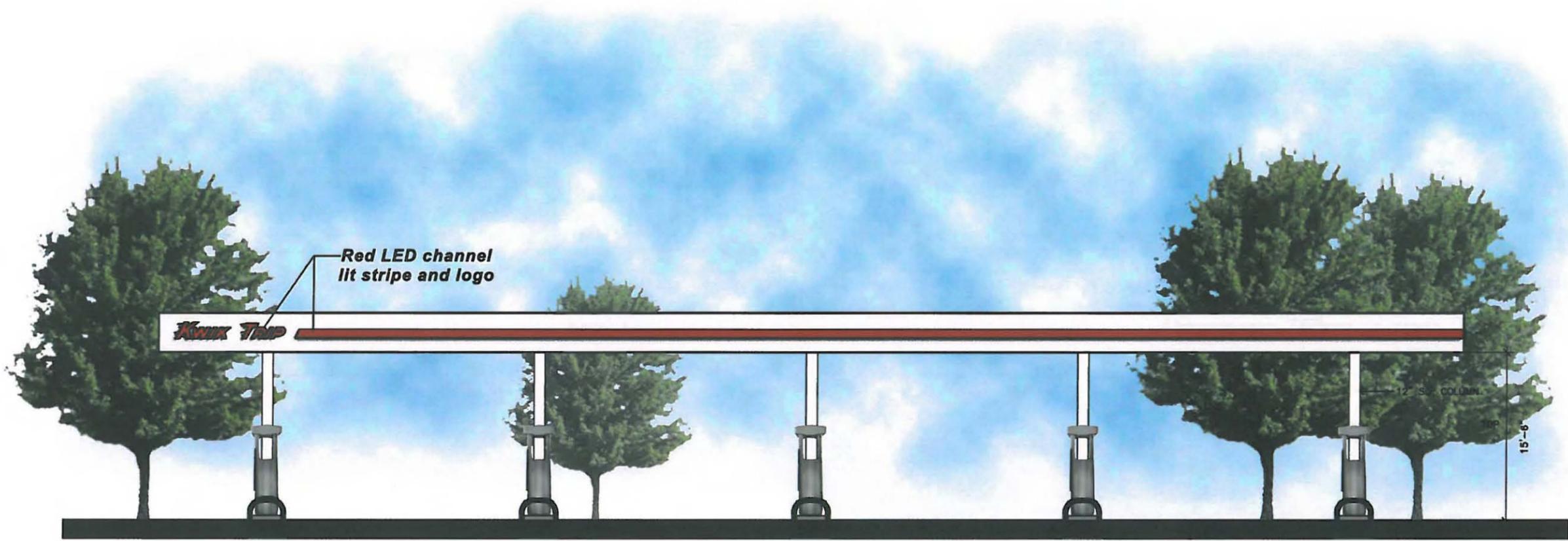
initials 11-032

LARSON
 ARCHITECT

1924 Nakomis Avenue
 La Crosse, WI 54603
 (608) 784 - 6808
 FAX (608) 784 - 6599



FUEL CANOPY



FRONT ELEVATION

SCALE: 3/32" = 1"



SIDE ELEVATION

SCALE: 3/32" = 1"

Revised :
 Date :
 Checked : TPL
 Drawn : CAD
 Project # :

Administrative Staff Report

Ministry Parking Lot and Landscape Review 2501 Main Street and Adjacent Lots October 3, 2011



Department of Community Development

<p>Applicant(s):</p> <ul style="list-style-type: none">• Ministry, Saint Michael’s Hospital• Rettler Corporation <p>Staff:</p> <ul style="list-style-type: none">• Michael Ostrowski, Director Community Development Ph: (715) 346-1567 Fax: (715) 346-1498 mostrowski@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">• 2408-33-2025-04, 2408-33-2025-02, 2408-33-2025-14, 2408-33-2025-13, 2408-33-2025-05, and 2408-33-2025-15 <p>Zone(s):</p> <ul style="list-style-type: none">• "R-5" Multiple Family II Residence District <p>Master Plan:</p> <ul style="list-style-type: none">• Commercial/Office/Multi-Family <p>Council District:</p> <ul style="list-style-type: none">• District 3 – O’Meara <p>Current Use:</p> <ul style="list-style-type: none">• Office/Parking Lot <p>Applicable Regulations:</p> <ul style="list-style-type: none">• 23.01(14)	<p>Request</p> <p>Discussion and possible action on a request from Ministry, Saint Michael’s Hospital, for a site plan review and a modification of the landscape requirements for the reconstruction of an existing parking lot at 2501 Main Street, 2601 Main Street, 1310 Chase Street, 1318 Chase Street, 1317 Cross Street, and Clark Street. Parcel IDs 2408-33-2025-04, 2408-33-2025-02, 2408-33-2025-14, 2408-33-2025-13, 2408-33-2025-05, and 2408-33-2025-15.</p> <p>Attachment(s)</p> <ul style="list-style-type: none">• Parcel ID Sheet• Application• Site and Landscape Plans <p>Staff Recommendation</p> <p>Approve, subject to the following conditions:</p> <ul style="list-style-type: none">• Stormwater requirements must be met as per Public Works department standards.• A permit shall be obtained from the Community Development department for the parking lot construction.• All internal and buffer landscaping shall be irrigated and maintained in perpetuity.• The landscaping shall not cause any vision obstructions. Clearview requirements shall be maintained.• Two additional street trees shall be installed on Cross Street.• Additional landscaping shall be installed along the eastern edge of the parking lot and in front of the building.• Any change in lighting shall be reviewed and approved by staff.
---	---

the property owner has problems complying with the existing standards, including the loss of a significant amount of parking spaces.

In terms of existing parking lots that have over 75 spaces, our Zoning Ordinance requires the following:

Existing lot equal to or greater than 75 spaces: The Plan Commission shall determine if the number of spaces in the existing lot exceed that required by the parking requirements of this ordinance. In the event the parking exceeds the required spaces, the Plan Commission may require compliance with the landscaping setbacks contained in this ordinance even though those requirements may result in the loss of parking spaces. In the event the available parking does not exceed the parking requirements of this ordinance, landscaping shall be added which not result in the loss of parking spaces and shall not decrease the parking dimensions of the reconstructed lot to less than the parking dimensions contained in this ordinance plus one additional foot added to each dimension contained in this ordinance.

With this request, Ministry is also requesting a modification to the landscape requirements. Specifically, they are requesting to have a 6.5' setback, as opposed to the meeting the 15' setback requirement. The 6.5' setback is greater than their existing 18"-24" existing setback. If they are required to meet the 15' setback requirement, there would be a loss of 47 spaces.

This request is also a little unique, as Ministry has several lots in the City, including the Cross lot which is west of this lot, and the lots at the hospital. Ministry uses these lots in conjunction with one another, as some serve as satellite lots for the hospital.

The following is a breakdown of the spaces that are needed for each use, and the spaces that are provided:

Location	Spaces Needed	Square Feet	# of Beds	Code Requirement
2501 Main Street	162	43,484		
Apartment	8			1 per occupant
Hospital	182		182	1 per licensed bed
Rice Clinic	449	129,752		1 per 200 (under 10,000) and 1 per 300 (over 10,000)
	801			
Location	Spaces Provided			
2501 Main Street Lot	194			
Cross Lot	86			
Hospital North	394			
Hospital Ramp	281			
	955			
Spaces Required	801			
Spaces Provided	955			
Shortage/(Surplus)	(154)			

After determining the number of spaces needed for the identified uses and the number of spaces provided, there is a 154 space surplus for the entire campus, and a surplus of 24 for this individual lot.

Figure 1



Figure 2



Figure 3



Figure 4



Standards of Review

- 1) Any parking lot containing ten (10) or more contiguous spaces shall be hard-surfaced with bituminous or Portland cement concrete.

Analysis: The parking lot will be constructed of asphalt.

Findings: This standard is met.

- 2) On the site of a building or open lot use providing an off-street parking area of five (5) or more contiguous spaces, there shall be provided landscaping between such area and the street right-of-way and/or property line.

Analysis: The property is zoned R-5 and this would require a 15' setback around the entire parking lot.

Findings: The current setback of the parking lot is about 18"-24" from the property line, which is short of the 15' required. Ministry is proposing to increase the setback to approximately 6.5'. As noted above, our Zoning

Ordinance allows the Plan Commission to allow modifications to the landscape requirements. One of the key determining factors in determining to make modifications is if the current landscape standards would create a significant loss in parking.

Existing lot equal to or greater than 75 spaces: The Plan Commission shall determine if the number of spaces in the existing lot exceed that required by the parking requirements of this ordinance. In the event the parking exceeds the required spaces, the Plan Commission may require compliance with the landscaping setbacks contained in this ordinance even though those requirements may result in the loss of parking spaces. In the event the available parking does not exceed the parking requirements of this ordinance, landscaping shall be added which not result in the loss of parking spaces and shall not decrease the parking dimensions of the reconstructed lot to less than the parking dimensions contained in this ordinance plus one additional foot added to each dimension contained in this ordinance.

As noted above, Ministry uses several parking lots in conjunction with one another. The parking lot at this location has 194 spaces, and with the current building on this property, it would require 170 spaces. If counting all of the parking lots and uses mentioned above for the Ministry campus, they have 955 spaces, with 801 needed per ordinance requirements. With this being the case, Ministry has a surplus of 24 spaces at this lot, and 154 overall throughout the campus. Please keep in mind that this surplus is driven by what our current ordinance requires. Earlier this year, we reduced our requirement for medical parking from 1 space per 200 square feet to 1 space per 200 square feet under 10,000 square feet and 1 space per 300 square feet over 10,000 square feet. If we were still under the old ordinance requirements, they would actually be short 32 spaces ($226 - 194 = 217$) for this lot individually, or 102 spaces ($1,057 - 955 = 102$) campus wide. While this statement does not advocate that we should go back to the old requirement, it does indicate that some of these uses may require more parking than what our ordinance requires. The change in the ordinance was done to allow those uses who do not require as much parking as our ordinance required, the ability to construct parking facilities that actually represent their intended need. If Ministry is required to install a 15' landscape buffer around the parking lot, they will lose 47 spaces.

While Ministry can meet the ordinance requirements, even with the reduction of 47 spaces, they have indicated that this reduction could impact their operations. Ministry has a large greenspace area to the east of this lot that could be used for additional parking if they are required to meet the 15' buffer. However, staff would recommend that instead of expanding additional parking lot area to the east, and removing mature trees, that the existing parking lot, with the increased buffer area (6.5') be allowed. Staff would recommend that this area be appropriately screened using the landscape standards in the zoning ordinance (23.01(14(f))) with appropriate adjustments to be made by staff. It should also be noted that the boulevard along Clark Street is approximately 10', which is fairly large.

Staff would also recommend that additional landscaping be placed along the eastern edge of the parking lot. In addition, staff would encourage additional landscaping to be provided in front of the building to provide for continuity from the parking lot.

- 3) Parking areas being screened from a public right-of-way, residentially property or parking areas within a residentially developed area: 1 tree per 50 lineal feet - for parking areas being screened from commercial or industrial zoned district: 1 tree per 75 lineal feet. Any off-street parking spaces or parking lot abutting the public street right-of-way or property zoned R-1, R-2, R-3, and R-4 or used for residential purposes shall provide continuous screening.**

Analysis: Street trees already exist in the right-of-way area along Clark and Main Street.

Findings: This standard is met along Clark and Main Street. Staff would recommend the installation of two additional trees along Cross Street.

- 4) Not less than two percent of the parking lot area, excluding the perimeter landscaping shall be landscaped with interior plantings dispersed throughout the lot and shall consist mainly of overstory/understory trees. Each separate landscaped planter island shall contain a minimum of two hundred (200) square feet of area, with one minimum dimension being ten (10) feet.**

Analysis: Ministry has presented a plan that reconfigures the lot to add additional internal landscape islands. The total internal percentage is 4.2%.

Findings: This standard is met.

- 5) Protection of Landscape Strips and Plantings from Vehicular Encroachment. One of the following methods must be provided to eliminate vehicular encroachment in an area where parking spaces abut a landscaped area of the site: Wheel stops of masonry, steel, or heavy timber construction shall be provided at a distance of two (2) feet from the edge of the planting area. The parking space shall not extend into the required parking area setback unless approved. Curb. If curb is used, a minimum five (5) foot landscape strip shall be required. It is intended that two (2) feet of said strip may be utilized for vehicle overhang and may be credited to stall depth.**

Analysis: Curb will be installed around the entire parking lot.

Findings: This standard is met.

Name and Address	Parcel #	Alt Parcel #
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481	240833202504	240833202504
	Property Address	
Display Note	2501 Main St	

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
St Michael's Hospital of	5/1/2000	\$1,529,700	Warranty Deed W/Add'L	57	3401	Land & Build.

PERMITS

Date	Number	Amount	Purpose	Note
9/1/2005	33524	\$1,403	066 Plumbing	replace hwh
8/4/2003	31805	\$52,279	042 Interior Renov/Remodel	Remodel Offices sleep lab & cardiology
8/8/2002	30989	\$900,000	042 Interior Renov/Remodel	
7/29/2002	30978	\$16,000	042 Interior Renov/Remodel	
7/11/2002	30926	\$6,000	099 Sign	
3/26/2002	30681	\$6,000	099 Sign	

2011 ASSESSED VALUE

Class	Land	Improvements	Total
X5-Other Exempt	\$0	\$0	\$0
Total	\$0	\$0	\$0

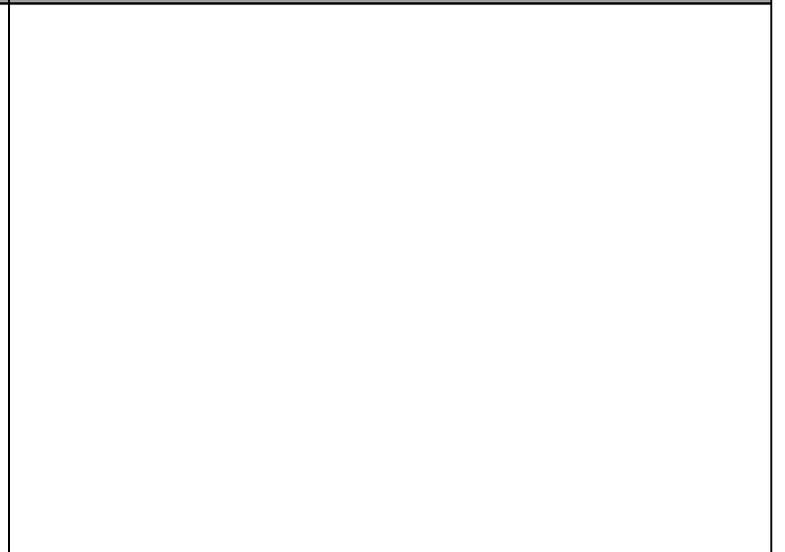
LEGAL DESCRIPTION

BEG NW COR OF COLLINS & O ADD TH E 100' TH N 2', TH E 158' TH N 114' TO SL MAIN TH W 258', TH S 116' TO POB BNG PRT NE NW S33 T24 R8 573401

PROPERTY IMAGE



PROPERTY SKETCH



Name and Address	Parcel #	Alt Parcel #
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481	240833202502	240833202502
	Property Address	
	2601 Main St	
Display Note		

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
St Michael's Hospital of	5/1/2000	\$1,529,700	Warranty Deed W/Add'L F	57	3401	Land

PERMITS

Date	Number	Amount	Purpose	Note

2011 ASSESSED VALUE

Class	Land	Improvements	Total
X5-Other Exempt	\$0	\$0	\$0
Total	\$0	\$0	\$0

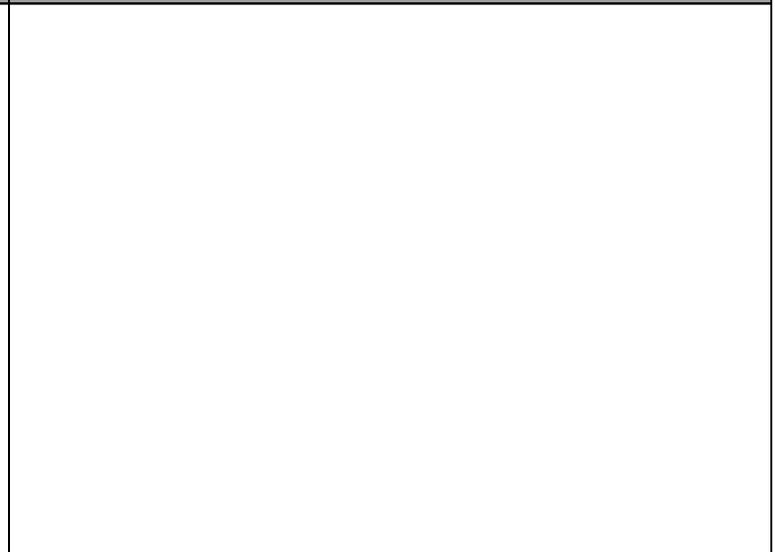
LEGAL DESCRIPTION

PRT NE NW BNG A LOT 67 1/2' BY 115' DES IN 116/98 & 110/455 S33 T24 R8 573401

PROPERTY IMAGE



PROPERTY SKETCH



Name and Address	Parcel #	Alt Parcel #	Land Use
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481	240833202514	240833202514	Residential
	Property Address		Neighborhood
	1310 Chase St		29 Central (Residential)
	Subdivision		Zoning
Display Note	I Fays & J G Spauldings Addn		R5-MULTI-FAMILY II

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
St Michael's Hospital of	5/1/2000	\$1,529,700	Warranty Deed W/Add'L F	57	3401	Land & Build.

SITE DATA

PERMITS

Actual Frontage	48.0	Date	Number	Amount	Purpose	Note
Effective Frontage	48.0	9/12/2001	30231	\$0	070 Raze/Demolition	raze house
Effective Depth	134.0					
Square Footage	6,432.0					
Acreage	0.148					

2011 ASSESSED VALUE

Class	Land	Improvements	Total
A-Residential	\$13,500	\$0	\$13,500
Total	\$13,500	\$0	\$13,500

LEGAL DESCRIPTION

PRCL A CSM #556-2-216 BNG PRT LOTS 1, 2, & 3 BLK 5 FAY & SPAULDING ADD 573401 575477

DWELLING DATA (0 of 0)

Style		Basement		Exposed	
Ext. Wall		Heating			
Story Height		Age		Fuel Type	
Year Built	0	Eff. Year	0	System Type	
Class		Total Rooms		Bedrooms	
Int. Cond. Relative to Ext.		Family Rooms			
Physical Condition		Full Baths		Half Baths	
Kitchen Rating		Bath Rating			

FEATURES

ATTACHMENTS

Description	Units	Description	Area

Name and Address	Parcel #	Alt Parcel #	Land Use
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481	240833202514	240833202514	Residential
	Property Address		Neighborhood
	1310 Chase St		29 Central (Residential)
	Subdivision		Zoning
Display Note	I Fays & J G Spauldings Addn		R5-MULTI-FAMILY II

LIVING AREA

Description	Gross Area	Calculated Area
Basement Finished Basement Living Area First Story Second Story Additional Story Attic / Finished Half Story / Finished Attic / Unfinished Half Story / Unfinished Room / Unfinished Total Living Area		

DETACHED IMPROVEMENTS

Description	Year Built	Square Feet	Grade	Condition

PROPERTY IMAGE

PROPERTY SKETCH

NO IMAGE ON FILE	
------------------	--

Name and Address		Parcel #	Alt Parcel #	Land Use
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481		240833202513	240833202513	Vacant Land - Residential
		Property Address		Neighborhood
		1318 Chase St		29 Central (Residential)
		Subdivision		Zoning
Display Note	I Fays & J G Spauldings Addn		R5-MULTI-FAMILY II	

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
St Michael's Hospital of The Rice Clinic S.C.	5/1/2000	\$1,529,700	Warranty Deed W/Add'L	57	3401	Land & Build.
	8/1/1987	\$39,000	Warranty Deed	497	79	Land & Build.

SITE DATA

PERMITS

Actual Frontage	48.0	Date	Number	Amount	Purpose	Note
Effective Frontage	48.0	6/17/2002	30839	\$0	070 Raze/Demolition	
Effective Depth	134.0					
Square Footage	6,432.0					
Acreage	0.148					

2011 ASSESSED VALUE

Class	Land	Improvements	Total
A-Residential	\$13,500	\$0	\$13,500
Total	\$13,500	\$0	\$13,500

LEGAL DESCRIPTION

PRCL B CSM #556-2-216 BNG PRT LOTS 1, 2, & 3 BLK 5 FAY & SPAULDING ADD 573401

DWELLING DATA (0 of 0)

Style		Basement		Exposed	
Ext. Wall		Heating			
Story Height		Age		Fuel Type	
Year Built	0	Eff. Year	0	System Type	
Class		Total Rooms		Bedrooms	
Int. Cond. Relative to Ext.		Family Rooms			
Physical Condition		Full Baths		Half Baths	
Kitchen Rating		Bath Rating			

FEATURES

ATTACHMENTS

Description	Units	Description	Area

Name and Address		Parcel #	Alt Parcel #	Land Use
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481		240833202513	240833202513	Vacant Land - Residential
		Property Address		Neighborhood
		1318 Chase St		29 Central (Residential)
		Subdivision		Zoning
Display Note		I Fays & J G Spauldings Addn		R5-MULTI-FAMILY II

LIVING AREA

Description	Gross Area	Calculated Area
Basement Finished Basement Living Area First Story Second Story Additional Story Attic / Finished Half Story / Finished Attic / Unfinished Half Story / Unfinished Room / Unfinished Total Living Area		

DETACHED IMPROVEMENTS

Description	Year Built	Square Feet	Grade	Condition

PROPERTY IMAGE

PROPERTY SKETCH



Name and Address	Parcel #	Alt Parcel #
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481	240833202505	240833202505
	Property Address	
Display Note	1317 Cross St	

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
St Michael's Hospital of	5/1/2000	\$1,529,700	Warranty Deed W/Add'L	57	3401	Land & Build.

PERMITS

Date	Number	Amount	Purpose	Note
10/30/2003	32043	\$5,500	032 Furnace (HVAC)	new bath/kitchen/reception replacement
10/1/2003	31976	\$35,600	042 Interior Renov/Remodel	
9/12/2000	29422	\$1,425	032 Furnace (HVAC)	

2011 ASSESSED VALUE

Class	Land	Improvements	Total
X5-Other Exempt	\$0	\$0	\$0
Total	\$0	\$0	\$0

LEGAL DESCRIPTION

LOTS 6 & 7 BLK 5 COLLINS & O ADD TO FAY & SPAULDING ADD 573401

PROPERTY IMAGE



PROPERTY SKETCH

Name and Address		Parcel #	Alt Parcel #
St Michael's Hospital of Stevens Point Inc 900 Illinois Ave Stevens Point, WI 54481		240833202515	240833202515
		Property Address	
Display Note			

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
St Michael's Hospital of	5/1/2000	\$1,529,700	Warranty Deed W/Add'L	57	3401	Land

PERMITS

Date	Number	Amount	Purpose	Note

2011 ASSESSED VALUE

Class	Land	Improvements	Total
X5-Other Exempt	\$0	\$0	\$0
Total	\$0	\$0	\$0

LEGAL DESCRIPTION

S 132' LOTS 1 & 2 BLK 5 FAY & SPAULDING & LOTS 4, 5, 8, 9 & 10 BLK 5 COLLINS & O'S ADD TO FAY & SPAULDING ADD 573401

PROPERTY IMAGE

PROPERTY SKETCH

NO IMAGE ON FILE

REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION

ADDRESS OF PROPERTY: 2501 Main Street

- Zoning Ordinance Change (\$90.00 fee required)
- Conditional Use Permit (\$90.00 fee required)
- Variance from Zoning Ordinance -Board of Appeals (\$90.00 fee required)
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

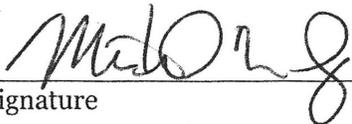
REQUESTED CHANGE: (State briefly what is being requested, and why).

Site Plan Review - Parking Lot Redevelopment Project

OWNER/APPLICANT:

Name: Ministry, Saint Michael's Hospital
Address: 900 Illinois Ave.
Stevens Point WI, 54481
(City, State, Zip Code)

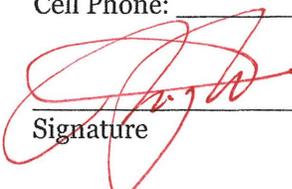
Telephone: (715) - 346 - 5443
Cell Phone: _____


Signature

AGENT FOR OWNER/APPLICANT:

Name: Retzler Corporation
Address: 3317 Business Park Dr.
Stevens Point WI, 54482
(City, State, Zip Code)

Telephone: (715) - 341 - 2633
Cell Phone: _____


Signature

Scheduled Date of Plan Commission Meeting: October 4th, 2011

Scheduled Date of Common Council Meeting: October 17th, 2011

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at
the Community Development Office three weeks prior to the actual meeting.

\$90.00 Fee Required for Rezoning Requests, Variances, and Conditional Use Permits

Receipt # _____

LEGEND

These standard symbols will be found in the drawing.

- LIGHT POLE
- POWER POLE
- GUY
- TELEPHONE PEDESTAL
- ELECTRICAL BOX
- TELEPHONE MANHOLE
- SANITARY MANHOLE
- WATER MANHOLE
- STORM MANHOLE
- UTILITY MANHOLE
- CATCH BASIN
- CATCH BASIN
- CATCH BASIN
- WATER VALVE
- HYDRANT
-
- #6 RE-BAR FOUND
- #6 RE-BAR SET
- COMPUTED PROPERTY CORNER
- HARRISON MONUMENT FOUND
- FENCE
- SANITARY SEWER
- STORM SEWER
- POWER OVERHEAD
- BURIED ELECTRIC
- BURIED GAS
- BURIED TELEPHONE
- WATERMAIN
- FIBER OPTICS
- EDGE OF BITUMINOUS
- FLAG POLE
- TREE
- PINE TREE
- BUSH/SHRUB
- ELECTRIC METER
- GAS METER
- GAS VALVE
- CONTOUR LINE
- SPOT ELEVATION
- SIGN
- SPRINKLER HEAD
- ELECTRIC OUTLETS
- WOODCHIPS
- PLAY EQUIPMENT
- POLE
- BENCH
- ROCKS
- VENT PIPE
- BASKETBALL HOOP
- SWING
- IRRIGATION BOX

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS-LOCATIONS ARE APPROXIMATE.

PRIVATE UTILITIES MAY EXIST, BUT ARE NOT SHOWN ON THE MAP. CONTACT DIGGERS HOTLINE FOR LOCATIONS.

FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZES AND THEIR LOCATIONS.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE. (TICKET #)

DESCRIPTION

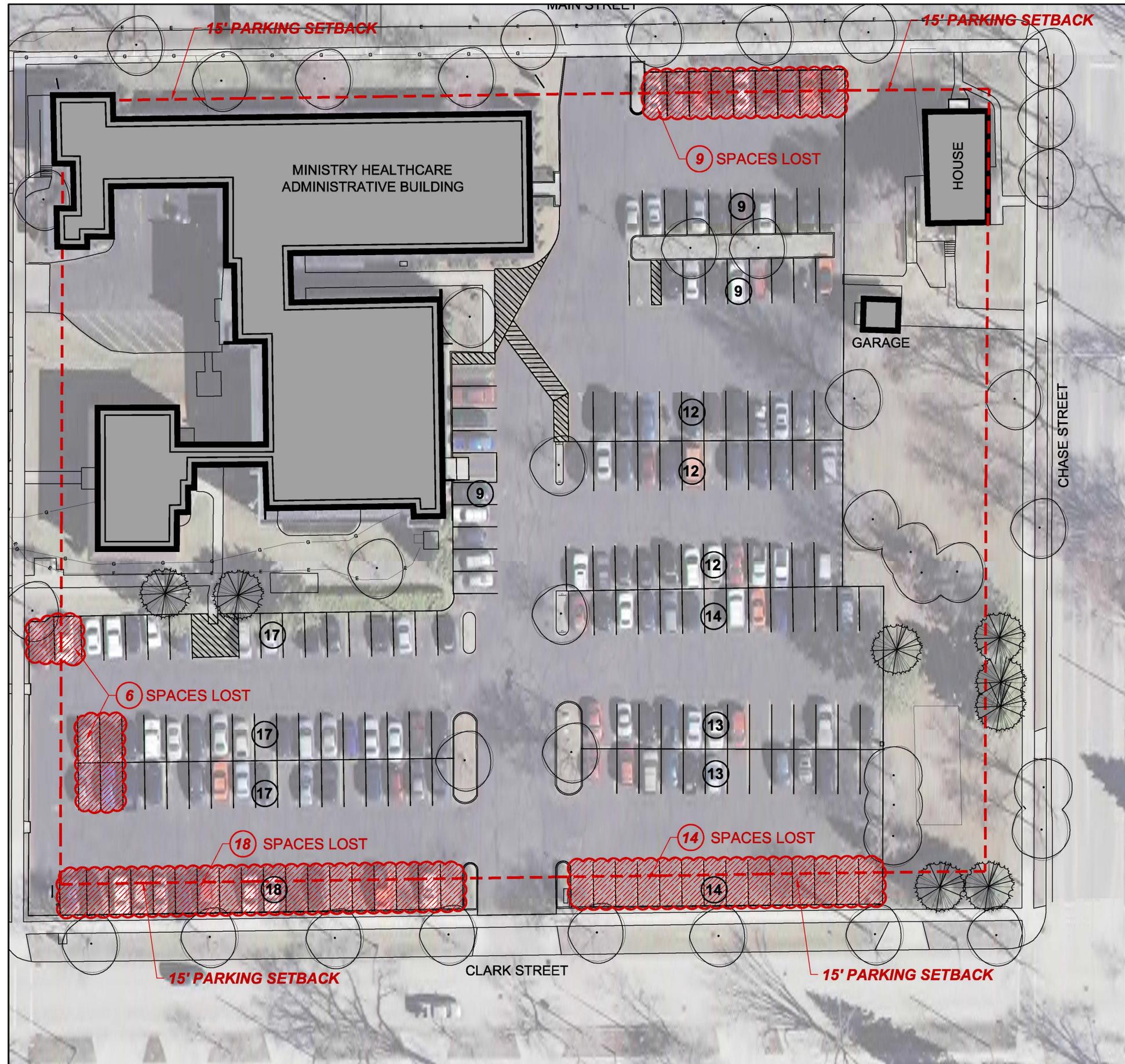
LOCATED IN THE XXXXXX XXXXX XXXX XXXXXXXX
 XXXXX XXXXX XXXXX XXXXX XXXXXXXX XXXXX
 XXXXX XXXXX, WISCONSIN

SURVEYOR'S CERTIFICATE

I, ERNEST WOORSTER, REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF A TOPOGRAPHICAL SURVEY AS MADE BY ME ON 00/00/2010.

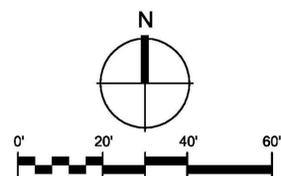
DATED THIS DAY OF ____ DAY OF ____

SIGNED
 ERNEST WOORSTER, RLS #1741



PARKING REVELOPMENT ANALYSIS

- EXISTING PARKING SPACES ■ **194 SPACES**
- SPACES LOST (15' SETBACK) ■ **47 SPACES**
- USABLE SPACES (15' SETBACK) ■ **147 SPACES**



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REV DATE ISSUED FOR

DRAWN: R. RETTLER
 CHECKED: R. RETTLER
 DOCUMENT NO. 10.051

RETTLER
 corporation
 3317 Business Park Drive, Stevens Point, WI 54482
 Telephone: 715-341-2833, Fax: 715-341-0431
 email: info@rettler.com, website: www.rettler.com

TOPOGRAPHIC MAP

MINISTRY HEALTHCARE
 PARKING LOT 2501 REDEVELOPMENT
 2501, MAIN STREET
 STEVENS POINT, WISCONSIN

SITE LAYOUT GENERAL NOTES

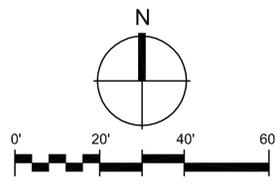
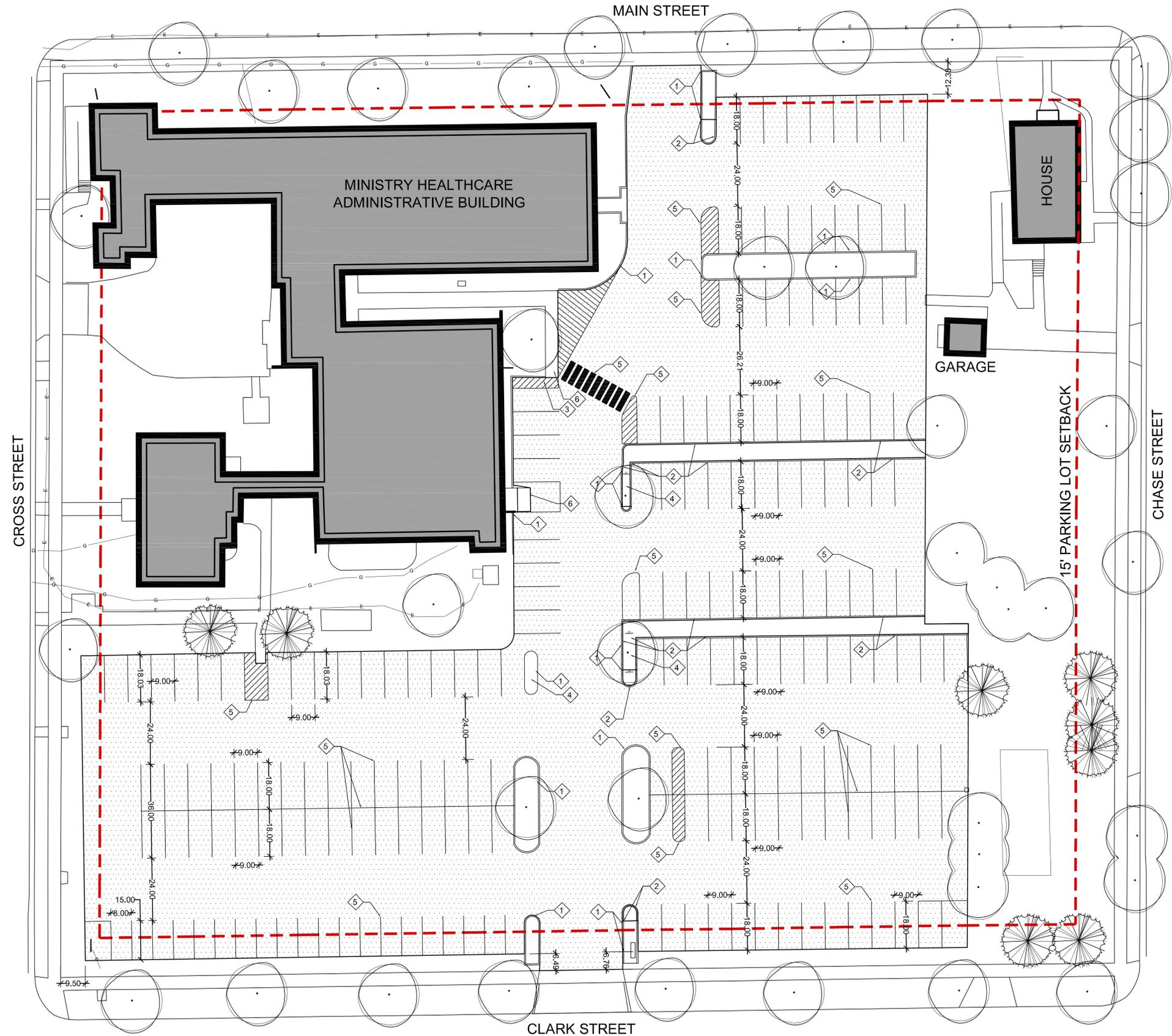
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR AND INCLUDED IN THE BASE BID.
- ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO THE BID DATE.
- DO NOT DISTURB AREA OUTSIDE PROJECT LIMITS.

SITE LAYOUT KEY NOTES

- ① EXISTING CURBING TO REMAIN
- ② 6" CURB *MATCH EXISTING*
- ③ CURB TERMINUS
- ④ CONCRETE MEDIAN
- ⑤ PARKING LOT STRIPING
- ⑥ HANDI CAP RAMP W / DETECTABLE WARNING FIELD

SITE LAYOUT LEGEND

ASPHALTIC CONCRETE PAVEMENT
DENSE GRADED BASE - BY OTHERS



REV	DATE	ISSUED FOR

DRAWN: R. RETTLER
CHECKED: R. RETTLER
DOCUMENT NO.: 10.051

RETTLER
Corporation
3377 Business Park Drive, Stevens Point, WI 54481
Telephone: 715-341-2633, Fax: 715-341-0431
email: info@rettler.com, website: www.rettler.com

SITE LAYOUT PLAN

MINISTRY HEALTHCARE
PARKING LOT 2501 REDEVELOPMENT
2501, MAIN STREET
STEVENS POINT, WISCONSIN

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SITE LANDSCAPE PLAN - GENERAL NOTES

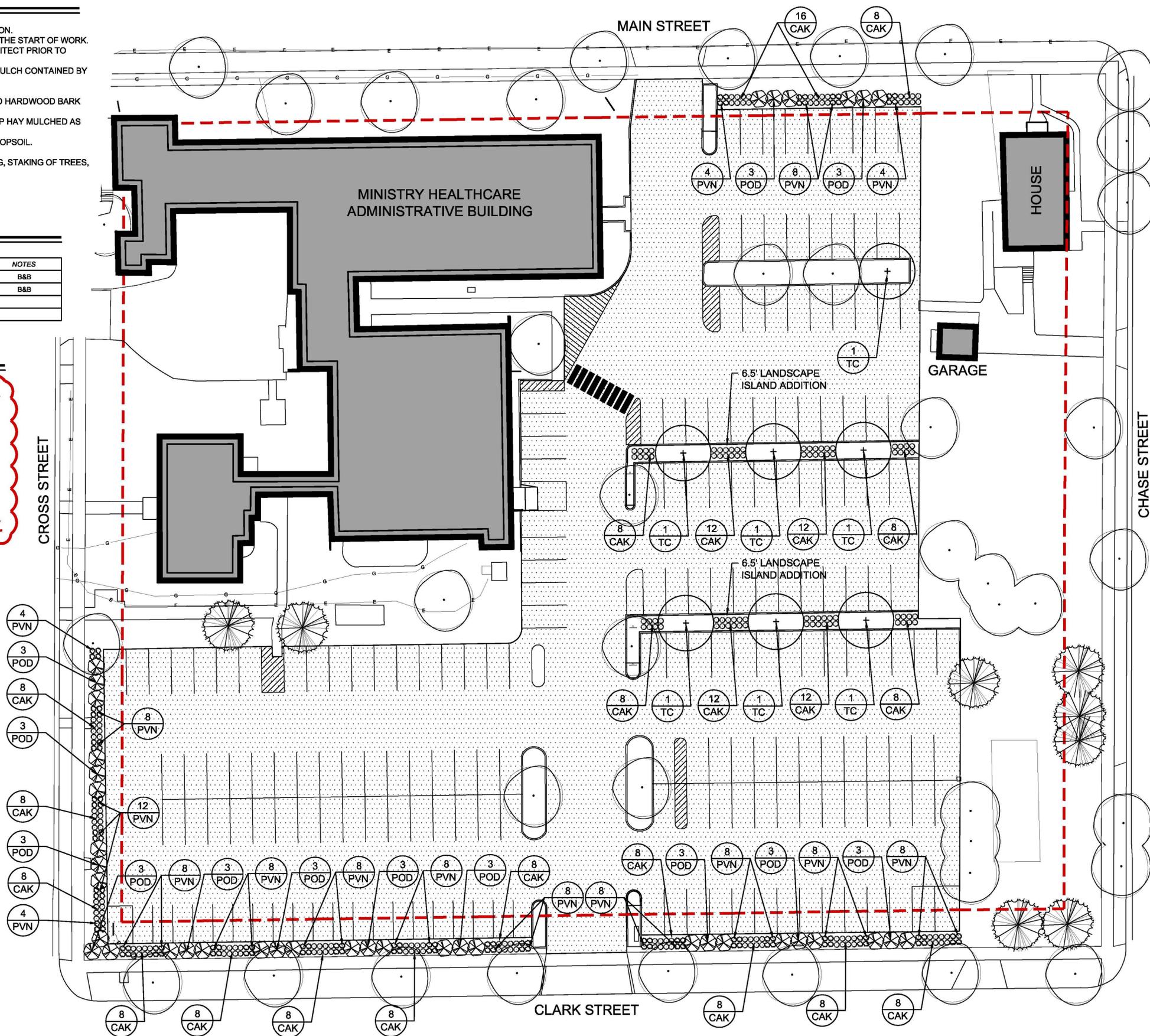
- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL PLANTS SHALL BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL GENERAL TURF AREAS SHALL BE FINISH GRADED, SEEDED, FERTILIZED, AND CRIMP HAY MULCHED AS PER THE PROJECT MANUAL SPECIFICATIONS.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- PLANTING SCHEDULE REPRESENTS QUANTITIES FOR BASE BID ONLY.
- SEE DETAILS FOR PLANTING INSTALLATION.

SITE LANDSCAPE PLAN - PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	NOTES
TC	Tilia Cordata	American Linden	7	2.0" Cal.	B&B
POD	Physocarpus Opulifolius 'Darts Golden'	'Darts Golden' Ninebark	39	2.0" Cal.	B&B
PVN	Panicum Virgatum 'Northwind'	'Northwind' Switch Grass	116	24" Cont.	
CAK	Calamagrostis x acutiflora 'Karl Foerster'	'Karl Foerster' Feather Reed Grass	200	24" Cont.	

SITE LANDSCAPE ADDITION ANALYSIS

- OVERALL REDEVELOPMENT AREA ■ **75,143 S.F.**
- LANDSCAPE BUFFER ADDITIONS ■ **5,240 S.F.**
- LANDSCAPE ADDITION % ■ **7.0%**
- INTERNAL LANDSCAPING % ■ **4.2%**
- DEVELOPABLE GREEN SPACE ■ **18,300 S.F.**



REV	DATE	ISSUED FOR

DRAWN: R. RETTLER
 CHECKED: R. RETTLER
 DOCUMENT NO: 10.051

RETTLER Corporation
 3377 Business Park Dr., Stevens Point, WI 54481
 Telephone: 715-341-2853, Fax: 715-341-0431
 email: info@rettler.com, website: www.rettler.com

SITE LANDSCAPE PLAN

MINISTRY HEALTHCARE
 PARKING LOT 2501 REDEVELOPMENT
 2501, MAIN STREET
 STEVENS POINT, WISCONSIN

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Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Michael Ostrowski
CC:
Date: 9/27/2011
Re: Letter of Map Revision (LOMR) – Big Plover River

A letter was sent out to the residents by the City Engineer earlier this year indicating the following:

The Flood Insurance Rate Map (FIRM) for a community depicts land which has been determined to be subject to a 1% (100-year) or greater chance of flooding in any given year. The FIRM is used to determine flood insurance rates and to help the community with floodplain management.

AECOM has been hired by the City of Stevens Point, and is applying for a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency (DHS-FEMA) on behalf of the City of Stevens Point to revise FIRM 55097C0220D and FIRM 55097C0331D for the City along the Big Plover River. AECOM is proposing to revise the FIRM to reflect updated operational procedures at the McDill Dam. A link to the FIRM map for your area can be found at www.stevenspoint.com/flood.

The Letter of Map Revision will result in:

- 1. Establishment of Base (1% annual chance) Flood Elevations (BFEs) on the Big Plover River from the City of Stevens Point/Village of Whiting municipal boundary to approximately 80 feet downstream of the Patch Street Bridge. Currently, the flooding along the Big Plover River at McDill Pond is based on an approximate study and specific flood elevations are not established. In 2009 AECOM updated the Inspection, Operation, and Maintenance (IOM) Plan for McDill Dam. The updated IOM identified water elevations to be maintained on McDill Pond. The proposed floodplain mapping is based on a new hydraulic (backwater) study and the water level control procedures identified in the IOM. The proposed BFE for McDill Pond within the study area is +1,066.00 feet NAVD88. The proposed geographic limits of flooding are based on topographic contouring provided by Aero-Metric, Inc. to the City of Stevens Point.*
- 2. Revising the geographic extents of the 1% annual chance floodplain to follow the*

+1,066-foot contour. In some instances, the floodplain width is reduced by 200 feet or more. There are no locations where the 1% annual chance floodplain width will be increased.

This letter is to inform you of the establishment of Base Flood Elevations and revision of the 1% annual chance floodplain on your property at {insert physical address}. The revision in the floodplain may reduce or remove flood insurance requirements by lenders on properties with a mortgage or possibly reduce your rates. If you have a mortgage or are required to maintain flood insurance you may want to contact your lender to determine if they will require coverage given the modifications to the floodplain.

A summary of typical questions and answers regarding the revisions to the base flood elevations is available online at www.stevensPoint.com/flood.

In order for this change to take effect, the Plan Commission must make a recommendation to the Common Council. This LOMR will reduce the floodplain and possibly eliminate the need for many households to obtain flood insurance. As indicated in the enclosed letter from FEMA, the effective date of the revision is October 31, 2011, because of the needed time period for appeals.

The maps indicating the respective areas are enclosed.

Staff would recommend approval of this LOMR.



Federal Emergency Management Agency

Washington, D.C. 20472

JUL 13 2011

RECEIVED JUL 18 2011

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

IN REPLY REFER TO:
Case No.: 10-05-7569P

The Honorable Andrew Halverson
Mayor, City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481

Community: City of Stevens Point, WI
Community No.: 550342
Panels Affected: 55097C0220D and
55097C0331D

Effective Date of
Revision: October 31, 2011

153-L

Dear Mayor Halverson:

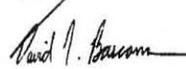
Enclosed is a copy of the letter sent to your community notifying you of the revision to the Flood Insurance Rate Map and Flood Insurance Study report for Portage County, WI and Incorporated Areas. Due to an unexpected problem in the process of public notification, the notice of modifications to the Base (1-percent-annual-chance) Flood Elevations (BFEs) was not published in the *Portage County Gazette*. Because the 90-day period for appeals and comments cannot officially begin until the notice has been published, it will be published in the *Portage County Gazette* on July 15, 2011 and July 22, 2011. A copy of this notification is also enclosed.

The revised BFEs are effective as of the date presented in the Letter of Map Revision (LOMR) dated June 12, 2011. However, within 90 days of the second publication in the *Portage County Gazette*, a citizen may ask the Department of Homeland Security's Federal Emergency Management Agency (FEMA) to reconsider this determination. Any request for reconsideration must be based on scientific or technical data. All interested parties are on notice that, until the 90-day period elapses, the FEMA determination to modify BFEs may itself be modified.

The map panels as listed above and as amended by the enclosed LOMR will be used for all flood insurance policies and renewals issued for your community.

If you have any questions regarding the necessary floodplain management measures for your community or the National Flood Insurance Program in general, please contact the Director, Mitigation Division of FEMA in Chicago, IL, at (312) 408-5364. If you have any questions regarding the LOMR, the proposed modified BFEs, or mapping issues in general, please contact the FEMA Map Information eXchange (FMIX), toll free, at 1-877-FEMA MAP (1-877-336-2627).

Sincerely,



David N. Bascom, CFM, Program Specialist
Engineering Management Branch
Federal Insurance and Mitigation Administration

Enclosures: -Notification letter to community of revision to the FIRM and FIS report
-Copy of Newspaper notice to be published in the *Portage County Gazette* on July 15 and July 22, 2011

cc: Mr. Peter J. Diemer, P.E.
AECOM
1035 Kepler Drive
Green Bay, WI 54311

Mr. Alex Saunders
City Engineer
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481

Mr. Brent Curless
Zoning Administrator
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481

Mr. Joel Lemke
Director of Dept. of Public Works
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481

Mr. Gary Heinrichs, WT/3
Wisconsin Dept. of Natural Res.
101 S. Webster
Madison, WI 53702

except that the city is not precluded from applying, accepting and contracting for federal grants, advances and loans under the housing and community development act of 1974 (P.L. 93-383).

66.1331(4) Power of cities.

- a) A city may exercise all powers necessary or convenient to carry out and effectuate the purposes and provisions of this section, including all of the following:
 1. Prepare redevelopment plans and undertake and carry out redevelopment projects within its corporate limits.
 2. Enter into any contracts determined by the local legislative body to be necessary to effectuate the purposes of this section.
 3. Within its boundaries, acquire by purchase, eminent domain or otherwise, any real or personal property or any interest in that property, together with any improvements, necessary or incidental to a redevelopment project; hold, improve, clear or prepare for redevelopment any such property; sell, lease, subdivide, retain for its own use, mortgage, or otherwise encumber or dispose of any such property or any interest in that property; enter into contracts with redevelopers of property containing covenants, restrictions, and conditions regarding the use of the property in accordance with a redevelopment plan and other covenants, restrictions and conditions that it deems necessary to prevent a recurrence of blighted areas or to effectuate the purposes of this section; and make any covenants, restrictions, conditions or covenants running with the land and provide appropriate remedies for their breach.
 4. Borrow money and issue bonds, and apply for and accept advances, loans, grants, contributions, and any other form of financial assistance from the federal, state or county government, or other public body or from any sources, for the purpose of this section; and give security as may be required and enter into and carry out contracts in connection with the security.
- b) Condemnation proceedings for the acquisition of real property necessary or incidental to a redevelopment project shall be conducted in accordance with ch. 32 or any other laws applicable to the city.
- c) Notwithstanding any other provision of law, the local legislative body may designate, by ordinance or resolution, any local housing authority existing under ss. 66.1201 to 66.1211, any local redevelopment authority existing under s. 66.1333, or both jointly, or any local community development authority existing under s. 66.1335, as the agent of the city to perform any act, except the development of the general plan of the city, which may otherwise be performed by the planning commission under this section.

The CDA is the body under the law who is allowed to acquire and prepare this property for

redevelopment. With this said, the CDA should be the body who carries out the redevelopment of this property going forward.

Since this proposed project is a multi-family development, the development will require a conditional use permit and will be back in front of the Plan Commission at a later date for this request. The request before you today is just to transfer this property to the CDA. On September 19, 2011, the Common Council passed a resolution by a 2/3s vote allowing the CDA to acquire this property without the creation of a redevelopment plan, if the CDA finds the property to be blighted. The CDA will be holding a public hearing on the determination of blight on October 11, 2011.

In addition, if any tax incremental financing incentives are used to carry out the redevelopment of this property, a development agreement will need to be entered into by all parties, including the developer, CDA, and City.

Staff would recommend the approval of the transfer of property.

Name and Address		Parcel #	Alt Parcel #
City of Stevens Point 1515 Strongs Ave Stevens Point, WI 54481		240832200301	240832200301
		Property Address	
Display Note		1017 Third St	

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
City of Stevens Point Gerrard Corporation	8/26/2008	\$532,000	Warranty Deed	722025		Land
	7/1/2002	\$425,000	Warranty Deed	610381		Land

PERMITS

Date	Number	Amount	Purpose	Note
3/3/1997	26498	\$0	070 Raze/Demolition	Raze All Buildings

2011 ASSESSED VALUE

Class	Land	Improvements	Total
X4-Local Exempt	\$0	\$0	\$0
Total	\$0	\$0	\$0

LEGAL DESCRIPTION

ALL BLK 33 & LOTS 1-6 & 10 W33' LOT 13 BLK 34 V BROWN ADD & PRT NE NW S32 T24 R8 COM SW COR BLK 33 BROWN ADD E289' S95' W289' N95' & VAC MEADOW ST ABUT SD BLK 34 EXC HWY DES IN 443/116 & 119 722025

PROPERTY IMAGE

PROPERTY SKETCH

NO IMAGE ON FILE