

AGENDA (*Amended*)
CITY PLAN COMMISSION

Tuesday, January 3, 2012 – 6:00 PM (or immediately following previously scheduled meeting)

Lincoln Center – 1519 Water Street, Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

Discussion and possible action on the following:

1. Report of the December 5, 2011 Plan Commission meeting.
2. Request from Schierl, Inc., for a sign variance to allow a free standing sign that exceeds 20 feet in height and 150 square feet in area to be located at **3423-3425 Main Street (Parcel ID 2408-33-1019-18)**.
3. Request from Save-A-Lot, for a sign variance to allow a second free standing sign without removing an existing nonconforming sign at **3260-3274 Church Street (Parcel ID 2308-04-3008-06)**.
4. Request from Save-A-Lot, for a sign variance to allow an additional wall sign of approximately 115 square feet in area at **3260-3274 Church Street (Parcel ID 2308-04-3008-06)**.
5. Request from the City of Stevens Point, for a conditional use permit and project review for the construction of a Municipal Transit Center to be located at **2700 Week Street (Parcel ID 2308-01-2200-04)**.
6. Request from the City of Stevens Point, for the conveyance of rights of land near the intersection of CTH HH and Hoover Avenue.
- * 7. Submission of a Community Development Block Grant application for housing rehabilitation and related activities.
8. Other business.
9. Adjourn.

Any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715)346-1569, TDD# 346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

REPORT OF CITY PLAN COMMISSION

Monday, December 5, 2011 – 6:00 PM
Lincoln Center

PRESENT: Chairperson Mayor Halverson, Alderperson Jerry Moore, Commissioner Tony Patton, Commissioner Anna Haines, Commissioner Shari Laskowski, and Commissioner Maurice Rice.

ALSO PRESENT: Community Development Director Michael Ostrowski, Alderperson Marge Molski, Alderperson Roger Trzebiatowski, Alderperson Randy Stroik, Alderperson Mary Stroik, Alderperson Brian Brooks, Alderperson Jeremy Slowinski, David Glodowski, B.C. Kowalski, Matthew Brown, Steve Winter, Teri Winter, Cathy Dugan, Bernard Landerman, David Enerson, Chris Meyer, John Baehr, Ross Rettler, and Jay Johnson.

INDEX:

1. Persons wishing to address the Plan Commission on any Plan Commission agenda item(s) for up to an aggregate of five (5) minutes.

Discussion and possible action on the following:

2. Reports of the November 7, 2011 and November 16, 2011 Plan Commission meetings.
 3. Request from NAPA for a parking lot review and a reduction in the required number of parking spaces for the NAPA Distribution Center project located at **5101 Coye Drive (Parcel ID 2308-02-2000-08)**.
 4. Parking lot review for the Copps Food Center project located at **1440 Pinecrest Avenue (Parcel ID 2408-33-1019-46)**.
 5. Request from the McDill Lake District, for a conditional use permit to dredge **portions of property of the South Channel of the McDill Pond lake bed south of Heffron Street and near Della Street. Parcel IDs 2308-04-4015-14, 2308-04-4020-01, and an unnumbered parcel.**
 6. Request from Chris and Amy Meyer, for a conditional use permit to dredge **portions of property of the McDill Pond lake bed, near 3916 Bonnie Bay Court and Nebel Street. Parcel IDs 2308-03-3301-25, 2308-03-3301-28, and 2308-03-3200-15.**
 7. Amending the City of Stevens Point Zoning Ordinance to allow parking lot landscape reviews, regardless of the number of parking spaces, to be reviewed and approved by Staff (modify Section 23.01(14)(f) of the Revised Municipal Code of the City of Stevens Point).
 8. Holding public hearings at the Plan Commission meetings as opposed to the Common Council meetings.
 9. Updating Chapter 23 (Zoning) of the Revised Municipal Code of the City of Stevens Point.
 10. Adjourn.
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1. Persons wishing to address the Plan Commission on any Plan Commission agenda item(s) for up to an aggregate of five (5) minutes.

Mary Ann Laszewski, 1209 Wisconsin Street, stated she is not in favor of agenda item 8. She feels it would be best to hold the public hearings in front of elected officials, rather than appointed officials. The Plan Commission already has a lot to do, and there are a significant amount of absentees. The Alderpersons are required to attend the Common Council meetings. Ms. Laszewski feels that the minutes of the meetings are only a synopsis of what occurs, and the Common Council may not get

the full information. She feels it is different when constituents are able to look alderpersons in the eye and speak to them about the agenda item. Ms Laszewski believes that the public deserves a captive audience and the attention of their elected officials. The Plan Commission is only an advisory committee. By changing the public hearings, it is an attempt to weaken public involvement in city government, an attempt to shuffle issues, and to remove the citizen's voices.

Aldersperson Trzebiatowski, 7th District, stated that he is in favor of agenda item 4, the Copps Food Center parking lot review. He does have a concern for the area on Texas, by Algoma, with the hope that Copps or the City looks at the potential of a bus stop at this location. In addition, Aldersperson Trzebiatowski stated that this summer the storm did damage to many of the trees in the wooded area to the south. He hopes this area will be cleaned up. He has heard several comments in support for this project and the neighbors are optimistic.

Discussion and possible action on the following:

2. Reports of the November 7, 2011 and November 16, 2011 Plan Commission meetings.

Commissioner Rice stated he will not take part in agenda items 4, 5, and 6, due to a conflict of interest.

Motion by Commissioner Patton to approve the reports of the November 7, 2011 and November 16, 2011 as presented; seconded by Commissioner Rice. Motion carried 6-0.

3. Request from NAPA for a parking lot review and a reduction in the required number of parking spaces for the NAPA Distribution Center project located at **5101 Coye Drive (Parcel ID 2308-02-2000-08)**.

Director Ostrowski reported that our zoning ordinance requires any new parking lot or an addition to an existing parking lot that is over 49 spaces to be reviewed and approved by the Plan Commission. The NAPA distribution center parking lot will have a 78 stalled parking lot. NAPA will be eliminating its current parking lot on the south part of the lot and replacing it with a new lot on the northeast corner of the property. In addition, NAPA is also requesting a modification of the number of stalls required for an industrial type use. NAPA is planning for an approximate 25,000 sq.ft. addition to their distribution center. With that addition, they will have approximately 89,526 sq.ft. of warehouse space and 8,234 sq.ft. of office space; requiring 110 spaces. The spaces on the property with the new parking lot will have approximately 105 spaces. NAPA has indicated that they will likely not have more than 75 employees at the facility at any given time, and would not expect more than 30 customers at the same time. Director Ostrowski stated that the new parking lot does meet all the landscape requirements and recommends approval of this request. As for the request of reducing the stalls for this use by 5, staff recommends approval.

Motion to approve by Commissioner Patton; seconded by Commissioner Moore. Motion carried 6-0.

4. Parking lot review for the Copps Food Center project located at **1440 Pincrest Avenue (Parcel ID 2408-33-1019-46)**.

Director Ostrowski stated that our zoning ordinance requires any new parking lot or an addition to an existing parking lot that is over 49 spaces to be reviewed and approved by the Plan Commission.

Copps is going to be building a 70,000 sq.ft. store at this location, with a 385 stall parking lot. The attached landscaping shows dense screening of the parking lot to the west end where it abuts a residential area. The plan also provides sufficient screening to the east side of the lot and building. The proposed plan meets the standards of review and staff would recommend approval. In addition, Copps is looking at possibly modifying the northern portion of the parking area to allow for access from the properties to the north. Staff would recommend that the Plan Commission allow staff to make minor modifications if this occurs.

Commissioner Haines asked what is the difference in the requirements for NAPA versus Copps, and what does the diagrammed possible retention areas mean.

Director Ostrowski stated that the NAPA parking requirement is determined by 1 space per 1,000 square feet, where Copps is 1 space per 200 square feet for the first 25,000 square feet, and then 1 space for every 250 square feet after that. They are proposing 385 spaces, when only required to provide 305 spaces. Our code does not have a maximum amount allowed. The Copps store will be located on 8 of the 11 acres, so there will be about 3 acres of woods remaining. The retention areas for stormwater will still need to be determined by the Public Works Department.

Mayor Halverson stated that the current Church Street store has 280-300 parking stalls now, and that he appreciated the landscaping along the west and Texas Avenue areas. It is a good choice of species and with the density of the landscaping.

Commissioner Moore stated it is nice what they did with the landscaping, making it look like a road, instead of a parking lot. He stated he believes that this project is going to be a nice addition to the area.

Motion by Commissioner Moore to approve the plan and give permission to staff to make minor modifications for the areas to the north; seconded by Commissioner Patton. Motion carried 5-0, with Commissioner Rice recusing.

5. Request from the McDill Lake District, for a conditional use permit to dredge **portions of property of the South Channel of the McDill Pond lake bed south of Heffron Street and near Della Street. Parcel IDs 2308-04-4015-14, 2308-04-4020-01, and an unnumbered parcel.**

Director Ostrowski stated that the McDill Lake District is proposing to have several areas of the south part of the Heffron Street channel dredged in order to improve water quality and the flow throughout the channel. Our zoning ordinance considers all dredging a conditional use. With the current drawdown of the pond, it gives the McDill Lake District a unique opportunity to remove sediment material. The group will only be dredging three areas. The two areas by the Heffron Street culvert will not be dredged at this time. The area to the south of the Heffron Street culvert is proposed to be dredged by the City when work is being done in that area. The proposed project would begin early next year and the fill material would be hauled off-site. A concern that staff has is that the dredge material will be taken from areas owned by private property owner and the City of Stevens Point. Staff would like to see a hold harmless agreement signed between the City, McDill Lake District, and the individual of where the dredge material will be placed. The concern is that with all the chemical treatments to the pond, the city should not be held liable if it causes damage to properties where the dredge material will be placed. Staff would recommend approval with the following conditions:

- Applicants shall determine and take the necessary precautions for the protection against Blastomycosis.
- Applicants must receive approval from all other regulating agencies (e.g. Wisconsin DNR and FEMA).
- Applicants must receive approval from the City Parks Department and Public Works Department.
- Dredging must occur in areas owned by the McDill Lake District, unless written permission is granted from the other property owners.
- A hold harmless agreement is signed between the City, applicants, and the individuals where the dredge fill material will be placed stating that the City shall not be held liable for any portions of this project, or for any adverse conditions resulting from this project.

Commissioner Patton asked how long the dredging would last before it fills up again. Mayor Halverson indicated that this would be difficult to determine.

Commissioner Haines asked what the timeframe would be to begin and complete the dredging. Director Ostrowski stated that the Lake District was looking to start in January or February of 2012.

Commissioner Haines asked if there was a path designated for the large trucks to haul the material out of the area. Mayor Halverson stated that there is a public easement for recreational services along Della Street, and currently it is a light trail that the trucks would use.

David Enerson, 3325 Della Street, stated that with the drawdown, it makes it easier and most cost effective to do the dredging project. They plan to start the project as soon as they receive the proper authorizations, and it would be completed before the ground thaws.

Commissioner Patton asked what would happen to the loose sediment upon the refilling of the pond. Mayor Halverson stated that it would be a slow process in refilling and that the sediment would likely just settle back to where it came from.

Commissioner Haines asked about the path and if it would remain the same, and expressed concern that it would remain wide for vehicles to drive down to that area, and if the Parks Department is ok with this use.

Mayor Halverson stated that the path would have to receive the Parks Department approval for the removal or trimming of trees for the trucks to access the area, and yes they are aware and ok with this use. The path will be more visible for the public, but it will not be a boat landing.

Motion to approve by Commissioner Haines with the following conditions:

- **Applicants shall determine and take the necessary precautions for the protection against Blastomycosis;**
- **Applicants must receive approval from all other regulating agencies (e.g. Wisconsin DNR and FEMA);**
- **Applicants must receive approval from the City Parks Department and Public Works Department;**

- Dredging must occur in areas owned by the McDill Lake District, unless written permission is granted from the other property owners;
- A hold harmless agreement is signed between the City, applicants, and the individuals where the dredge fill material will be placed stating that the City shall not be held liable for any portions of this project, or for any adverse conditions resulting from this project; and
- The pathway be returned to a walkway that is no wider than 8 feet;

seconded by Commissioner Laskowski. Motion carried 5-0, with Commissioner Rice recusing.

6. Request from Chris and Amy Meyer, for a conditional use permit to dredge **portions of property of the McDill Pond lake bed, near 3916 Bonnie Bay Court and Nebel Street. Parcel IDs 2308-03-3301-25, 2308-03-3301-28, and 2308-03-3200-15.**

Director Ostrowski stated that the Meyers are proposing to dredge sections of McDill Pond in order to remove accumulated silt around the islands near the east side of the pond. The dredge area will be approximately 3 to 4 acres in size below the ordinary high water mark. The average dredge excavation depth will be between 8" to 24". The placement of the dredge material will be spread over the island owned by the Meyers. The proposed timeframe for the project is from January 2012 to March 2012. The Meyers have indicated that silt fence will be placed around the disposal area until the area is stabilized. They will then plant trees in and outside the disposal area. Staff would recommend approval with the following conditions:

- Applicants shall determine and take the necessary precautions for the protection against Blastomycosis.
- Applicants must receive approval from all other regulating agencies (e.g. Wisconsin DNR and FEMA).
- Applicants must receive approval from the City Parks Department and Public Works Department.
- Dredging must occur in areas owned by the Meyers, unless written permission is granted from the other property owners.

Chris Meyer, 3916 Bonnie Bay Court, stated he is putting together a hold harmless agreement for the benefit of the other property owner, the Katz family, who own some of the lake bed area that he will be dredging. He stated that he had contacted all the agencies and got their recommendations on erosion control and plantings. The environmental impact will be relatively small since the ATC (American Transmission Corporation) who owns the power line easement on the island want to keep the woody vegetation down as well. So they have given permission in writing to bring the dredge material up to 4 feet high, and the excavator who has been hired feels confident that he can keep that elevation, taper it, and place a silt fence around it, which was recommended from the Wisconsin DNR and the Army Corp of Engineers.

Commissioner Moore asked what would be the access point for the dredging. Mr. Meyer stated it will be from his property. Mr. Meyer stated that in the conversations with the Katz family, they just want the Meyers to be responsible for any bog materials and equipment, but all access would be strictly from the Meyer's property. The reasons that they are moving forward with this is due to the cost savings of getting the project completed while the pond is still down.

Motion to approve by Commissioner Patton with the following conditions:

- **Applicants shall determine and take the necessary precautions for the protection against Blastomycosis;**
- **Applicants must receive approval from all other regulating agencies (e.g. Wisconsin DNR and FEMA);**
- **Applicants must receive approval from the City Parks Department and Public Works Department; and**
- **Dredging must occur in areas owned by the Meyers, unless written permission is granted from the other property owners;**

seconded by Commissioner Moore. Motion carried 5-0, with Commissioner Rice recusing.

7. Amending the City of Stevens Point Zoning Ordinance to allow parking lot landscape reviews, regardless of the number of parking spaces, to be reviewed and approved by Staff (modify Section 23.01(14)(f) of the Revised Municipal Code of the City of Stevens Point).

Director Ostrowski stated currently, landscaping for new or additions to existing parking lots greater than 49 spaces must be reviewed by the Plan Commission for approval, even if they meet all zoning ordinance requirements. Staff feels that this creates an unnecessary review, and it extends the time it takes to get an approval for a development. Staff would recommend that the landscape review for parking lots, regardless of size, only have to be reviewed by staff for approval. If the applicant is requesting a modification to any of the requirements, then the applicant would still need to get approval from the Plan Commission.

Commissioner Patton asked that if staff approved of the landscaping/parking lot plans, would they still have to go before the Common Council. Director Ostrowski indicated that no, they would be approved by staff.

Mayor Halverson stated that if all the requirements were met, then staff could approve them. This will save time for staff, the applicant, and the Plan Commission.

Commissioner Rice stated he is in favor, but that there should be some recording of staff approval for the Plan Commission.

Commissioner Haines stated she is in agreement with Commissioner Rice, but because we are changing the entire zoning code, would this be necessary in the interim. Mayor Halverson stated from our perspective it is, until we get to that section of the zoning code that we will end up changing. The key is that if we want to have a threshold of size that we would want review over, or if we write the zoning code in a way that the requirements are very clear that the parking lot meets the requirements that it does get approved. He stated that in the interim that the Plan Commission will not get to a change for several months, and this would make the process much more efficient.

Director Ostrowski commented that if the use would be a conditional use, it would still be required to come before the Plan Commission.

Motion to approve by Commissioner Patton, with the condition that staff inform the Plan Commission on a regular basis of approvals; seconded by Commissioner Rice. Motion carried 6-0.

8. Holding public hearings at the Plan Commission meetings as opposed to the Common Council meetings.

Director Ostrowski stated that currently, public hearings for requests such as conditional uses or rezoning are held at the Common Council meetings, as opposed to at the Plan Commission meetings. While this provides the ability for individuals to speak at both the Plan Commission and Common Council meetings, he feels it does not allow the Plan Commission to always analyze all the public input. Many times, the public only shows up at the public hearings at the Common Council meeting, after the Plan Commission has made their recommendations. This is because only the public hearings are typically published in the paper, not the Plan Commission meetings agendas. With the Plan Commission meetings now being held in the evenings, he feels that it would be more appropriate for the public hearings to be held at the Plan Commission meeting as opposed to the Common Council meetings. This will allow the Plan Commission to receive most, if not all of the public input before making a recommendation. If individuals would still like to speak at the Common Council meetings, they have the ability to do so under the appropriate agenda item, or can be recognized by an alderperson. If the Plan Commission approves this request, it will go to the Common Council for consideration. If the Common Council approves, then the appropriate ordinance amendments will be drafted. The earliest this change would occur would be for the February meetings.

Commissioner Haines asked that if the public hearings were held at the Plan Commission, would the same persons be able to speak at the Common Council meetings. Mayor Halverson indicated that this was correct, under the appropriate agenda item.

Commissioner Laskowski clarified that this was not a limitation for anyone to express their concerns.

Commissioner Rice stated he remembered in the past when the hearings were held at the Plan Commission meetings and they worked quite well. It is a legal requirement to have the hearings, but there is no requirement to hold them at a certain committee. He stated this would be a benefit to the Common Council as to the length of the meetings, and sees this as a benefit.

Director Ostrowski stated all the meetings are video recorded and the public as well as the alderpersons could view the videos.

Commissioner Moore stated he is mixed on this, but thinks it would be better for the public having the public notification earlier. This gives them another chance for an opportunity to speak to us as well as to us the Common Council, and they are better informed. It is a change, and not everyone will be happy with it, but it could be a positive.

Mayor Halverson stated he agrees, and it allows the Plan Commission to receive more input. This would be a more open and notorious way to make sure that everyone is very aware of the public hearing. Having is being held at the Plan Commission allows for a more educated and well versed recommendation to be sent to the Common Council. Bringing the hearings here makes a lot of sense.

Commissioner Patton asked that even though there would not be a public hearing at the Common Council, would they still be able to speak for 3 minutes at those meetings. Mayor Halverson stated that yes, persons will still be able to speak on agenda items at the Common Council.

Commissioner Rice asked if the public hearings would be listed in the minutes for the Common Council for their approval. Mayor Halverson stated that yes, that is correct.

Commissioner Haines asked how the public hearings would be run. Director Ostrowski stated the hearings will be held right before the appropriate agenda item. Individuals will have up to five minutes to speak at the public hearing.

Motion to approve by Commissioner Rice; seconded by Commissioner Laskowski. Motion carried 6-0.

9. Updating Chapter 23 (Zoning) of the Revised Municipal Code of the City of Stevens Point.

Director Ostrowski wanted to schedule another meeting for the zoning rewrite, and was looking at the second week of January. Due to an already scheduled meeting, Tuesday January 10, 2011 at 4:30 PM was chosen and agreed upon by the Commissioners. Director Ostrowski stated that future meetings would be scheduled regularly on the second Wednesday of the month at 4:30 PM and packets would be mailed and emailed as in the past.

10. Adjourn.

Motion to adjourn by Commissioner Patton; seconded by Commissioner Laskowski. Motion carried 6-0.

Meeting adjourned at 6:40 PM.

Administrative Staff Report

Schierl Inc. Sign Variance
3423-3425 Main Street
January 3, 2012



Department of Community Development

<p>Applicant(s):</p> <ul style="list-style-type: none">Fritz Schierl <p>Staff:</p> <ul style="list-style-type: none">Michael Ostrowski, Director Community Development Ph: (715) 346-1567 Fax: (715) 346-1498 mostrowski@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">2408-33-1019-18 <p>Zone(s):</p> <p>"B-4" Commercial District</p> <p>Master Plan:</p> <ul style="list-style-type: none">Commercial / Office/ Multi-family <p>Council District:</p> <ul style="list-style-type: none">District 7 – Trzebiatowski <p>Lot Information:</p> <ul style="list-style-type: none">Frontage (feet): 197Depth (feet): 312Square Footage: 61,464Acreage: 1.411 <p>Current Use:</p> <ul style="list-style-type: none">Commercial <p>Applicable Regulations:</p> <ul style="list-style-type: none">Chapter 25	<p>Request</p> <p>Request from Schierl, Inc., for a sign variance to allow a free standing sign that exceeds 20 feet in height and 150 square feet in area to be located at 3423-3425 Main Street (Parcel ID 2408-33-1019-18).</p> <p>Attachment(s)</p> <ul style="list-style-type: none">Parcel Data SheetApplicationProject Description / Plans <p>Findings of Fact</p> <ul style="list-style-type: none">Existing sign is approximately 27' in height and 250 square feet in area.Proposed sign is 25' in height and approximately 190 square feet in area. <p>Staff Recommendation</p> <p>Our code allows for a sign owner to replace the sign inserts on existing signs, or make modifications to nonconforming signs that do not exceed 50% of the value of the sign. If the sign variance is denied, the applicant does have the ability to change out the inserts and the old sign could likely remain. One benefit of allowing the new sign is that the sign comes closer to conformity. The height would be reduced by 2' and the area would be reduced from 250 square feet to 190 square feet. In addition, the property would have a new sign that is likely to be more aesthetically pleasing. While this is a great benefit, staff does not see a hardship or unique property characteristic that would warrant such a variance. While sign variances do not follow the same stringent requirements that zoning code variances follow, staff believes that there should be some unique reason to grant such a variance.</p> <p>If the sign variance is granted, staff would recommend the following conditions:</p> <ul style="list-style-type: none">The furthest portion of the sign edge is setback at least 5'.The sign shall not cause any vision obstructions, either removed from the vision triangle, or have poles that are smaller than 12" in diameter and have a clearance of 10'.No other freestanding signs are allowed on the property.A landscape base shall be submitted and approved by staff prior to the installation of the sign.
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Vicinity Map



Background

Mr. Schierl is planning to replace the existing 27' high, 250 square feet in area free standing sign with a new 25' high, 187.92 square feet sign in the existing location. The sign code allows free standings signs up to 20' in height and 150 square feet in area (for multiple tenant establishments). Any requests to exceed the requirements within the sign code require a variance from the Plan Commission. The proposed sign would have three separate faces, one for Schierl Tire & Service, an electronic readerboard, and one tenant space:

- Schierl Tire & Service: 7'-1 ½" x 18' = 128.25 square feet
- Electronic Readerboard: 40" x 96" = 26.67 square feet
- Tenant Space: 49.5" x 96" = 33 square feet (please note, second tenant sign has been eliminated)
- **TOTAL = 187.92 square feet**

Standards of Review

In obtaining a permit, the applicant may submit an appeal to the common council for a variance from certain requirements of this ordinance. The plan commission shall provide a recommendation to the common council when a variance is requested. A variance may be granted by the common council where the literal application of the ordinance would create a substantial hardship for the sign user and the following criteria are met:

1) A literal application of the ordinance would result in a demonstrated practical difficulty or unnecessary hardship to the property.

Analysis: The current sign on the property is 27' in height and nearly 250 square feet in area. The building located on the property is somewhat hidden from view when driving on Main Street, as it is setback further than most buildings. The building is actually located behind another building.

Findings: While the current sign is nonconforming due to the height and area, staff does not feel that a 20' high sign that is 150 square feet in area or less would result in a demonstrated practical difficulty or unnecessary hardship to the property. However, there is the argument that the building is setback a considerable distance from the road, which makes the wall signs more difficult to see, compared to other properties.

2) The granting of the requested variance would not be materially detrimental to the property owners in the vicinity.

Analysis: There are several existing nonconforming signs along the Main Street / Highway 10 corridor that exceed the height and square footage requirements. In addition the property is quite large in size, approximately 1.4 acres.

Findings: If the sign is setback a distance of 5' or more, it should not block the view of the NAPA pylon sign going east on Hwy 10. On separate note, if one business owner is allowed a new sign that exceeds the allowance of height and area, it will be difficult to deny future requests. Since the creation of the sign ordinance few sign variances have been granted for increased area. Granting such a variance may set a precedent for future requests.



3) Hardship caused the sign user under a literal interpretation of the ordinance is due to conditions unique to that property and does not apply generally to the city.

Analysis: As noted above, staff feels that the only unique circumstance to this property is that the building is setback further than most buildings along this corridor. In addition, the property shape is unique, providing for a small sliver of frontage and then widening out towards the south.

Findings: While this is the case, there is the argument that there are not signs located in front of this sign traveling east on Hwy 10, please see image above. Therefore, even if the sign was 20 feet in height, it would be highly visible.

4) The granting of the variance would not be contrary to the general objectives of this ordinance.

Analysis: The purpose of these sign regulations are: to encourage the effective use of signs as a means of communication in the City of Stevens Point (hereinafter referred to as the city); to maintain and enhance the beauty and unique character and enhance the aesthetic environment of the city by eliminating visual blight; to enhance the city's ability to attract sources of economic development and growth; to protect pedestrians and motorists of the city from damage or injury caused or partially attributable to the distractions and obstructions which are hereby declared to be caused by improperly sized or situated signs; to minimize the possible adverse effect of signs on nearby public and private property; to promote the public safety, welfare and convenience, and enjoyment of travel and the free flow of traffic within the city; and to provide a uniform sign ordinance between the City of Stevens Point, Village of Plover and Portage County.

Findings: The removal of the existing sign will help further the purpose of the sign code, as it will bring the sign closer to conformity, and create a more aesthetically pleasing and coordinated sign. In addition, the new sign could help further economic development and growth of the business. However, while the new sign meets some of the elements of the purpose of the sign code, it does go against others, such as providing uniform signage throughout the community.

In granting a variance, the plan commission may attach additional requirements necessary to carry out the spirit and purpose of this ordinance in the public interest.

Other Considerations:

1) The sign shall meet the required setback distances.

Analysis: Mr. Schierl has indicated that the sign will be at least 5' from the sidewalk property line.

Findings: The minimum setback requirement is 5'. This standard is met.

2) The sign shall not create any vision obstructions.

Analysis: A site plan has been submitted showing the sign within the vision triangle.

Findings: Our sign code requires structures to be located outside of the vision triangles. However, our code allows for signs to be placed within the vision triangle, so long as the sign poles are no larger than 12" in diameter and that there be at least a 10' clearance for the lowest section of the sign. With the removal of the bottom tenant cabinet, the clearance would be approximately 9.3'. One unique circumstance regarding this entrance is that it is a right in, right out ingress/egress point, eliminating the vision concerns with vehicle

traveling west. The concern would revolve around the pedestrians walking west on the sidewalk. Staff would recommend that the sign be adjusted to meet the 10' clearance, as it is less than 1' away.

3) The sign shall have a landscaped base.

Analysis: No landscape base has been proposed, but the applicant has indicated that if the sign is approved, one will be installed.

Findings: If the applicant installs a landscape base, this standard will be met. Staff would recommend that if the sign is approved, that the Plan Commission allow staff to review and approve the landscape base.

4) The site shall not create an over proliferation of signage.

Analysis: The proposed sign is 25' tall and nearly 190 square feet in area. Our ordinance requires signs to be no more than 20' tall and 150 square feet in area (for multiple tenant businesses). This is the only free standing sign on the parcel.

Findings: While this would be the only free standing sign on the parcel, and the current sign is larger at 27' in height and nearly 250 square feet in area, staff believes that the amount of signage for the number of businesses at the site is significant.

Images



12/27/2011 8:35:10 AM

GVS Property Data Card

Stevens Point

Name and Address		Parcel #	Alt Parcel #	Land Use
Stevens Point 3425 Main WI LLC 2201 Madison St Stevens Point, WI 54481		240833101918	240833101918	Garage, Service
		Property Address		Neighborhood
		3423-25 Main St		Hwy 10 W of Hwy 39 (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
Stevens Point 3425 Main WI LLC	8/13/2008	\$768,000	Quit Claim Deed	721580		Land & Build.
Stevens Point 3425 Main WI LLC	6/20/2008	\$768,000	Quit Claim Deed	719619		Land & Build.
TFB LLC	6/19/2008	\$0	Quit Claim Deed	719618		Land & Build.
TFB LLC	7/24/2000	\$932,700	Quit Claim Deed/Addl Pa	576590		Land & Build.
T J & F J & W G Schierl	7/23/2000	\$866,900	Trustees Deed	576589		Land & Build.

SITE DATA

PERMITS

Actual Frontage	197.0	Date	Number	Amount	Purpose	Note
Effective Frontage	197.0	10/28/2011	11-783	\$6,000	099 Sign	logo on bldg tower
Effective Depth	312.0	7/1/2008	35665	\$45,000	110 Storage Bldg/She	32'x80' storage building
Square Footage	61,464.0	2/25/2004	32189	\$2,900	042 Interior Renov/Re	Install 2 new doors
		7/29/2002	30955	\$3,000	093 Sewer and/or Wa	catch basin & connect
Acreage	1.411	5/9/2002	30721	\$11,500	042 Interior Renov/Re	Precision Cellular
		3/1/2000	28971	\$5,000	003 Addition	add 2 bathrooms

2011 ASSESSED VALUE

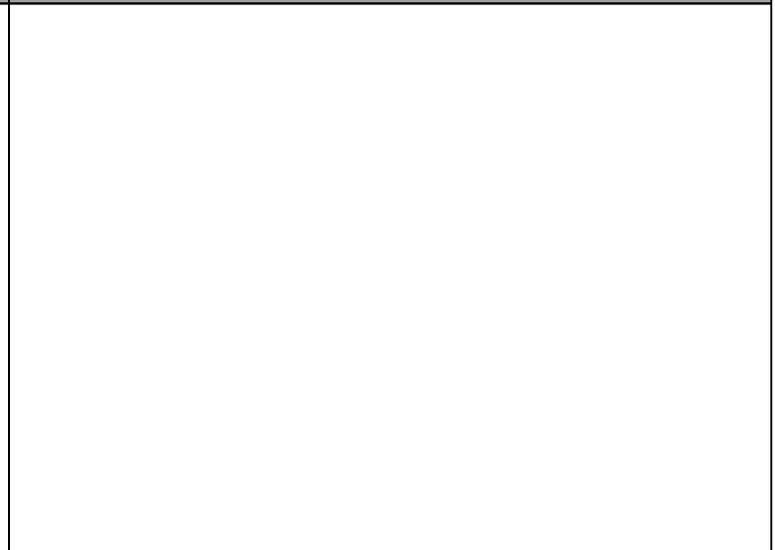
Class	Land	Improvements	Total
B-Commercial	\$139,400	\$599,700	\$739,100
Total	\$139,400	\$599,700	\$739,100

LEGAL DESCRIPTION

PRCL A CSM#1452-5-210 PRT SE NE S33 T24 R8 & THAT PRT E 1/2 OF VAC ST DES IN 404/557 DES: COM SW/C LOT 2 CSM 16/201; THN N89*E, 30.01'; THN S00*W, 45.74'; THN S89*W, 30.01'; THN N00*E, 45.74' TO POB 547587 576589 576590 719618 (719619) 721580

PROPERTY IMAGE

PROPERTY SKETCH



12/27/2011 8:35:10 AM

GVS Property Data Card

Stevens Point

Name and Address	Parcel #	Alt Parcel #	Land Use
Stevens Point 3425 Main WI LLC 2201 Madison St Stevens Point, WI 54481	240833101918	240833101918	Garage, Service
	Property Address		Neighborhood
	3423-25 Main St		Hwy 10 W of Hwy 39 (Comm)
	Subdivision		Zoning
Display Note	Certified Survey Map		B4-COMMERCIAL

BUILDING SUPERSTRUCTURE DATA

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Service Gar (S avg)	1973	8,400	Metal - Avg	18
1	2	Laundromat (S avg)	1980	2,000	Metal - Avg	14
1	3	Store, Retail (S avg)	1999	3,658	Metal - Avg	18
1	4	Service Gar (S avg)	1999	4,007	Metal - Avg	18
1	5	Warehse, Storage (D Pole-avg)	2008	2,560	Wd/Stl Frm (Pole Bldg)	12
Total Area				20,625		

BASEMENT DATA

COMPONENTS

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area
1	5	Warehouse Bsmnt - Unfinished	450	1	5	Mezzanine - Storage (Avg Qual)	192

DETACHED IMPROVEMENTS

Structure	Year Built	Square Feet	Grade	Condition

SITE IMPROVEMENTS

STRUCTURE DATA

Site Improvement	Units	Age	21
		Year Built	1973
		Eff. Year	1990
		One Bedroom	
		Two Bedroom	
		Three Bedroom	
		Total Units	
		Stories	1.00
		Business Name	Goodyear

REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION

ADDRESS OF PROPERTY: 3425 Main Street Stevens Point

- Zoning Ordinance Change (\$90.00 fee required)
- Conditional Use Permit (\$90.00 fee required)
- Variance from Zoning Ordinance - Board of Appeals (\$90.00 fee required)
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

Erect a new sign due to logo change for Schiel
Tire and a change of brand affiliation with Goodyear

OWNER/APPLICANT:

Name: Schiel INC
Address: 2201 Madison Street
Stevens Point WI 54481
(City, State, Zip Code)

Telephone: 715 345 5060
Cell Phone: 715 572 3202

[Signature]
Signature

AGENT FOR OWNER/APPLICANT:

Name: _____
Address: _____
(City, State, Zip Code)

Telephone: _____
Cell Phone: _____

Signature

Scheduled Date of Plan Commission Meeting: 1-3-12

Scheduled Date of Common Council Meeting: 1-16-12

You, as the applicant, or your agent, shall attend the meeting and present your request.

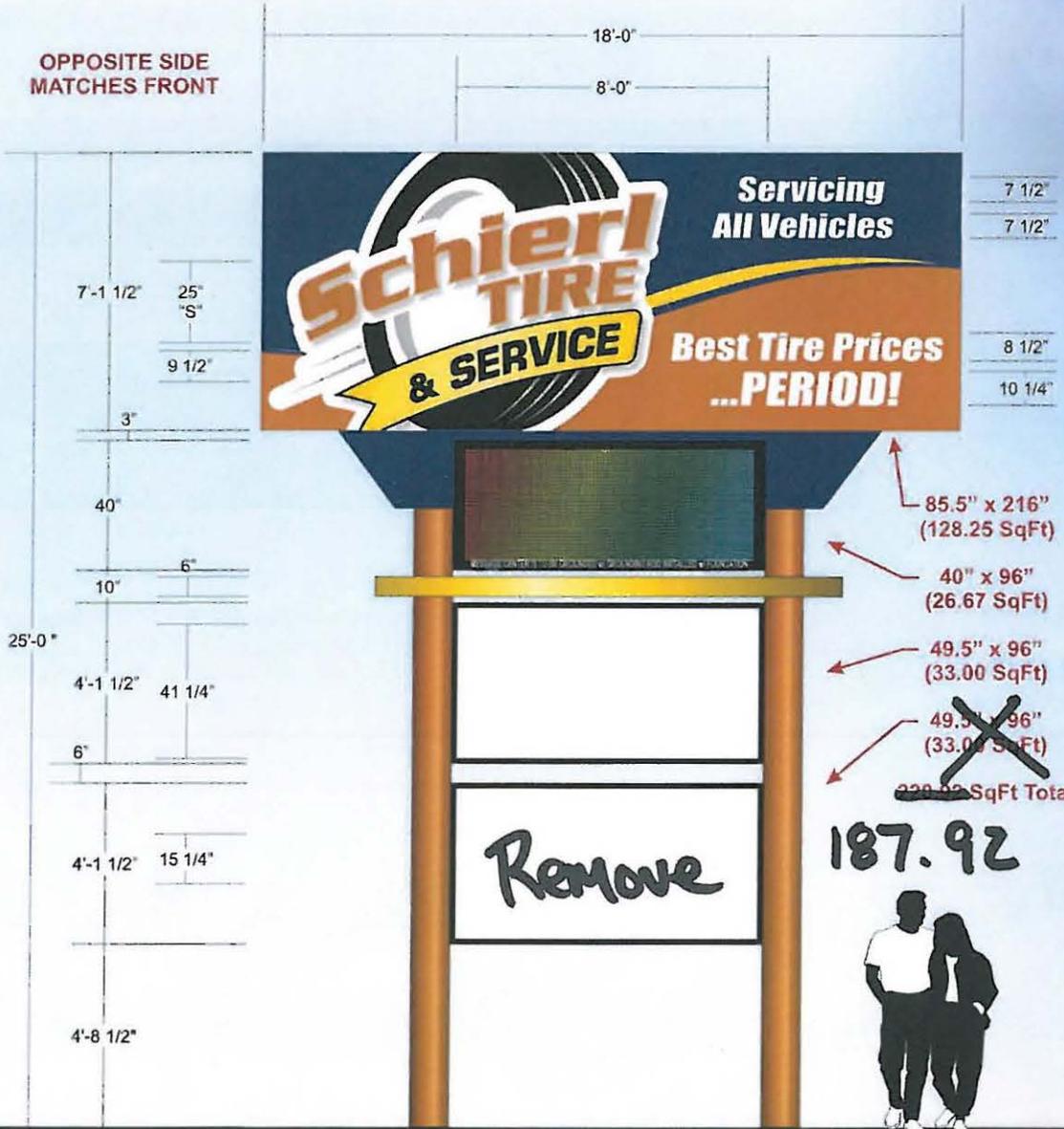
All requests with supporting documentation are due at the Community Development Office three weeks prior to the actual meeting.

\$90.00 Fee Required for Rezoning Requests, Variances, and Conditional Use Permits

Receipt # _____

First Tues. in Jan.

OPPOSITE SIDE
MATCHES FRONT



85.5" x 216"
(128.25 SqFt)

40" x 96"
(26.67 SqFt)

49.5" x 96"
(33.00 SqFt)

~~49.5" x 96"
(33.00 SqFt)~~

~~228.92 SqFt Total~~

187.92

Remove



MAIN STREET

116.77

20' tall SIGN

AUTOPARTS RETAIL

5'

360.46

25' Tall sign

90

EXISTING BUILDING

201.10'

N89°18'30"E

172

172

35'-0"
SD

20' tall SIGN

90

314.60

254.93'

E



55
58
49
32
+12
250 total sq ft

4'-6" X 22' = 99 sq ft

GOODYEAR

3'-2" X 18' = 58 sq ft

Gemini
AUTOMOTIVE CARE

27'
height

The Laundry
3'-2" X 15'-4"
= 49 sq ft
REAR OF BUILDING

SEE US FOR
PEACE OF MIND
4' X 8'
= 32 sq ft
BEFORE YOU
TRAVEL

2' X 6'
= 12 sq ft
GOOD YEAR
TRUCK WISE!

Priority
GARAGE SALES



Administrative Staff Report

Save-A-Lot Sign Variances
3423-3425 Main Street
January 3, 2012



Department of Community Development

<p>Applicant(s):</p> <ul style="list-style-type: none">Fritz Schierl <p>Staff:</p> <ul style="list-style-type: none">Michael Ostrowski, Director Community Development Ph: (715) 346-1567 Fax: (715) 346-1498 mostrowski@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">2308-04-3008-06 <p>Zone(s):</p> <p>"B-4" Commercial District</p> <p>Master Plan:</p> <ul style="list-style-type: none">Commercial / Office/ Multi-family <p>Council District:</p> <ul style="list-style-type: none">District 10 – Brooks <p>Lot Information:</p> <ul style="list-style-type: none">Frontage (feet): 569Depth (feet): 335Square Footage: 190,615Acreage: 4.376 <p>Current Use:</p> <ul style="list-style-type: none">Commercial <p>Applicable Regulations:</p> <ul style="list-style-type: none">Chapter 25	<p>Request</p> <ol style="list-style-type: none">Request from Save-A-Lot, for a sign variance to allow a second free standing sign without removing an existing nonconforming sign at 3260-3274 Church Street (Parcel ID 2308-04-3008-06).Request from Save-A-Lot, for a sign variance to allow an additional wall sign of approximately 115 square feet at 3260-3274 Church Street (Parcel ID 2308-04-3008-06). <p>Attachment(s)</p> <ul style="list-style-type: none">Parcel Data SheetApplicationProject Description / Plans <p>Findings of Fact</p> <ul style="list-style-type: none">Property has two frontages.Property has two free standing signs.Sign code requires the removal of all nonconforming signs with the installation of a second free standing signs.Additional signage is allowed with approval from the Plan Commission. <p>Staff Recommendation</p> <p>Approve, subject to the following condition(s):</p> <ul style="list-style-type: none">Sign Variance 1 – Free Standing Sign: Approve with the condition that a landscape base is installed. The landscape base shall be approved by staff.Sign Variance 2 – Wall Sign: Approve.
---	--

Vicinity Map



Background

Save-A-Lot is requesting two separate sign variances:

- Sign Variance 1: This is for the removal and replacement of an existing free standing sign without removing other nonconforming signs. Save-A-Lot requesting to remove an existing free standing sign that is located near the intersection of Church Street and Michigan Avenue. The proposed sign would be 16' in height and approximately 91.57 square feet in area, which meets the ordinance requirements. However, while this sign meets the ordinance requirements, the sign code requires all existing free standing signs to be removed. There is an existing free standing sign near the intersection of Church Street and Heffron Avenue that exceeds 16 feet in height and 100 square feet in area.
- Sign Variance 2: This is for the placement of a wall sign on the Water Street side of the building. Save-A-Lot has already had the sign placed on the building. The sign is approximately 114 square feet in area. The sign code allows tenants to have one wall sign not to exceed 100 square feet in area. Any variations to this requirement must be approved by the Plan Commission via a sign variance.

Standards of Review

Sign Variance 1 – Free Standing Sign:

In obtaining a permit, the applicant may submit an appeal to the common council for a variance from certain requirements of this ordinance. The plan commission shall provide a recommendation to the common council when a variance is requested. A variance may be granted by the common council where the literal application of the ordinance would create a substantial hardship for the sign user and the following criteria are met:

- 1) A literal application of the ordinance would result in a demonstrated practical difficulty or unnecessary hardship to the property.**

Analysis: The reason for the variance is due to an existing sign on the property that is nonconforming. The proposed sign would meet all other requirements.

Findings: The applicant will be removing an existing sign that is currently nonconforming and replacing it with a conforming sign.



- 2) The granting of the requested variance would not be materially detrimental to the property owners in the vicinity.**

Analysis: As indicated above, the only reason for the request is due to the other sign on the lot that is nonconforming.

Findings: If the new sign is allowed, it will eliminate one nonconforming sign on the property, thus making a more uniform approach throughout the area.

- 3) Hardship caused the sign user under a literal interpretation of the ordinance is due to conditions unique to that property and does not apply generally to the city.**

Analysis: This condition is somewhat unique to this property as not all properties have two free standing signs, or are allowed to have two free standing signs. The property is very large at over 4 acres and nearly 570 lineal feet in length.

Findings: The nonconformity is only due to an existing nonconforming sign.

- 4) The granting of the variance would not be contrary to the general objectives of this ordinance.**

Analysis: The purpose of these sign regulations are: to encourage the effective use of signs as a means of communication in the City of Stevens Point (hereinafter referred to as the city); to maintain and enhance the beauty and unique character and enhance the aesthetic environment of the city by eliminating visual blight; to enhance the city's ability to attract sources of economic development and growth; to protect pedestrians and motorists of the city from damage or injury caused or partially attributable to the distractions and obstructions which are hereby declared to be caused by improperly sized or situated signs; to minimize the possible adverse effect of signs on nearby public and private property; to promote the public safety, welfare and convenience, and enjoyment of travel and the free flow of traffic within the city; and to provide a uniform sign ordinance between the City of Stevens Point, Village of Plover and Portage County.

Findings: Granting this variance would help eliminate one nonconforming sign, thus meeting the objectives of this ordinance.

In granting a variance, the plan commission may attach additional requirements necessary to carry out the spirit and purpose of this ordinance in the public interest.

Other Considerations:

1) The sign shall meet the required setback distances.

Analysis: A site plan has been submitted and indicates that the edge of the sign will be five (5) feet from the property line along Church Street, which meets the minimum setback requirements.

Findings: The proposed location of the sign meets the required minimum setbacks.

2) The sign shall not create any vision obstructions.

Analysis: A site plan has been submitted and provides measurements as to the distance from any streets and driveways. The sign is located approximately 130' from the intersection of Church Street and Michigan Avenue and is approximately 450' from the intersection of Church Street and Heffron Avenue.

Findings: Staff feels that this distance is adequate to prevent any vision obstructions for these intersections.

3) The sign shall have a landscaped base.

Analysis: The site plan that has been submitted does not indicate any landscaping base for the sign. However, the parking lot has a landscape strip along Church Street.

Findings: Staff would recommend that a landscape base be installed around the new sign as per code requirements. The landscape plan shall be approved by staff.

4) The site shall not create an over proliferation of signage.

Analysis: The site is nearly 570 lineal feet in length with multiple businesses located within the shopping center. The only reason for the variance is because the existing nonconforming sign would not be removed.

Findings: Given the size of the site and the number of businesses located in the shopping center, staff does not feel that the proposed sign will not create an over proliferation of signage on the site.

Sign Variance 2 – Wall Sign:



1) The sign shall fall within the allowable square footage for the tenant.

Analysis: Tenants located in a shopping center shall not have a sign that exceeds 100 square feet. Anything above this amount shall be approved by the Plan Commission.

Findings: The proposed sign is approximately 114 square feet in area. Given the size of the building, staff feels the proposed size is appropriate.

2) Wall signs shall be located in the "signable" wall area of a facade.

Analysis: The "signable" area is defined as the continuous portion of a building facade, unbroken by doors or windows, below the sill line of the second story and above the storefront transoms.

Findings: The sign will be located in the "signable" area.

3) Signs shall match architectural elements of the building.

Analysis: Signs and graphics shall not physically harm the architectural character of the building they are attached to.

Findings: Staff feels that the sign does not detract from the architectural character of the building. The sign does match that of the wall sign that is on the Church Street side of the building.

4) Illuminated signs shall not negatively impact adjacent properties.

Analysis: The sign is not currently illuminated.

Findings: If the sign is ever illuminated it should be done with directional lighting (e.g. gooseneck) to prevent light spillage on to adjacent properties. If directional lighting is not used, only the letters shall be illuminated and a photometric plan shall be provided.

5) The sign shall not create an over proliferation of signage.

Analysis: The shopping center is on a through lot, meaning it has frontage on multiple streets.

Findings: Staff feels that since the shopping center fronts on multiple streets, that an additional sign on the opposite side does not create an over proliferation of signage. Only one sign for the business can be viewed at one time. In addition, a good amount of traffic does travel on Water Street.

Name and Address		Parcel #	Alt Parcel #	Land Use
3260 Church Street LLC 925 E Wells St Apt 916 Milwaukee, WI 53202		230804300806	230804300806	Shopping Center, Neighborhood
		Property Address		Neighborhood
		3260-74 Church St		Division St/Church St (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
3260 Church Street LLC W H & S M Roddis Living Trst W H & S M Roddis Living Trst	1/7/2010	\$1,350,000	Trustees Deed	740869		Land & Build.
	9/19/2003	\$2,361,900	Warranty Deed	644261		Land & Build.
	8/29/2003	\$2,361,900	Warranty Deed	642708		Land & Build.

SITE DATA

PERMITS

Actual Frontage	569.0	Date	Number	Amount	Purpose	Note
Effective Frontage	569.0	5/3/2011	37726	\$3,000	042 Interior Renov/Re	liquor house build out
Effective Depth	335.0	5/3/2011	37726	\$3,000	020 Electrical	liquor house build out
Square Footage	190,615.0	5/3/2011	37726	\$3,000	066 Plumbing	liquor house build out
		3/22/2011	37649	\$0	099 Sign	building letters
Acreage	4.376	2/24/2011	37574	\$111,515	042 Interior Renov/Re	grocery store
		2/24/2011	37574	\$14,000	002 Air Conditioning &	grocery store renovati

2011 ASSESSED VALUE

Class	Land	Improvements	Total
B-Commercial	\$486,800	\$1,038,700	\$1,525,500
Total	\$486,800	\$1,038,700	\$1,525,500

LEGAL DESCRIPTION

LOT 1 CSM #5006-18-31&A BNG PRT NW SW S4 T23 R8 261/79 482/1193 642708 644261 740869

PROPERTY IMAGE

PROPERTY SKETCH



Name and Address		Parcel #	Alt Parcel #	Land Use
3260 Church Street LLC 925 E Wells St Apt 916 Milwaukee, WI 53202		230804300806	230804300806	Shopping Center, Neighborhood
		Property Address		Neighborhood
		3260-74 Church St		Division St/Church St (Comm)
		Subdivision		Zoning
Display Note		Certified Survey Map		B4-COMMERCIAL

BUILDING SUPERSTRUCTURE DATA

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Shopping Ctr, NBHD (C avg)	1968	58,870	Masonry - Avg	18
1	2	Store -Shell, Retail (C avg)	1968	3,000	Masonry - Avg	18

Total Area		61,870
-------------------	--	--------

BASEMENT DATA

COMPONENTS

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area
				1	1	Frame Garage(s)	192
				1	1	Sprinkler System	37,418

DETACHED IMPROVEMENTS

Structure	Year Built	Square Feet	Grade	Condition

SITE IMPROVEMENTS

STRUCTURE DATA

Site Improvement	Units	Age	35
Blacktop Pkg- Avg Cond	1	Year Built	1968
		Eff. Year	1976
		One Bedroom	
		Two Bedroom	
		Three Bedroom	
		Total Units	
		Stories	1.00
		Business Name	Shopping Center

REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION

ADDRESS OF PROPERTY: 3260 Church St

- Zoning Ordinance Change (\$90.00 fee required)
- Conditional Use Permit (\$90.00 fee required)
- Variance from Zoning Ordinance - Board of Appeals (\$90.00 fee required)
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

See attached page

OWNER/APPLICANT:

Name: Trugs
Address: PO Box 50
Minocqua, WI 54548
(City, State, Zip Code)

Telephone: 715-849-8744
Cell Phone: _____

[Signature]
Signature

AGENT FOR OWNER/APPLICANT:

Name: Graphic House, Inc
Address: 9204 Packer Dr
Wausau, WI 54401
(City, State, Zip Code)

Telephone: 715-842-0402
Cell Phone: 715-370-3505

[Signature]
Signature

Scheduled Date of Plan Commission Meeting: 1-3-12

Scheduled Date of Common Council Meeting: 1-16-12

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office three weeks prior to the actual meeting.

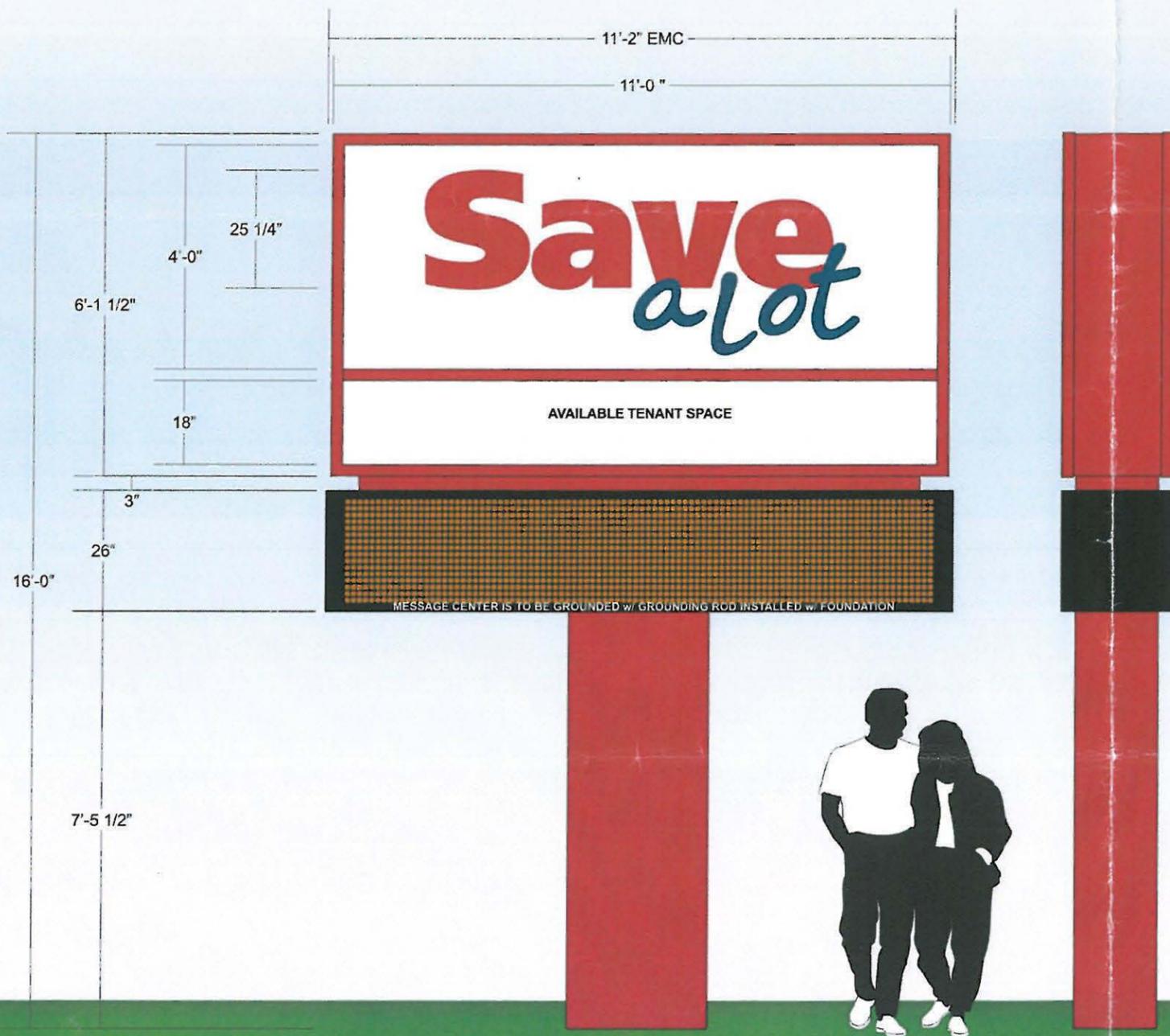
\$90.00 Fee Required for Rezoning Requests, Variances, and Conditional Use Permits

Receipt # _____

Requesting permission to upgrade and improve one sign on property that has a 2nd sign that is grandfathered and out of compliance. Also requesting permission to include an individual channel letter sign that is on the back of the building.

SIGN SPECIFICATIONS

- (1) D/F INTERN. ILLUM. PYLON SIGN
- * SIGN CABINET IS TO BE FORMED OF ALUM. PAINTED TO MATCH #8500-031 RED VINYL.
- * FACES ARE TO WHITE POLYCARBONATE w/ T-BAR DIVIDERS.
- * "SAVE A LOT" GRAPHICS ARE TO BE #230-157 SULTAN BLUE VINYL & #8500-031 RED VINYL.
- * LED EMC IS TO HAVE (2) LINES OF 9.7" CHARACTERS (16 x 96 MATRIX).
- * ALUM. FORMED REVEAL & CLADDING ARE TO BE PAINTED TO MATCH #8500-031 RED VINYL.



CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

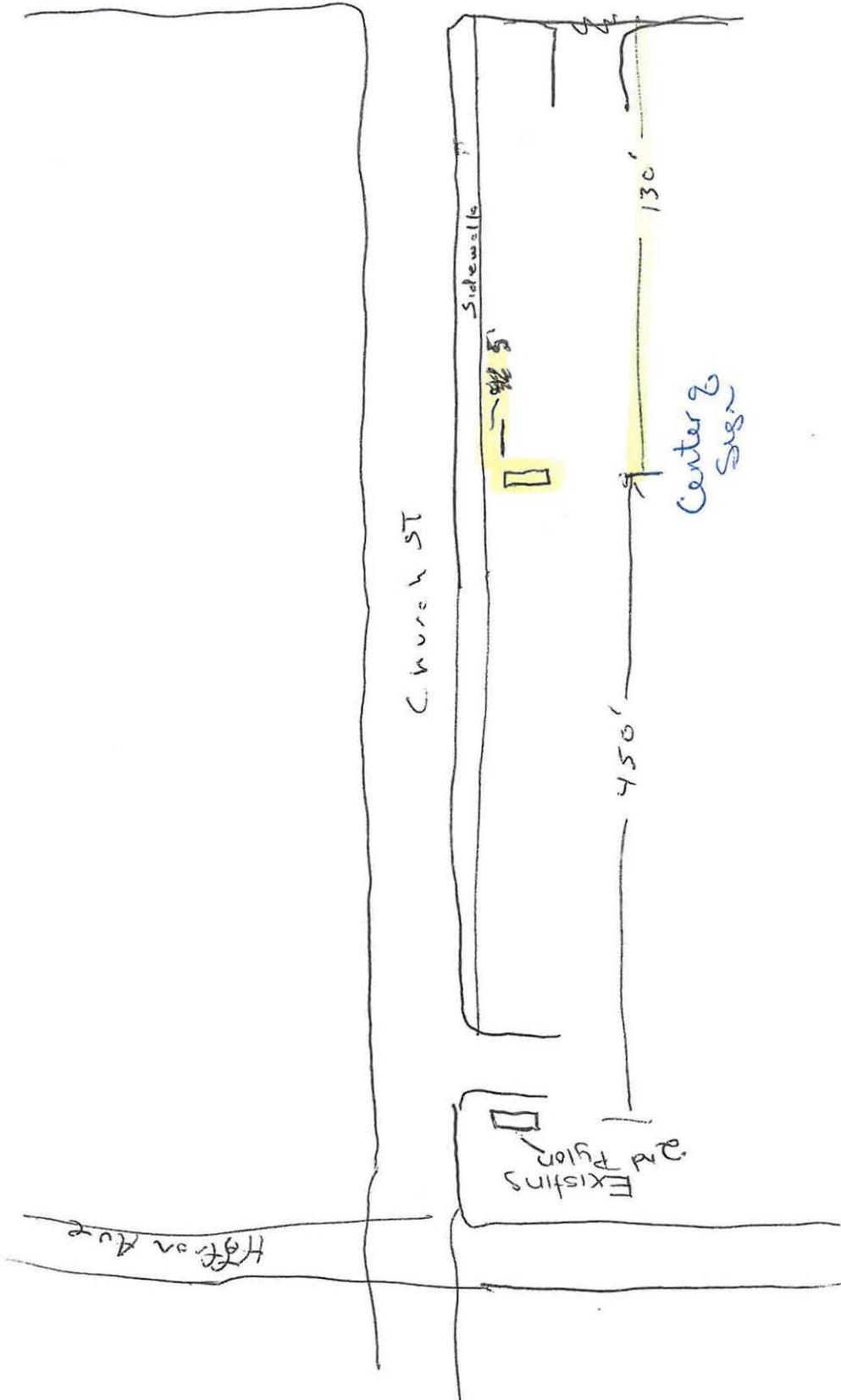
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RELEASE AUTH:

DISCLAIMER: THE INK COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY NOT MATCH THE ACTUAL AUTOMOTIVE PAINTS OR THE VINYL COLORS THAT WILL BE USED ON OR IN THE SIGN(S) SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY FROM ACTUAL PRODUCT

Michigan Ave



Church St

Sidewalk

5'

450'

130'

Center of Sign

Existing 2nd Pylon

Hope Ave

18'

SAVE a lot

produce frozen meat dairy

30'

2'

Administrative Staff Report

Municipal Transit Center Conditional Use 2700 Week Street January 3, 2012



Department of Community Development

<p>Applicant(s):</p> <ul style="list-style-type: none">• City of Stevens Point <p>Staff:</p> <ul style="list-style-type: none">• Michael Ostrowski, Director Community Development Ph: (715) 346-1567 Fax: (715) 346-1498 mostrowski@stevenspoint.com <p>Parcel Number(s):</p> <ul style="list-style-type: none">• 2308-01-2200-04 <p>Zone(s):</p> <ul style="list-style-type: none">• "M-2" Heavy Industrial District <p>Master Plan:</p> <ul style="list-style-type: none">• Business Park District <p>Council District:</p> <ul style="list-style-type: none">• District 7 – Trzebiatowski <p>Lot Information:</p> <ul style="list-style-type: none">• Frontage (feet): -• Depth (feet): -• Square Footage: 810,652• Acreage: 18.610 <p>Current Use:</p> <ul style="list-style-type: none">• Vacant Land <p>Applicable Regulations:</p> <ul style="list-style-type: none">• 23.01(16) and 23.02(3)(b)	<p>Request</p> <p>Request from the City of Stevens Point, for a conditional use permit and project review for the construction of a Municipal Transit Center to be located at 2700 Week Street (Parcel ID 2308-01-2200-04).</p> <p>Attachment(s)</p> <ul style="list-style-type: none">• Parcel Data Sheet• Exhibit Map• Application• Project Description / Plans <p>Findings of Fact</p> <ul style="list-style-type: none">• Municipal Transit Center is a conditional use within our zoning ordinance.• The proposed project would be located in the wellhead protection district.• The proposed building will be approximately 35,070 square feet.• There will be a 57 stall parking lot. <p>Staff Recommendation</p> <p>Approve, subject to the following condition(s):</p> <ul style="list-style-type: none">• Any hazardous substances that are used or stored onsite shall be within a proper containment area to prevent any leakage into the groundwater. The containment area shall be approved by the staff and the Department of Water/Sewer.• Testing requirements for wellhead protection shall be met as per the Department of Water/Sewer requirements.• A spill containment plan shall be developed by the property owner and the plan shall be approved by the Director of Water/Sewer. The plan shall develop procedures to prevent spills and the negative impacts.• The owner shall provide the Director of Water/Sewer with an continuous updated listing of all chemicals or hazardous substances located onsite, including petroleum products.• The owner shall provide the Director of Water/Sewer with information regarding any change to current practices that result in a change of use of hazardous substances used in business operations. The City reserves the right to impose additional restriction or to deny permission to new or different business practices.• A photometric plan shall be submitted and approved by staff.
--	---

- If any refuse containers are located outside of the building, they should be located with an enclosure that matches the architectural design of the building.
- Stormwater and drainage requirements shall be met as per the Department of Public Works standards.

Vicinity Map



Background

The City of Stevens Point is requesting to construct an approximate 35,070 square foot transit center on the eastern half of the above described parcel. The transit center will have approximately 57 parking stalls. This type of use is a conditional use within the M-2 zoning district, as well as the wellhead protection district.

Standards of Review

- 1) The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Analysis: The proposed project is to be located in an industrial area within the City. In addition, the facility will be located within the wellhead protection district.

Findings: The use should not be detrimental to the general welfare of the community. Staff would recommend that any hazardous substances that are used or stored onsite be within a proper containment area to prevent any leakage into the groundwater. The containment area shall be approved by the staff and the Department of Water/Sewer. Testing shall be done as per the Department of Water/Sewer requirements.

2) The use will not be injurious to the use and for the purpose already permitted;

Analysis: The proposed project is to be located in an industrial area within the City. Most of the surrounding area is vacant land or industrial in nature.

Findings: This standard is met.

3) The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;

Analysis: Most of the surrounding area is vacant land that is planned for a business park type development.

Findings: This standard is met.

4) The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;

Analysis: Renderings have been provided indicating the exterior materials will be brick/stone veneer and metal panels. The design of the building is of a similar style as other buildings within the Portage County Business Park.

Findings: This standard is met.

5) Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;

Analysis: Access will occur off of Week Street. Needed utilities have been provided to the site.

Findings: This standard is met.

6) Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;

Analysis: There will be one access point off of a cul-de-sac on Week Street.

Findings: This standard is met.

7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.

Analysis: The M-2 district is established to provide for those manufacturing or other industrial uses having more obnoxious or nuisance effects than the "M-1" Light Industrial District and having a greater intensity of manufacturing, processing, employment, traffic and other related activities. It is intended that the "M-2" district

generally be located distant from non-manufacturing uses: that it be buffered by the "M-1" district or by major highways, rivers, open space, or high intensity commercial uses, and that all "M-2" districts be located consistent with the City's Comprehensive Plan.

Findings: The FLUM indicates that this area shall be reserved for Business Park District and the current zoning of the property is M-2, our most intensive type of zoning classification. Staff feels that the proposed municipal transit center use fits both of these requirements.

- 8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The use meets all other zoning requirements. 57 parking spaces have been provided. The requirements will be based off of similar type uses within the zoning code.

Findings: This standard is met. Staff would recommend that at least 51 spaces are provided based on code requirements. The center has ample room to add additional spaces, if needed.

- 9) The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

N/A

- 10) Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

- 11) Access to the site shall be safe.**

- a. All developments shall front on a public right-of-way unless recommended by the Public Works Director.**

Analysis: The property fronts on Week Street.

Findings: This standard is met.

- b. The driveway to the site shall be located so as not to be a danger to the street flow of traffic.**

Analysis: The driveway is off of a cul-de-sac, which has no other developments.

Findings: This standard is met.

- c. The driveway shall not be too close to neighboring intersections.**

Analysis: The driveway is off of a cul-de-sac, and away from any intersections..

Findings: This standard is met.

- d. **Alignment of the driveway shall be coordinated with adjacent access points to avoid conflict or confusion.**

Analysis: There is no other access point immediately across.

Findings: This standard is met.

- e. **Only one driveway shall be allowed per site unless recommended by the Public Works Director. Two family units may be allowed more than one driveway if those driveways are separated by not less than 10 feet. Maximum driveway openings shall be 20 feet (each).**

Analysis: This will be the only driveway for the site.

Findings: This standard is met.

- f. **The organization of traffic flow on-site and between the site and the street shall be organized in a clear hierarchy of flow patterns. Internal and external areas where traffic flow changes directions or creates intersections shall be organized at clear intersections and those intersections are spaced far enough apart so as to not cause confusion or problems and to provide for adequate spacing for waiting vehicles.**

Analysis: Traffic flow is designed to separate the bus traffic from general customer traffic.

Findings: This standard is met.

- g. **Intersections are visible and not visually screened.**

Analysis: The ingress/egress point is not screened..

Findings: This standard is met.

- h. **Adequate drainage and snow storage is provided.**

Analysis: The lot will need to meet all drainage and stormwater requirements as per the Department of Public Works. There is additional land left over for additional snow storage, if needed.

Findings: This standard is met.

- i. **Minimum size requirements are maintained for safe vehicle circulation.**

Analysis: The parking lot areas meet the minimum size requirements.

Findings: This standard is met.

- j. **Parking areas shall be safe. They shall be adequately lit, sized to meet minimum standards, graded so as to not be too steep, and paved with concrete, brick, or bituminous surfacing. The light source shall not be visible from adjacent properties. Lighting shall be developed in such a way to minimize light straying onto adjacent properties.**

Analysis: No photometric plan has been provided.

Findings: Staff would recommend that one be submitted for review and approval by staff, prior to construction.

k. Driveways shall be located to minimize the impact to adjacent properties.

Analysis: The driveway is off of a cul-de-sac with no other development.

Findings: This standard is met.

12) There shall be adequate utilities to serve the site.

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

Analysis: Utilities are provided to this property.

Findings: This standard is met.

13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

- a. Mechanical equipment including refuse storage shall be screened from neighboring properties.**

Analysis: The trash bin location has not been identified.

Findings: If a dumpster is to be located outside of the building, it shall be screened with an enclosure that matches the architectural material of the building. This shall be approved by staff.

- b. Lighting shall be located to minimize intrusion onto the neighboring properties.**

Analysis: No photometric plan has been provided.

Findings: Staff would recommend that one be submitted for review and approval by staff, prior to construction.

- c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

Analysis: The proposed project is located in a business/industrial park area.

Findings: It is not anticipated that significant noise will be created with this request, that is in variance with the type of district that it is located in.

14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

N/A

Name and Address		Parcel #	Alt Parcel #
City of Stevens Point (Exempt) 1515 Strongs Ave Stevens Point, WI 54481		230801220004	230801220001
		Property Address	
		2700 Week St	
Display Note	New Parcel for 2011-Exempt		

OWNERSHIP HISTORY

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
City of Stevens Point	4/15/2011	\$324,260	Warranty Deed	757094		Land

PERMITS

Date	Number	Amount	Purpose	Note

2011 ASSESSED VALUE

Class	Land	Improvements	Total
X3-County Exempt	\$0	\$0	\$0
Total	\$0	\$0	\$0

LEGAL DESCRIPTION

LOT 1 CSM#10055-44-85 BNG PRT FRAC NWNW SUBJ TO RC-695/7 & 757204 S1 T23 R8 682/16-20 ANNEX 757094

PROPERTY IMAGE

PROPERTY SKETCH

NO IMAGE ON FILE

REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION

ADDRESS OF PROPERTY: Weeks Avenue - City of Stevens Point Transit Facility

- Zoning Ordinance Change (\$90.00 fee required)
- Conditional Use Permit (\$90.00 fee required)
- Variance from Zoning Ordinance -Board of Appeals (\$90.00 fee required)
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

Parking in excess of 49 parking stalls, deferred installation of street trees along Brilowski Road, modified landscaping around building and parking lot.

OWNER/APPLICANT:

Name: Joel Lemke, Director of Public Works
Address: 1515 Strongs Avenue
JStevens Point, WI 54481
(City, State, Zip Code)

Telephone: 715-346-1561
Cell Phone: _____


Signature

AGENT FOR OWNER/APPLICANT:

Name: Jim Tibbette, Angus Young Associates
Address: 555 S. River Street
Janesville, WI 53548
(City, State, Zip Code)

Telephone: 608-756-2326
Cell Phone: 608-751-5835


Signature

Scheduled Date of Plan Commission Meeting: January 3, 2012

Scheduled Date of Common Council Meeting: _____

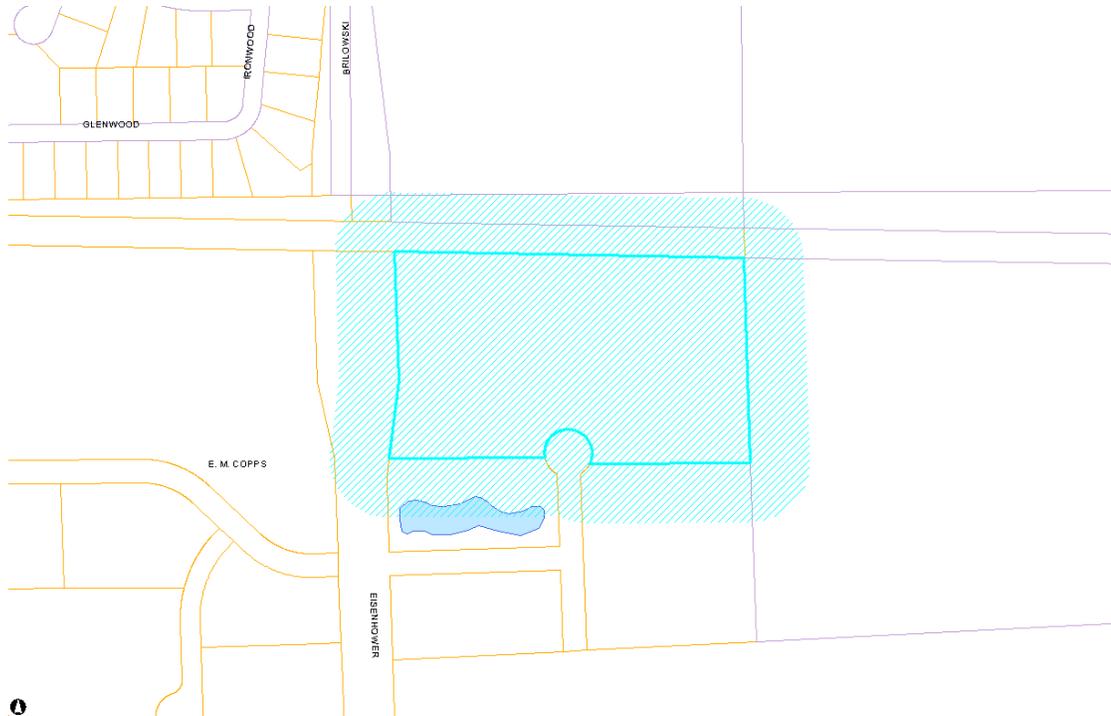
You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at
the Community Development Office three weeks prior to the actual meeting.

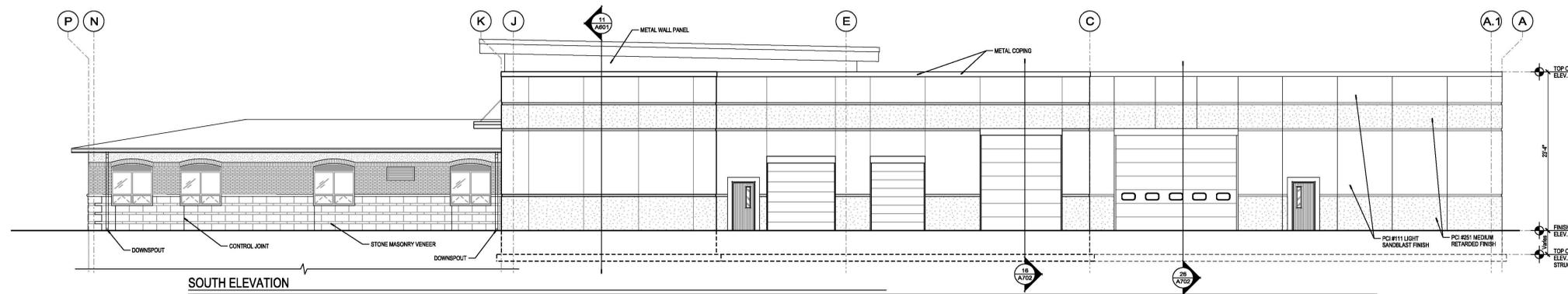
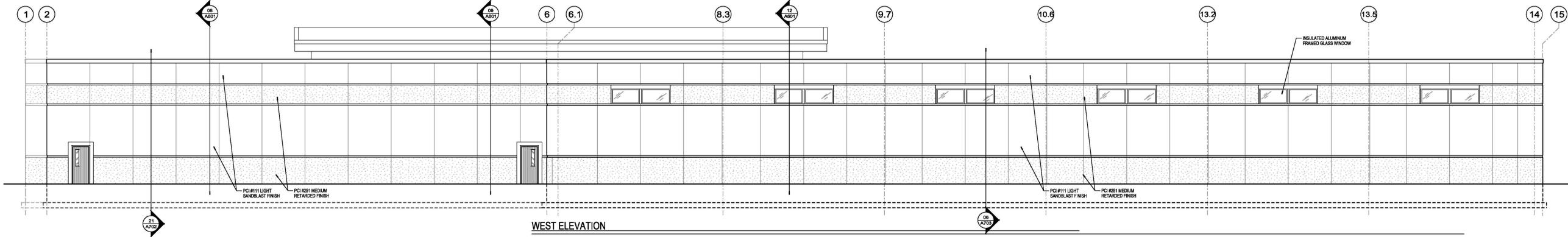
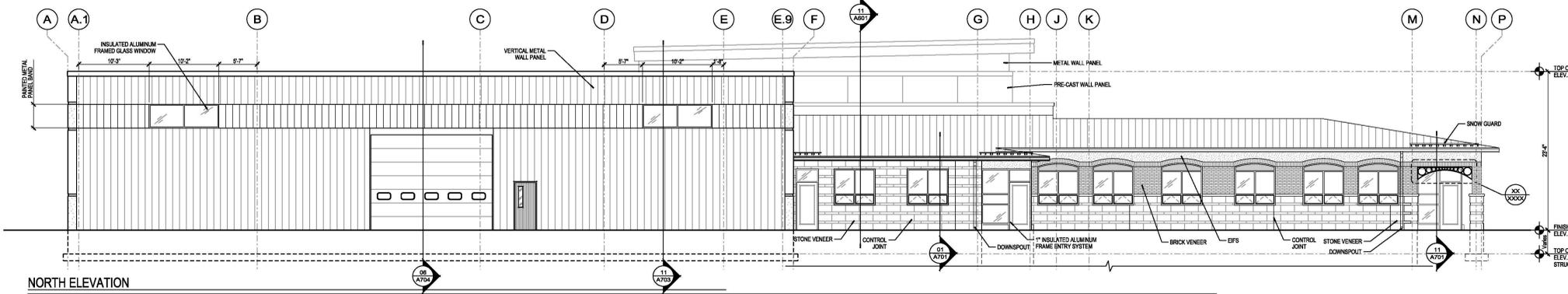
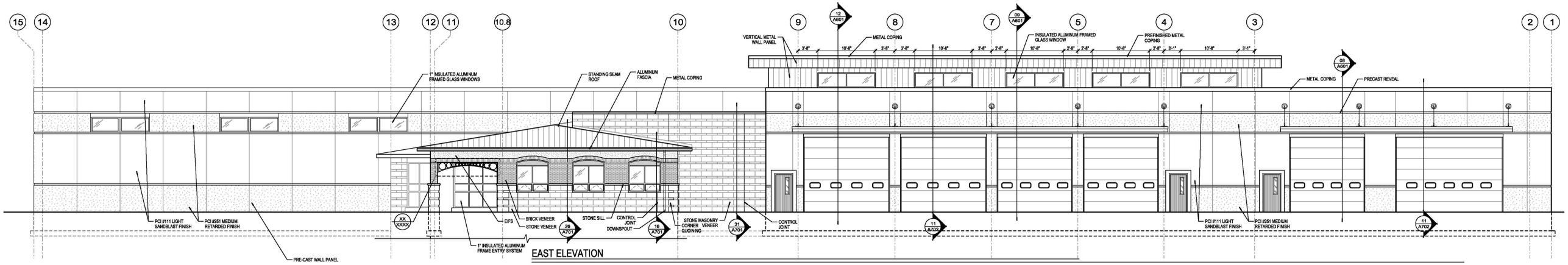
\$90.00 Fee Required for Rezoning Requests, Variances, and Conditional Use Permits

Receipt # _____

City of Stevens Point - Municipal Transit Facility - Conditional Use -
Exhibit Map (200 Feet Notification Boundary)



TaxKey	Property Address	Owner Name	Mailing Address	City	State	Zip Code
020230801-05.01		WORZALLA MICHAEL SR & THERESA	1249 BLACK TRAIL	STEVENS POINT WI		544820000
020230801-05.02		MOCADLO THOMAS J JAKUSZ MARGARET A ETAL	5931 OLD HY 18	STEVENS POINT WI		544820000
020230801-06.01		MOCADLO CARL JR & LISA K	7310 CTY RD BB	BANCROFT WI		549219730
020240836-10.05		PUBLIC THE				0
020240836-11.01		MOCADLO CARL J JR & LISA K	7310 CTY RD BB	BANCROFT WI		549219730
281230801220002	E M Copps Dr	Portage County	1462 Strongs Ave	Stevens Point	WI	54481
281230801220004	Week St	City of Stevens Point	1515 Strongs Ave	Stevens Point	WI	54481
281230801220005	Week St	Portage County	1462 Strongs Ave	Stevens Point	WI	54481
281230802100002	Eisenhower Ave	Wisconsin Central Railroad	1 Administration Rd Fl 1	Concord ON L4K 1B9	OO	0
281230802100010	E M Copps Dr	Portage County	1462 Strongs Ave	Stevens Point	WI	54481



SCALE: 1/8"=1'-0"
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Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes. Do NOT use scale to determine dimensions or sizes. Do NOT use scale to determine dimensions or sizes.

REVISIONS

1	Preliminary Design Drawings Issue 09th, 2011
2	Schematic Design (S/C) - July 17, 2011
3	Design Program Review October 18, 2011
4	Design Development Drawings November 2, 2011
5	Permitting Co. Exam. Draw. Comm. Submittal Nov. 25, 2011
6	City Plan Commission Submittal Dec. 6, 2011

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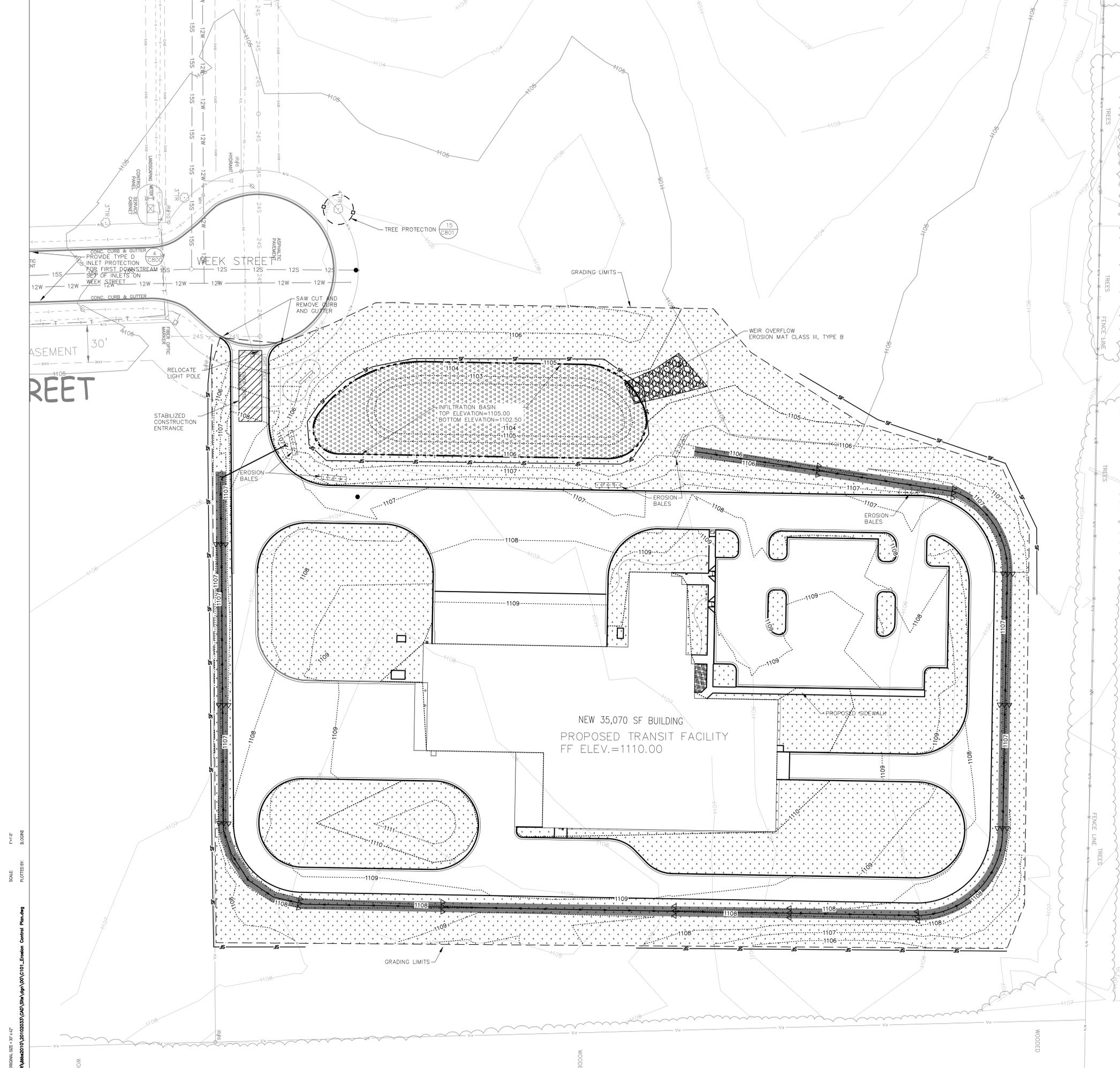
NEW TRANSIT FACILITY
 STEVENS POINT TRANSIT SYSTEM
 CITY OF STEVENS POINT
 STEVENS POINT, WISCONSIN



PROJECT NUMBER: 45930
 APPROVED BY: [Signature]
 REVIEWED BY: JCT
 DRAWN BY: JDM
 DATE: 12/28/2011 1:44:37 PM

EXTERIOR ELEVATIONS
 A401

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTES

- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY BY THE CITY OF STEVENS POINT DATED NOVEMBER 2010. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
- IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
- EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- ALL EXCESS MATERIAL SHALL BE STOCKPILED AT LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF ANY MATERIAL. STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE UNTIL TEMPORARY OR PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- EROSION CONTROL INSPECTIONS SHALL BE PERFORMED BY THE SITE CONTRACTOR.
- PLAN SHOWS LOCATIONS OF TEMPORARY SEEDING AS NECESSARY FOR EROSION CONTROL DURING CONSTRUCTION. REFER TO LANDSCAPE PLANS FOR FINAL SEEDING TYPES AND LOCATIONS.

NATIONAL

0 15' 30' 60'
SCALE: 1" = 30'

LEGEND

- 1105 --- EXISTING CONTOUR
- 1105 --- PROPOSED CONTOUR
- [Hatched Box] STABILIZED CONSTRUCTION ENTRANCE
- [Dotted Box] TEMPORARY SEEDING, FERTILIZER, MULCH
- [Cross-hatched Box] INFILTRATION BASIN SEEDING W/EROSION MAT CLASS I, TYPE A
- [Stippled Box] SILT FENCE (1) (C800)
- [Diagonal Lines] EROSION MAT, CLASS III, TYPE B (2) (C800)
- [Horizontal Lines] EROSION BALES (3) (C800)
- [Vertical Lines] EROSION MAT, CLASS I, TYPE B (5) (C800)
- [Wavy Line] DITCH CHECK (10) (C800)

EROSION CONTROL NOTES

- CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL.)
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NO LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SILT FENCE SHALL BE INSTALLED PER DETAILS ON SHEET C600. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED. SITE STABILIZATION INVOLVING SEEDING WHICH IS NOT COMPLETED PRIOR TO SEPTEMBER 15 SHALL BE COMPLETED WITH DORMANT SEEDING BY NOVEMBER 1. SODDING MAY OCCUR ANYTIME SOD IS AVAILABLE AND SOD AND SOIL IS NOT FROZEN.
- INLET GRATE SCREENS SHALL BE INSTALLED ON ALL EXISTING AND PROPOSED INLETS AND CATCH BASINS. REFERENCE SITE UTILITY DRAWINGS FOR LOCATION OF PROPOSED INLETS AND CATCH BASINS. FOR STRUCTURES IN DISTURBED AREAS THAT WILL NOT BE FINISHED AND VEGETATION ESTABLISHED WITHIN 30 DAYS, CURB INLET SEDIMENT BARRIERS SHALL BE USED IN LIEU OF INLET GRATE SCREENS. INLET PROTECTION SHALL BE PER THE PLAN AND DETAILS ON SHEET C600.
- EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
- WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN FOURTEEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER (POLYMER) SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
- DUST CONTROL SHALL BE IMPLEMENTED THROUGHOUT CONSTRUCTION AND SHALL UTILIZE THE METHODS OUTLINED IN WDNR TECH. STD. 1068.
- THE REMOVAL OF VEGETATIVE COVER AND EXPOSURE OF THE BARE GROUND MUST BE RESTRICTED TO THE MINIMUM AMOUNT NECESSARY FOR CONSTRUCTION. AREAS WHERE SOIL IS EXPOSED MUST BE PROTECTED FROM EROSION BY SEEDING AND MULCHING, SODDING, DIVERSION OF SURFACE RUNOFF, INSTALLATION OF STRAW BALES OF SILT SCREENS, CONSTRUCTION OF SETTLING BASINS, OR SIMILAR METHODS AS SOON AS POSSIBLE AFTER REMOVAL OF ORIGINAL GROUND COVER AS DESCRIBED IN THE WISCONSIN DNR TECHNICAL STANDARDS. ANY STOCKPILE THAT REMAINS OVER 7 DAYS MUST BE STABILIZED WITH MIXTURE NO. 20 FROM WISDOT SECTION 630.
- STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN DNR TECHNICAL STANDARDS. DISCHARGE OR PUMPED WATER TO SANITARY SEWERS WILL NOT BE ALLOWED.
- EROSION MAT SHALL CONSIST ENTIRELY OF BIODEGRADABLE COMPONENTS AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1052.
- AFTER THE SITE IS UNIFORMLY STABILIZED ACROSS 80% OF THE SITE AREA, OR PRIOR TO, AT THE DIRECTION OF THE DEPARTMENT OF NATURAL RESOURCES, ALL TEMPORARY EROSION CONTROL MEASURES MUST BE REMOVED AND DISPOSED OF PROPERLY. ANY REMAINING TEMPORARY EROSION CONTROL DEVICES AFTER THIS POINT CONSTITUTE LITTERING AND MAY BE ENFORCED AS DETERMINED NECESSARY BY THE DEPARTMENT OF NATURAL RESOURCES.
- CONTRACTOR SHALL MAINTAIN A LOG OF THE EROSION CONTROL INSPECTIONS, REPAIRS MADE, AND RAIN EVENTS. THIS MUST BE MADE AVAILABLE TO WDNR PERSONNEL UPON REQUEST AND MUST REMAIN ON THE PROJECT SITE AT ALL TIMES WORK IS BEING PERFORMED.

DEMOLITION AND EROSION CONTROL PLAN

1"=30'

SCALE: 1"=30'
PLOTTER BY: [Name]
DATE: [Date]

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ANGUS YOUNG
Architectural
Engineering
Interior Design

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**NEW TRANSIT FACILITY
STEVENS POINT TRANSIT SYSTEM
CITY OF STEVENS POINT
STEVENS POINT, WISCONSIN**

PROJECT NUMBER: 49303
APPROVED BY: PJS
REVIEWED BY: JCT
DRAWN BY: KAH
DATE: 8/17/11

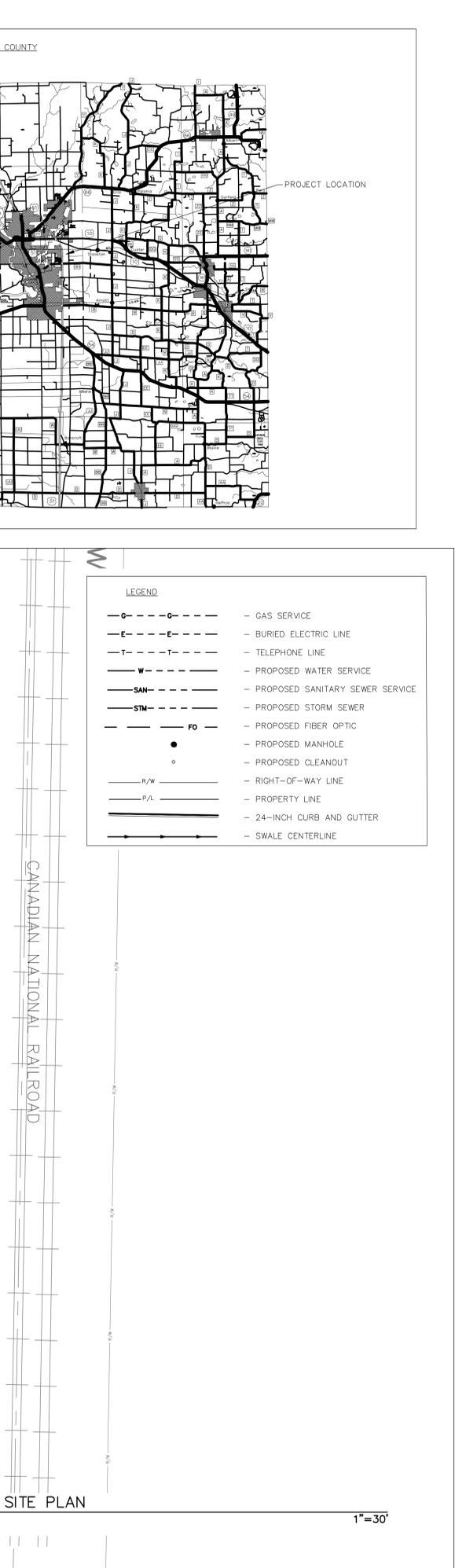
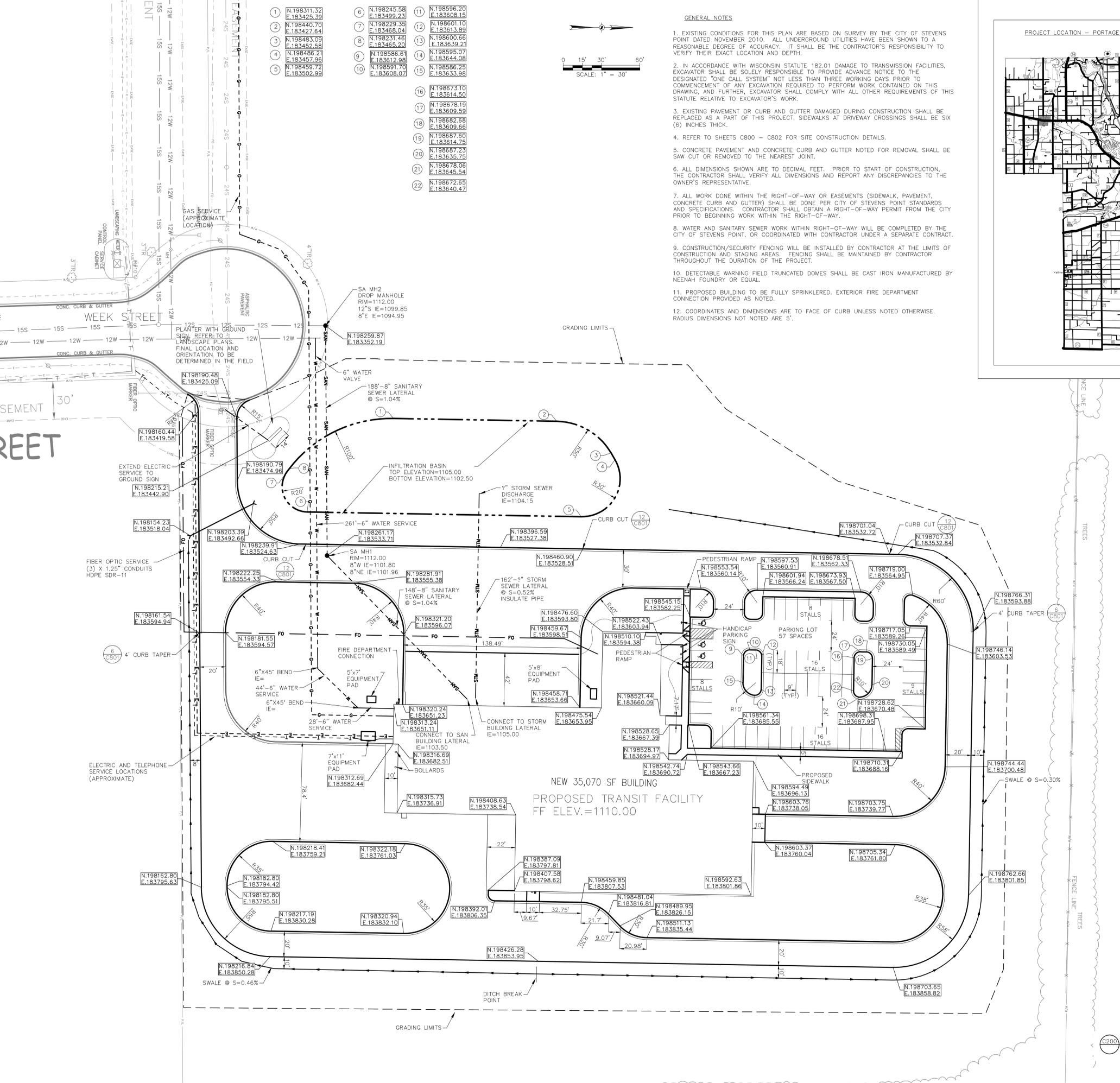
DEMOLITION AND EROSION CONTROL PLAN

REVISIONS

ISSUANCES	Revised Design Drawings June 6th, 2011
	Schematic Design Sign-Off July 12, 2011
	Owner Progress Review October 5, 2011
	City Plan Commission Submittal Dec 6, 2011

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DATE: 08/11/2010 10:02:33 (A) S:\Projects\010203\010203\DWG\010203\010203_Site_Plan.dwg
 SCALE: 1"=30'
 PLOTTED BY: SLOANS



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REVISIONS

NO.	DATE	DESCRIPTION
1	06/08/2011	ISSUANCES
2	07/12/2011	Primary Design Drawings, June 8th, 2011
3	07/12/2011	Schematic Design Sign-Off July 12, 2011
4	08/05/2011	Owner Progress Review October 5, 2011
5	08/05/2011	City Plan Commission Submittal Dec 6, 2011

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 www.angusyoung.com

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**NEW TRANSIT FACILITY
 STEVENS POINT TRANSIT SYSTEM
 CITY OF STEVENS POINT
 STEVENS POINT, WISCONSIN**

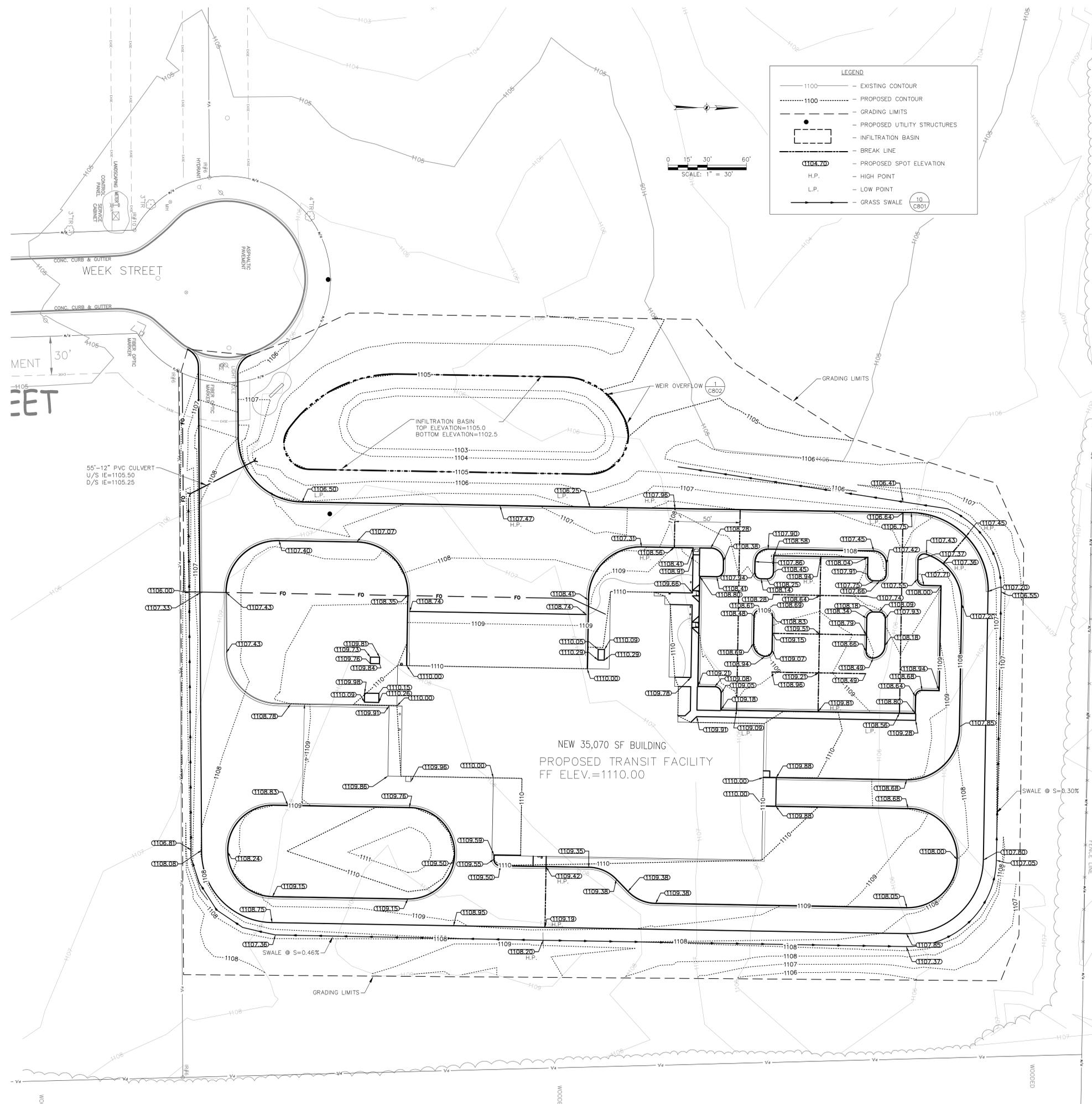
PROJECT NUMBER: 4930
APPROVED BY: PJS
REVIEWED BY: JCT
DRAWN BY: KAH
DATE: 8/11/2010

SITE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

C200

DATE: 06/20/11
 SCALE: 1"=30'
 PLOTTED BY: SLOANS



GENERAL NOTES

- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY BY THE CITY OF STEVENS POINT DATED NOVEMBER 2009. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMIT OR APPROVAL THAT MAY BE REQUIRED FOR THIS PROJECT BY LOCAL ZONING ORDINANCES OR BY THE U.S. ARMY CORPS OF ENGINEERS BEFORE STARTING WORK.
- CONTRACTOR SHALL POST A COPY OF THE DEPARTMENT OF NATURAL RESOURCES WPDES PERMIT AT A CONSPICUOUS LOCATION ON THE PROJECT SITE, FOR AT LEAST FIVE DAYS PRIOR TO CONSTRUCTION, AND REMAINING AT LEAST FIVE DAYS AFTER CONSTRUCTION. CONTRACTOR MUST ALSO HAVE A COPY OF THE PERMIT AND APPROVED PLAN AVAILABLE AT THE PROJECT SITE AT ALL TIMES UNTIL THE PROJECT IS COMPLETE.
- UPON REASONABLE NOTICE, CONTRACTOR SHALL ALLOW ACCESS TO THE PROJECT SITE DURING REASONABLE HOURS TO ANY DEPARTMENT OF COMMERCE OR DEPARTMENT OF NATURAL RESOURCES EMPLOYEE WHO IS INVESTIGATING THE PROJECT'S CONSTRUCTION, OPERATION, MAINTENANCE OR PERMIT COMPLIANCE.
- REFERENCE EROSION CONTROL PLAN AND SITE PAVING PLAN FOR COORDINATION OF WORK ON THIS SHEET.
- FOLLOWING CONSTRUCTION AND THE ESTABLISHMENT OF SPECIFIED GROUNDCOVERS, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL MAKE ALL REPAIRS OF LAWNS AND LANDSCAPED AREAS FOLLOWING THE REMOVAL OF SILT FENCES AND STAKES.
- THIS PLAN SHOWS NEW CONTOURS AND FINISHED GRADES. FOR ROUGH GRADES OF ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
- WHEN SPOT ELEVATIONS SHOWN REFER TO CRITICAL POINTS SUCH AS PAVEMENT ANGLE POINTS AND CURVE-TANGENT INTERSECTIONS, THEIR LOCATION WILL CORRESPOND WITH COORDINATES SHOWN ON C201. VERIFY SPOT ELEVATION AND COORDINATE RELATIONSHIP WITH OWNER'S REPRESENTATIVE.
- SPOT ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN AT FLOW LINE.
- A DENSE SILT SEAM APPROXIMATELY 2 FEET THICK MAY EXIST AT A DEPTH OF APPROXIMATELY 4 FEET BELOW EXISTING GRADE ACROSS PORTIONS OF THE SITE. IF ENCOUNTERED DURING GRADING OPERATIONS, THIS MATERIAL SHALL BE REMOVED COMPLETELY AND INCORPORATED INTO THE TOPSOIL AT A RATIO OF 3 UNITS TOPSOIL TO 1 UNIT SILT.

LEGEND

- 1100 — EXISTING CONTOUR
- - - 1100 - - - PROPOSED CONTOUR
- - - GRADING LIMITS
- - - PROPOSED UTILITY STRUCTURES
- - - INFILTRATION BASIN
- - - BREAK LINE
- 1104.70 ● PROPOSED SPOT ELEVATION
- H.P. - HIGH POINT
- L.P. - LOW POINT
- - - GRASS SWALE

REVISIONS

NO.	DATE	DESCRIPTION
1	06/20/11	ISSUANCES
2	06/20/11	ISSUANCES
3	06/20/11	ISSUANCES
4	06/20/11	ISSUANCES
5	06/20/11	ISSUANCES
6	06/20/11	ISSUANCES
7	06/20/11	ISSUANCES
8	06/20/11	ISSUANCES
9	06/20/11	ISSUANCES
10	06/20/11	ISSUANCES

REVISIONS

NO.	DATE	DESCRIPTION
1	06/20/11	ISSUANCES
2	06/20/11	ISSUANCES
3	06/20/11	ISSUANCES
4	06/20/11	ISSUANCES
5	06/20/11	ISSUANCES
6	06/20/11	ISSUANCES
7	06/20/11	ISSUANCES
8	06/20/11	ISSUANCES
9	06/20/11	ISSUANCES
10	06/20/11	ISSUANCES

REVISIONS

NO.	DATE	DESCRIPTION
1	06/20/11	ISSUANCES
2	06/20/11	ISSUANCES
3	06/20/11	ISSUANCES
4	06/20/11	ISSUANCES
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7	06/20/11	ISSUANCES
8	06/20/11	ISSUANCES
9	06/20/11	ISSUANCES
10	06/20/11	ISSUANCES

REVISIONS

NO.	DATE	DESCRIPTION
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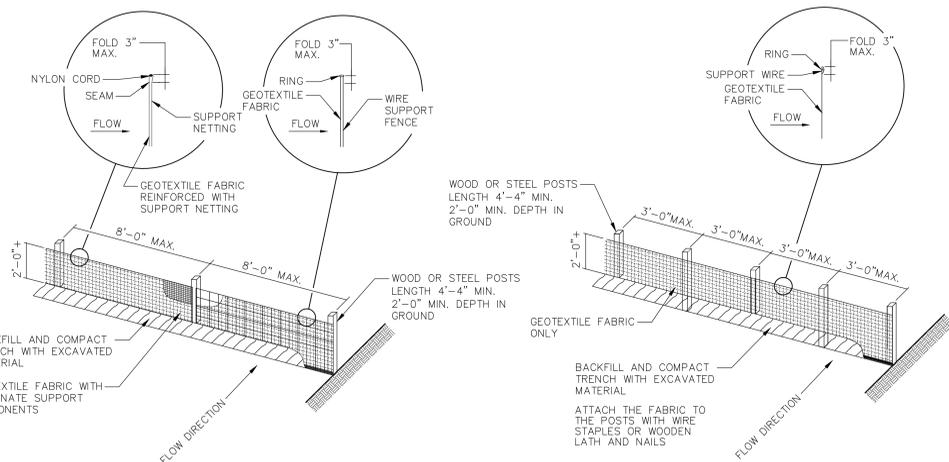
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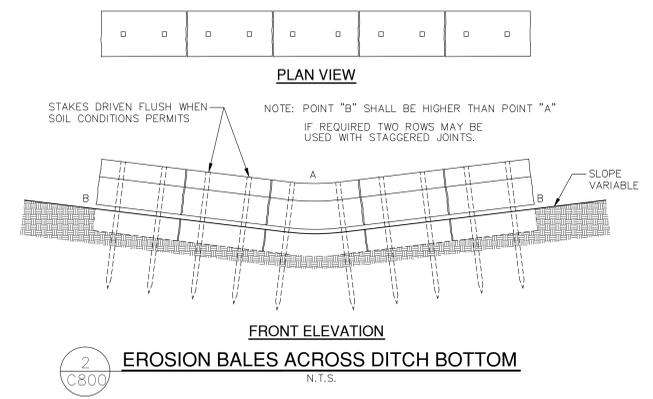


1 **SILT FENCE**
N.T.S.

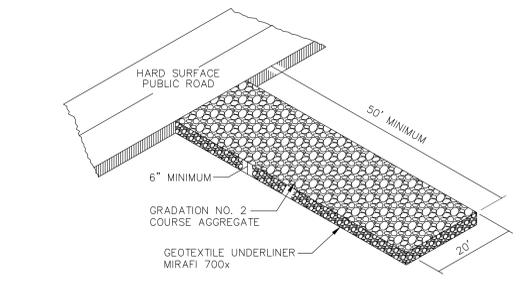
SILT FENCE TIE BACK
N.T.S.

TRENCH DETAIL
N.T.S.

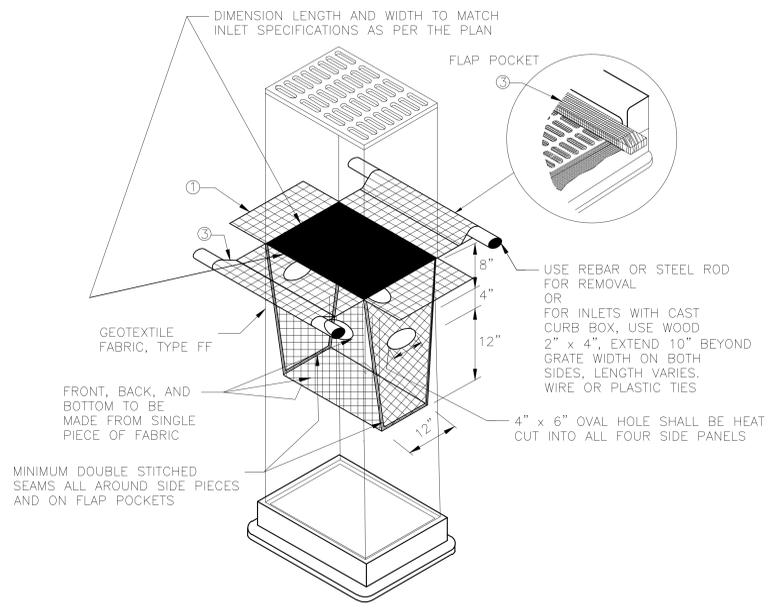
GENERAL NOTES:
DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DNR CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSE SHOE SHAPE, WITH THE ENDS POINTING UP SLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.



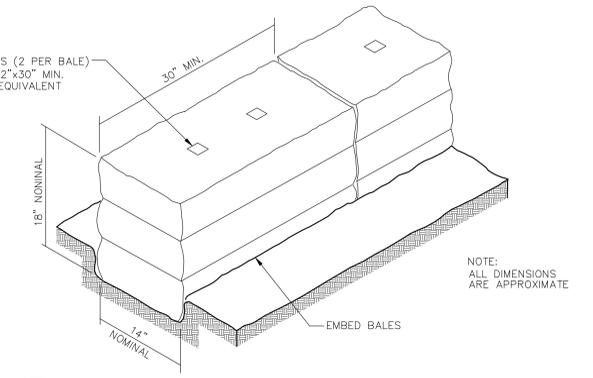
2 **EROSION BALES ACROSS DITCH BOTTOM**
N.T.S.



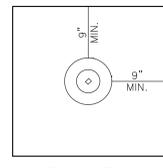
3 **CRUSHED STONE CONSTRUCTION ENTRANCE**
N.T.S.



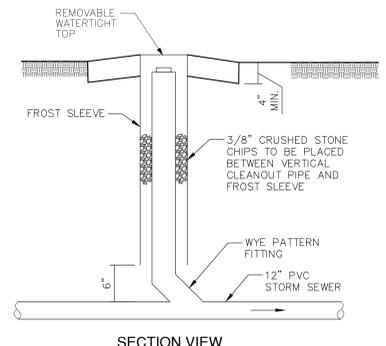
4 **INLET PROTECTION, TYPE D**
N.T.S.



5 **DETAIL OF EROSION BALE INSTALLATION**
N.T.S.

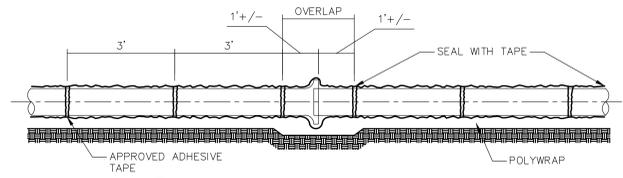


PLAN VIEW

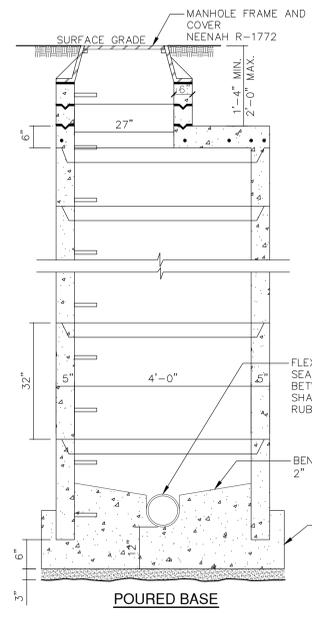


SECTION VIEW

6 **CLEANOUT DETAIL**
N.T.S.



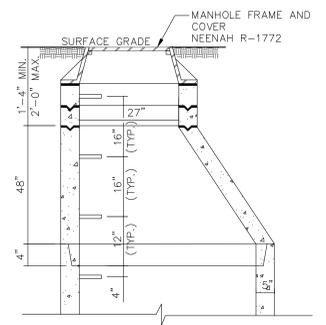
7 **POLYETHYLENE WRAP**
N.T.S.



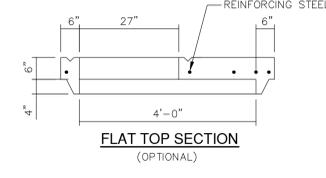
POURED BASE

GENERAL NOTES

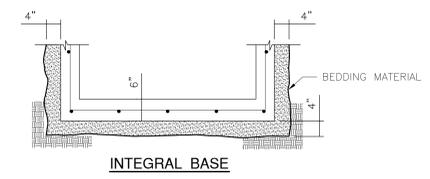
FLAT TOP SLAB MAY BE USED FOR 5'-0" AND 6'-0" DIA. MANHOLES.
PRECAST CONCRETE ADJUSTING RINGS TO BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING RUBBER GASKETS OR BUTYL RUBBER MASTIC MATERIAL.
AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT.



STANDARD CONE-TOP SECTION



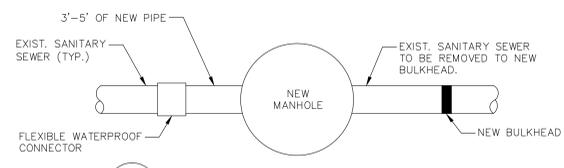
FLAT TOP SECTION (OPTIONAL)



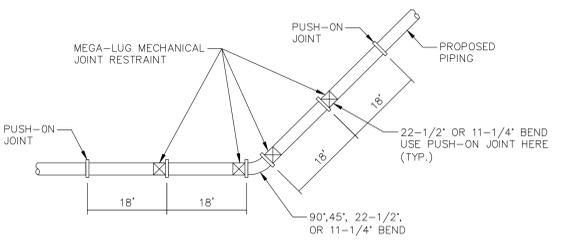
INTEGRAL BASE

NOTE: ALL MANHOLES TO BE 4'-0" DIAMETER WITH 5" THICK WALLS.

10 **PRECAST MANHOLE**
N.T.S.



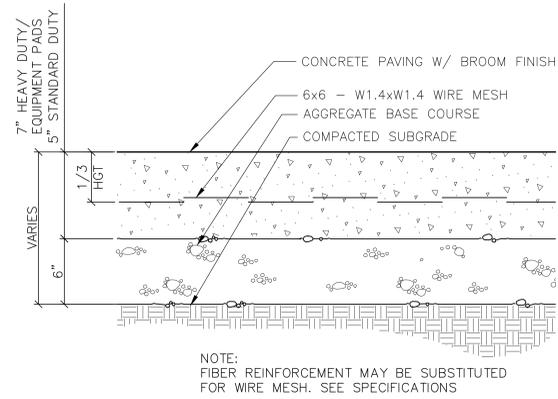
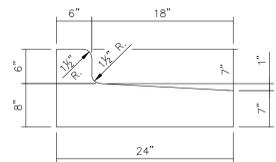
8 **NEW MANHOLE CONNECTION TO EXISTING PIPE**
N.T.S.



9 **RESTRAINED JOINT DETAIL**
N.T.S.

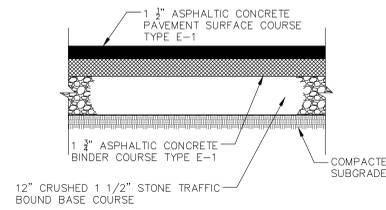
11 **SITE CONSTRUCTION DETAILS**
N.T.S.

1 C801 VERTICAL FACE HIGHSIDE CONCRETE CURB & GUTTER
N.T.S.

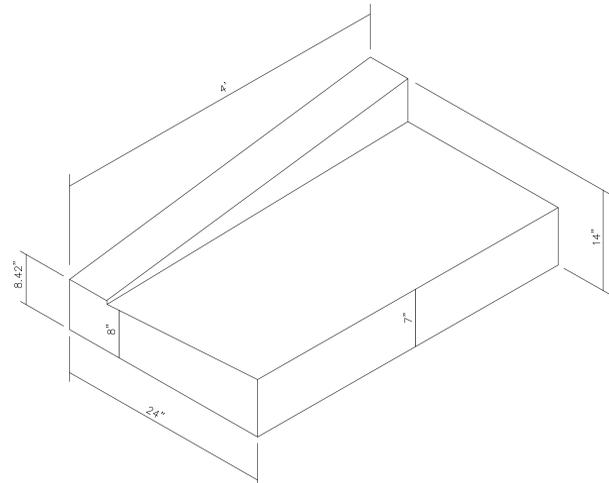
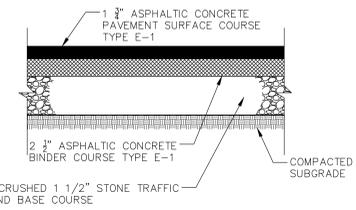


3 C801 TYPICAL CONCRETE PAVEMENT
N.T.S.

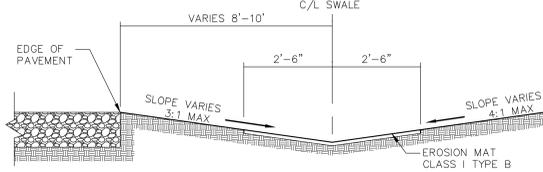
4 C801 STANDARD DUTY ASPHALT PAVING SECTION
N.T.S.



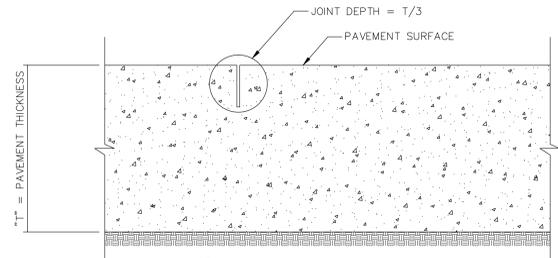
5 C801 HEAVY DUTY ASPHALT PAVING SECTION
N.T.S.



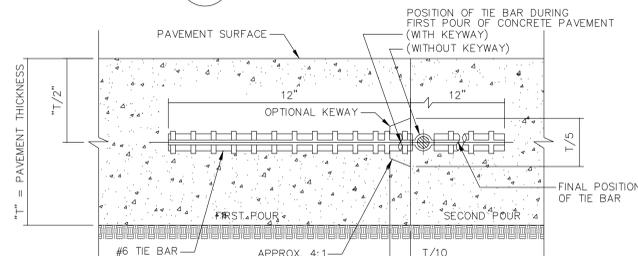
6 C801 4' CURB TAPER SECTION
N.T.S.



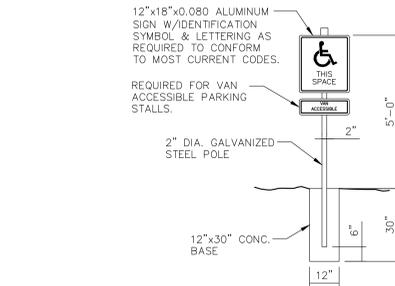
10 C801 GRASS SWALE DETAIL
N.T.S.



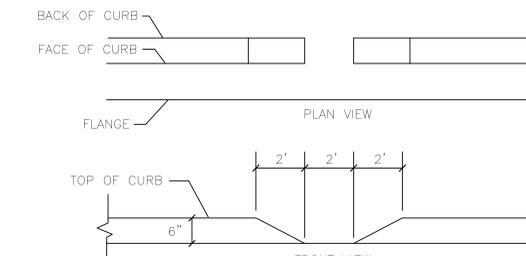
7 C801 CONTROL JOINT
N.T.S.



11 C801 CONSTRUCTION JOINT
N.T.S.

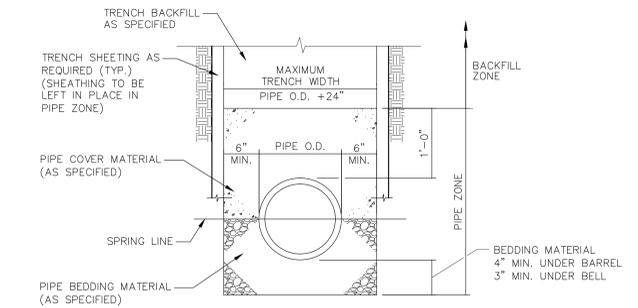
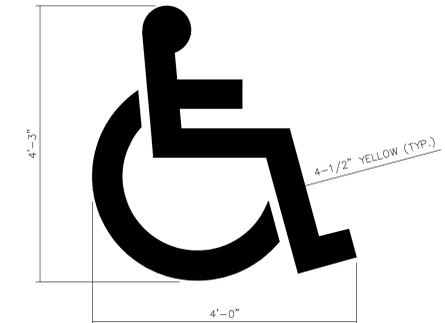


8 C801 WHEELCHAIR ACCESSIBLE SIGN
N.T.S.

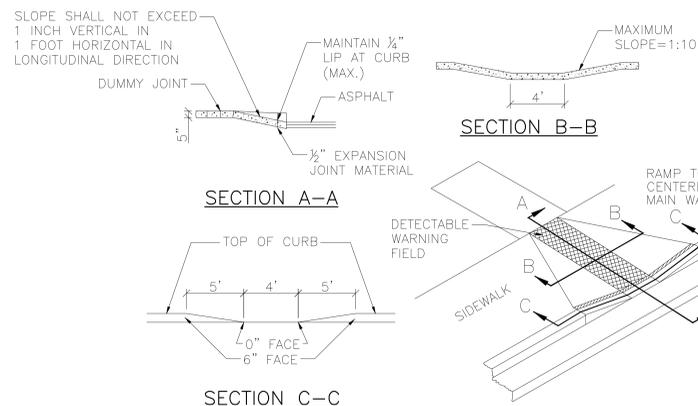


12 C801 CURB CUT
N.T.S.

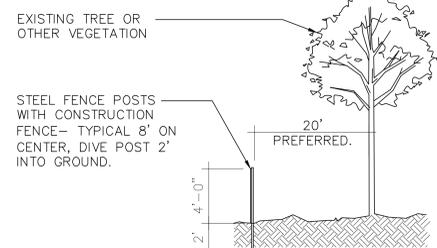
9 C801 PAVEMENT MARKING HANDICAP SYMBOL
N.T.S.



13 C801 CLASS "B" BEDDING DETAIL FOR UTILITIES
N.T.S.

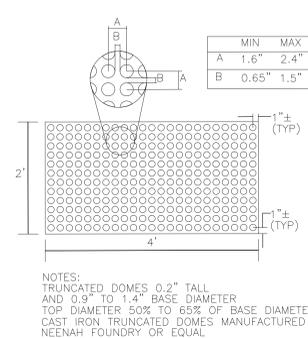


14 C801 CURB RAMP
N.T.S.

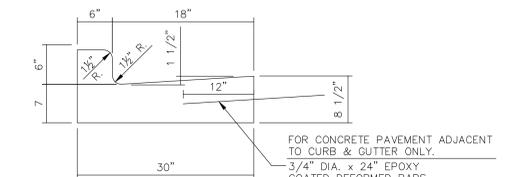


- NOTES:
1. PLACE FENCE POSTS 8' ON CENTER & ATTACH CONSTRUCTION FENCE SECURELY
 2. NO ENTRY, NO STORAGE & NO TRENCHING IN TREE PROTECTION ZONE DURING ENTIRE SITE CONSTRUCTION

15 C801 TREE PROTECTION
SCALE 1"=1'-0"



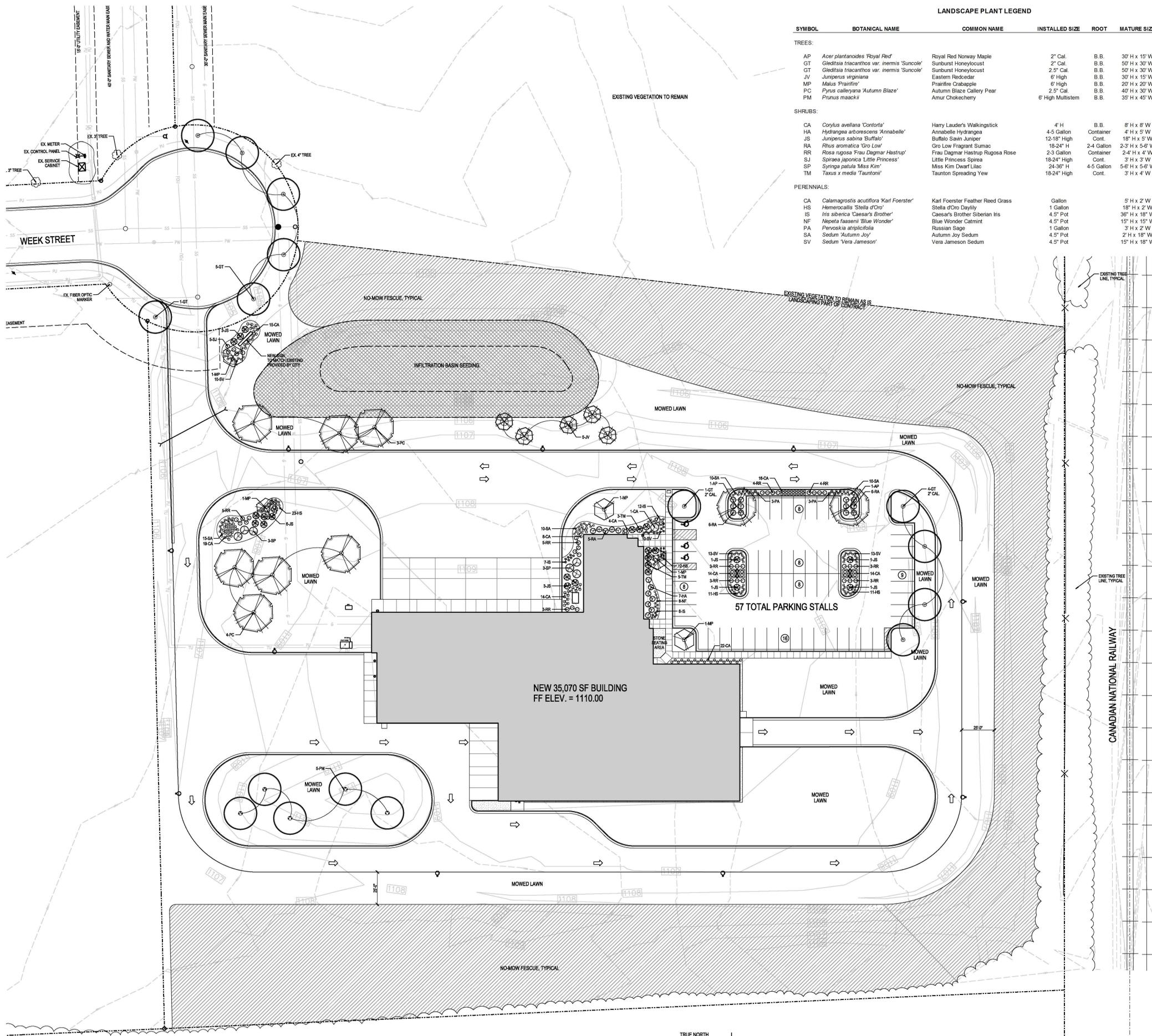
16 C801 DETECTABLE WARNING FIELD
N.T.S.



17 C801 VERTICAL FACE CONCRETE CURB & GUTTER
N.T.S.

18 C801 SITE CONSTRUCTION DETAILS
N.T.S.

ORIGINAL SIZE: 11" x 14"
 SCALE: 1/8" = 1'-0"
 PLOTTED BY: JAU
 DATE: 12/20/11

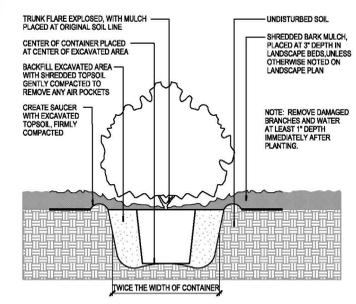


LANDSCAPE PLANT LEGEND

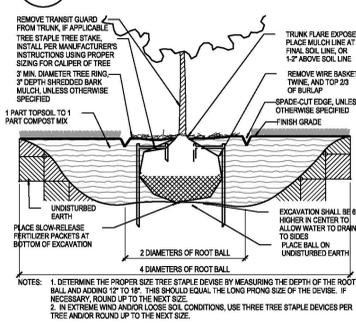
SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
TREES:						
AP	<i>Acer plantanoides</i> 'Royal Red'	Royal Red Norway Maple	2" Cal.	B.B.	30' H x 15' W	2
GT	<i>Gleditsia inaequalis</i> var. <i>inermis</i> 'Suncoke'	Sunburst Honeylocust	2" Cal.	B.B.	50' H x 30' W	5
GT	<i>Gleditsia inaequalis</i> var. <i>inermis</i> 'Suncoke'	Sunburst Honeylocust	2.5" Cal.	B.B.	50' H x 30' W	6
JV	<i>Juniperus virginiana</i>	Eastern Redcedar	6' High	B.B.	30' H x 15' W	5
MP	<i>Malus 'Prairifire'</i>	Prairifire Crabapple	6' High	B.B.	20' H x 20' W	4
PC	<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Callery Pear	2.5" Cal.	B.B.	40' H x 30' W	7
PM	<i>Prunus maskei</i>	Amur Chokecherry	6' High Multistem	B.B.	35' H x 45' W	5
SHRUBS:						
CA	<i>Corylus avellana</i> 'Contorta'	Hairy Laurel's Walkingstick	4' H	B.B.	8' H x 6' W	1
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangeas	4.5 Gallon	Container	4' H x 5' W	7
JS	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Savin Juniper	12-18" High	Cont.	18" H x 5' W	16
RA	<i>Rhus aromatica</i> 'Gro Low'	Gro Low Fragrant Sumac	18-24" H	2-4 Gallon	2-3' H x 5-6' W	17
RR	<i>Rosa rugosa</i> 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup Rugosa Rose	2-3 Gallon	Container	2-4' H x 4' W	33
SJ	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	18-24" High	Cont.	3' H x 3' W	5
SP	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	24-36" H	4-5 Gallon	5-6' H x 5-6' W	6
TM	<i>Taxus x media</i> 'Tauntonii'	Taunton Spreading Yew	18-24" High	Cont.	3' H x 4' W	8
PERENNIALS:						
CA	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	Gallon		5' H x 2' W	126
HS	<i>Hemerocallis</i> 'Stella d'Oro'	Stella d'Oro Daylily	1 Gallon		18" H x 2' W	57
IS	<i>Iris sibirica</i> 'Caesar's Brother'	Caesar's Brother Siberian Iris	4.5" Pot		36" H x 18" W	25
NF	<i>Nepeta faasseni</i> 'Blue Wonder'	Blue Wonder Catmint	4.5" Pot		15" H x 15" W	9
PA	<i>Penstemon atriplicifolia</i>	Russian Sage	1 Gallon		3' H x 2' W	6
SA	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	4.5" Pot		2' H x 18" W	45
SV	<i>Sedum 'Vera Jameson'</i>	Vera Jameson Sedum	4.5" Pot		15" H x 18" W	46



CALL TOLL FREE 1-800-242-8511
 MILWAUKEE AREA 414-259-1181
 FAX A LOCATE 1-800-338-3860
 TDD (HEARING IMPAIRED) 1-800-542-2289
 ONLINE: www.DiggersHotline.com
 WISCONSIN STATE REG. #10210 (P)14. WISCONSIN STATE REG. #10210 (P)14. WISCONSIN STATE REG. #10210 (P)14. WISCONSIN STATE REG. #10210 (P)14.



04 CONTAINER PLANTING IN LANDSCAPE BED
 SCALE: 1/2" = 1'-0"



03 B.B. SHRUB AND TREE PLANTING DETAIL
 SCALE: NONE

LANDSCAPE SYMBOL LEGEND		
		SHADE TREE
		EVERGREEN SHRUB OR TREE
		DECIDUOUS SHRUB
		ORNAMENTAL GRASS
		PERENNIAL
		EXISTING VEGETATION
		EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

- LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY EFFECT LANDSCAPE WORK.
 - LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND SHALL NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF DAY OF PLANT INSTALLATION.
 - LANDSCAPE CONTRACTOR TO INSTALL 'VALLEY VIEW', 'BLACK DIAMOND' EDGING AROUND ALL PLANTING BEDS SHOWN ON THIS PLAN.
 - ALL TREE RINGS SHALL HAVE FINELY SHREDED HARDWOOD BARK MULCH. NO OTHER MULCHES SHALL BE INSTALLED. ALL INDIVIDUAL TREES SHALL RECEIVE SPRADE CUT EDGE WITH 6" DIAMETER TREE RING ON DECIDUOUS TREES AND MIN. 6" DIAMETER AROUND EVERGREEN TREES.
 - ALL PLANTING BEDS SHALL HAVE 3" THICK WASHED STONE MULCH WITH WEED BARRIER FABRIC AND EDGING PER NOTE ABOVE.
 - NO-MOW SEEDING AREAS SHALL BE FLAGGED DURING ESTABLISHMENT.

- GENERAL NOTES**
- SEE DETAILS 03L101 AND 04L101 FOR TREE AND SHRUB PLANTING DETAILS.
 - PROVIDE DOUBLE-NETTED LIGHT DUTY (W/SDOT CLASS 1 TYPE B) EROSION MAT IN SWALE AND SIDE SLOPES OF INFILTRATION BASIN.

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/11	ISSUANCES
2	12/15/11	PRELIMINARY DESIGN DRAWING
3	12/15/11	DESIGN DEVELOPMENT DRAWING
4	12/15/11	PERMITS

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

Angus Young
 Architecture
 Engineering
 Interior Design
 Landscape Architecture
 555 South River Street, Janesville, WI 53404-4783
 Tel: 608.756.2326 Fax: 608.756.0404
 www.angusyoung.com



NEW TRANSIT FACILITY
STEVENS POINT TRANSIT SYSTEM
CITY OF STEVENS POINT
 STEVENS POINT, WISCONSIN

PROJECT NUMBER: 48930
 APPROVED BY: JCT
 REVIEWED BY: JCT
 DRAWN BY: KAU
 DATE: 12/20/11 1:18:10 PM

LANDSCAPE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

L101



Angus
Young
Balance in Growth





Angus
Young
Balance in Creativity





Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Plan Commission
From: Michael Ostrowski
CC:
Date: 12/28/2011
Re: Conveyance of Rights – HH and Hoover Project

The intersection of HH and Hoover is planned to be reconstructed. With the reconstruction, additional property will need to be acquired by the Village of Plover as the lead agency. There is a portion of property, indicated in that attached documents that the City of Stevens Point has rights to. In order for the project to continue, the City will need to convey these rights.

In order to convey these rights, the Plan Commission needs to provide a recommendation to the Common Council.

Staff would recommend approval.



Phone No.: 715.830.0544
Fax No: 715.830.0545
Toll Free: 888.830.0546

2115 East Clairemont Avenue, Suite 2A, Eau Claire, WI 54701

December 9, 2011

Via Certified Mail

City of Stevens Point
Attn: Kim Halverson
P.O. Box 243
300 Bliss Avenue
Stevens Point, WI 54481

NOTICE OF NON-REIMBURSABLE WORK

Re: Project ID: 6998-07-00
CTH HH & Hoover Avenue Intersection
Feltz Avenue to I39
Portage County
Parcel 23

Dear Ms. Halverson:

The consulting firm of Timbers-Selissen Land Specialists, Inc. has been retained by the Village of Plover to provide utility coordination activities on this project for reimbursable and non-reimbursable work. It is our desire to acquire easement rights from your company. Attached for your approval and execution are the following documents:

1. Conveyance of Rights in Land by Public Utility for lands identified as highway parcel No. 23.
2. Right of way plat. It is my understanding that the most up to date construction plans have been sent to you by the engineering firm AECOM. If not, please contact me and I will have a set sent to you. If you have any engineering questions, please contact Bruce Gerland, P.E., Senior Project Manager at AECOM 715.342.3010 or by email bruce.gerland@aecom.com.

It appears to us that there will be no reimbursable utility relocation work; therefore, we have not enclosed a contract agreement form. The Village of Plover anticipates construction to start summer of 2012.

If you have any questions regarding our request, we would be pleased to discuss the matter with you at any time. You can reach me at 715-830-0544, ext. 200.

Sincerely,
Timbers-Selissen Land Specialists, Inc.

Laura J. Humphrey
As Agent for the Village of Plover
Enclosures

Document Number
CONVEYANCE OF RIGHTS IN LAND

Exempt from fee s.77.25(2r) Wis. Stats.
s.61.34 (3) and (3m) Wis. Stats.

City of Stevens Point, GRANTOR, for and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, grants and conveys any and all rights and interest which, by virtue of prior title, easement, license, or other legal devices, GRANTOR holds in the land described below to the Village of Plover, GRANTEE, for the purposes of constructing, operating, and maintaining a public highway and appurtenant facilities on, over, under, or across the said land; provided, however that GRANTOR reserves to itself the subordinate right to cross, traverse, or otherwise occupy said land with its present and future overhead or underground transmission lines, appurtenant facilities, and supporting structures in a manner consistent with the purposes of this conveyance and in a manner which will not interfere with normal highway maintenance and operation; provided, further, that the costs of any relocation or alteration, now or in the future, of the transmission lines, appurtenant facilities, or supporting structures when required by the GRANTEE for any reason, including accommodating future expanded or additional highway facilities on, over, under or across said land, will be paid by the GRANTEE; provided, however, that the costs of such relocation or alteration, or of the installation of new or additional facilities when done at the instance of and for the purposes of the GRANTOR, will be defrayed by the GRANTOR.

This conveyance shall be binding on the GRANTOR, GRANTEE, and their respective successors and assigns.

Any person named in this conveyance may make an appeal from the amount of compensation within six months after the date of recording of this conveyance as set forth in s.32.05(2a) Wisconsin Statutes. For the purpose of any such appeal, the amount of compensation stated on the conveyance shall be treated as the award, and the date the conveyance is recorded shall be treated as the date of taking and the date of evaluation.

Other persons having an interest in record in the property: None

Legal Description

All that part of the Southwest 1/4 of the Southwest 1/4 of Section 2, Town 23 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin, subject to the Grantor's easement or interests included in lands acquired by the Grantee for Project 6998-07-00, CTH HH and Hoover Ave. Intersection, Feltz Avenue to I 39, CTHH, Portage County Wisconsin, dated November 16, 2011 and subsequent revisions, as filed with the County Clerk (or as recorded with the Register of Deeds) of Portage County, State of Wisconsin.

The undersigned certify that this instrument is executed pursuant to a resolution of the Board of Directors (or shareholders, stockholders, or members, if authorized by law) of GRANTOR corporation or cooperative.

Acknowledgment

City of Stevens Point
(Grantor Name)

(Signature)

(Title)

(Print Name)

(Signature)

(Title)

(Print Name)

(Date)
State of Wisconsin)
) ss.
_____ County)
On the above date, this instrument was acknowledged before me by
the named person(s).

(Signature, Notary Public)

(Print or Type Name, Notary Public)

(Date Commission Expires)

This space is reserved for recording data

Return to
Timbers-Selissen Land Specialists, Inc.
Attn: Laura J. Humphrey
2115 East Clairemont Avenue, Suite 2A
Eau Claire, WI 54701

Parcel Identification Number/Tax Key Number
281230802301111

Utility or RW Project ID:
6998-07-00

This instrument was drafted by: Laura J. Humphrey for
Timbers-Selissen Land Specialists, Inc.

Parcel No.: 23

R/W PROJECT NUMBER 6998-07-00	SHEET NUMBER 4.1	TOTAL SHEETS 6
FEDERAL PROJECT NUMBER		
PLAT OF RIGHT-OF-WAY REQUIRED FOR CTH HH & HOOVER AVE INTERSECTION FELTZ AVENUE TO 139		
CTH HH		PORTAGE COUNTY
CONSTRUCTION PROJECT NUMBER 6998-07-70		

CONVENTIONAL SIGNS AND ABBREVIATIONS

STATE LINE	--- --	SECTION CORNER		FOUNDATION OR RUIN BUILDING		R/W POINT	
COUNTY LINE	--- --	NOTATION FOR COMBUSTIBLE FLUIDS		CEMETERY		T.L.E. POINT	
TOWNSHIP AND RANGE LINES	--- --	NOTATION FOR HIGH VOLTAGE TRANSMISSION LINES		R/W MONUMENT			
SECTION LINE	--- --	BRIDGE		IRON PIN			
QUARTER LINE	--- --	STREAM OR RIVER		VALVE			
SIXTEENTH LINE	--- --	LAKE		WINDMILL			
NEW REFERENCE LINE	--- --	CULVERT (Box, Pipe Or Cattle Pass)		MANHOLE, SEPTIC VENT, WELL, ETC.			
NEW R/W LINE	--- --	SIGN		GAS PUMPS			
EXISTING R/W LINE	--- --	ENCROACHING SIGN		BUSHES			
PROPERTY LINE	--- --	ELECTRIC POLE		TREES (Deciduous)			
CORPORATE LIMITS	--- --	TELEPHONE POLE		TREES (Coniferous)			
LOT, TIE AND OTHER MINOR LINES	--- --	PEDESTAL (Label Type - Communications, Electric)		WOODS			
SLOPE INTERCEPTS	--- --	NO ACCESS (By Acquisition)					
UNDERGROUND FACILITY (Communications, Electric, Etc.)	--- --	NO ACCESS (By Statutory Authority)					
FENCE	--- --	NO ACCESS (By Previous Project)					
TEMPORARY INTEREST	--- --						
EASEMENT (Highway, Permanent Limited or Restricted Development)	--- --						
BEAM GUARD	--- --						
TRANSMISSION STRUCTURES (Line Optional)	--- --						
RAIL LINE	--- --						

P.I.	Point of Intersection	ST.	Street
Δ	Deflection Angle	IP	Iron Pipe or Iron Pin
D.	Degree of Curve	C.S.M.	Certified Survey Map
T.	Tangent Length	COR.	Corner
L.	Length	L.C.	Long Chord
R.	Radius	L.C.B.	Long Chord Bearing
CATV	Cable Television Line	MI.	Miles
FO	Fiber Optic Cable	MISC	Miscellaneous
G	Gas Line	N/A	Not Available or Applicable
GUY	Guy Wire	P.L.	Property Line
GV	Gas Valve	P.L.E.	Permanent Limited Easement
SAN	Sanitary Sewer Line	P.O.B.	Point of Beginning
SEPV	Septic Vent	PC	Point of Curvature
T	Telephone Line	PG.	Page
W	Water Line	PI	Point of Intersection
ANT.	Antenna	PROP	Property Corner
B	Barn or Building	PT	Point of Tangency
G	Garage	R/W	Right of Way
H	House	RD.	Road
S	Shed	REM.	Remnant
C.T.H.	County Trunk Highway	S.F.	Square Feet
CORP	Corporation	SEC.	Section
LLC	Limited Liability Corporation	STA.	Station
RR.	Railroad	T.L.E.	Temporary Limited Easement
S.T.H.	State Trunk Highway	VOL.	Volume

NOTES

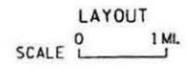
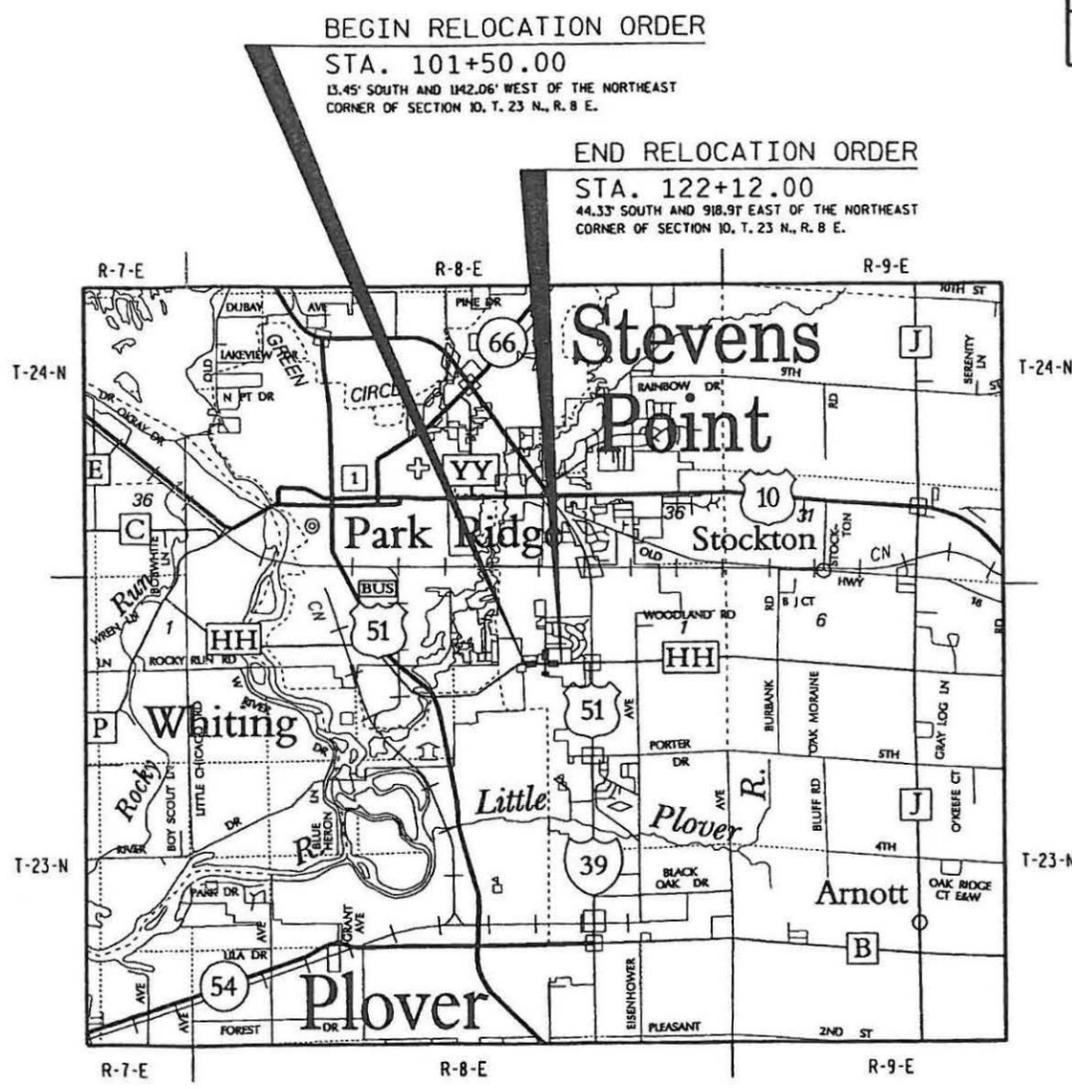
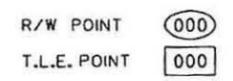
COORDINATES AND BEARINGS SHOWN ON THIS PLAT ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, PORTAGE COUNTY ZONE, (ENGLISH), NAD 83 (1991) ADJUSTMENT. THE COORDINATES SHOWN ARE GRID COORDINATES AND ARE TO BE USED AS GRID OR GROUND VALUES ON THIS PLAT.

RIGHT OF WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER SURVEYS OF PUBLIC RECORD.

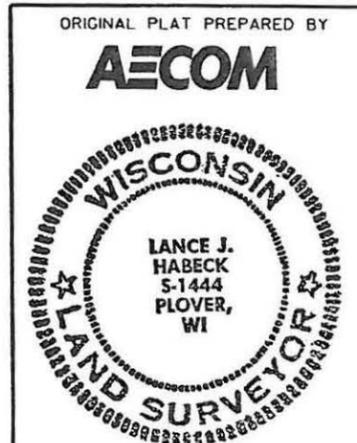
DIMENSIONING FOR THE NEW R/W IS MEASURED ALONG AND PERPENDICULAR TO NEW REFERENCE LINES.

PROPERTY LINES SHOWN ON THIS PLAT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR EXISTING OCCUPATIONAL LINES. EXCLUDING RIGHT OF WAY LINES, THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

RIGHT OF WAY MONUMENTS ARE TYPE 2 MONUMENTS (TYPICALLY 3/4" x 24" REBAR) AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.



TOTAL NET LENGTH OF CENTERLINE = 0.391 MI.



ORIGINAL PLAT PREPARED BY
AECOM
LANCE J. HABECK
5-1444
PLOVER, WI
DATE: 10/25/11

REVISION DATE	VILLAGE OF PLOVER
	APPROVED FOR THE VILLAGE OF PLOVER (Signature)
	DATE: 12-7-11

SCHEDULE OF LANDS & INTERESTS REQUIRED

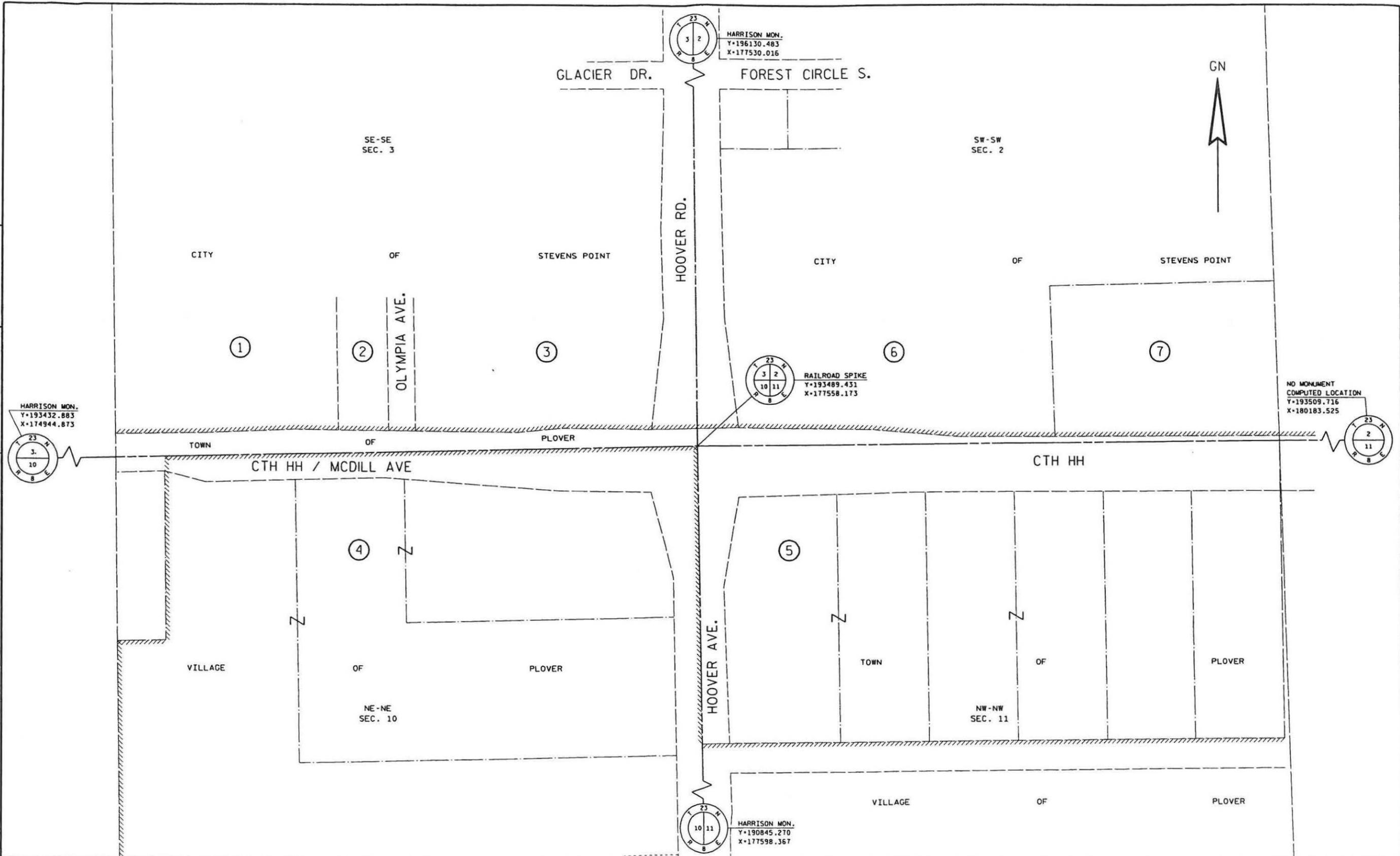
OWNER'S NAMES ARE SHOWN FOR REFERENCE
 PURPOSED ONLY AND ARE SUBJECT TO CHANGE
 PRIOR TO THE TRANSFER OF LAND INTERESTS
 TO THE VILLAGE OF PLOVER.

4

4

PARCEL NUMBER	SHEET NUMBER	OWNER (S)	INTEREST REQUIRED	R/W ACRES REQUIRED			T.L.E. ACRES	P.L.E. ACRES
				NEW	EXISTING	TOTAL		
1	4.4	GREATER POINT BAPTIST CHURCH	FEE & T.L.E.	0.069	-----	0.069	0.034	-----
2	4.4	DISHER PROPERTIES, LLC	FEE & T.L.E.	0.034	-----	0.034	0.013	-----
3	4.4 & 4.7	JOHN C. SERAMUR REVOCABLE TRUST DATED JULY 1, 1999	FEE & T.L.E.	0.321	-----	0.321	0.137	-----
4	4.4 & 4.6	SERAMUR FAMILY LIMITED PARTNERSHIP	FEE & T.L.E.	0.122	-----	0.122	0.273	-----
5	4.5 & 4.6	BRIAN A. FAHRNER & MARK E. FAHRNER, ARTHUR J. FAHRNER & MARGARET M. FAHRNER, LIFE ESTATE	FEE & T.L.E.	0.091	-----	0.091	0.048	-----
6	4.5 & 4.7	DAVID HALL, NANCY CALENBERG, DEBORAH HALL, SUSAN KUDRONOWICZ, MARY VIRANT & SARAH MURIEL OLSON, TRUSTEE, SARAH MURIEL OLSON REVOCABLE LIVING TRUST DATED JUNE 14, 2011	FEE & T.L.E.	0.164	-----	0.164	0.198	-----
7	4.5	BRIAN KUDRONOWICZ & SUSAN KUDRONOWICZ	FEE & T.L.E.	0.032	-----	0.032	0.014	-----
21	4.4, 4.5, 4.6	AT&T (TELEPHONE)	RELEASE OF RIGHTS	-----	-----	-----	-----	-----
22	4.6	VILLAGE OF PLOVER (WATER & SANIT. SEWER)	RELEASE OF RIGHTS	-----	-----	-----	-----	-----
23	4.6	CITY OF STEVENS POINT (WATER)	RELEASE OF RIGHTS	-----	-----	-----	-----	-----

REVISION DATE	DATE 12-7-2011	SCALE, FEET 0  N/A	HWY: CTH HH	STATE R/W PROJECT NUMBER 6998-07-00	PLAT SHEET 4.2
			COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER 6998-07-70	PS&E SHEET E



4

4

REVISION DATE	DATE 12-7-2011	NOT TO SCALE	HWY: CTH HH	STATE R/W PROJECT NUMBER 6998-07-00	PLAT SHEET 4.3
			COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER 6998-07-70	PS&E SHEET

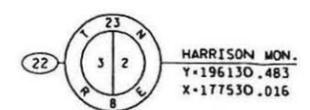
E

REFERENCE LINE DATA

P.L. = 102+19.71 Y 193,475.000 X 176,485.817 Δ = 0°53'11" RT.	P.L. = 100+57.31 Y 193,435.727 X 177,322.497 Δ = 0°46'45" LT. D = 06°44'26" T = 20.62' L = 41.23' R = 850.00'	P.L. = 24+31.13 Y 193,567.233 X 177,563.378 Δ = 0°09'52" RT.
--	--	---

NOTE: EXISTING RIGHT OF WAY FOR CTH HH AND HOOVER AVENUE ESTABLISHED FROM PREVIOUS PROJECT: 6998-1-13. EXISTING RIGHT OF WAY FOR OLYMPIA AVENUE ESTABLISHED FROM PARKWOOD SUBDIVISION, FOURTH ADDITION.

SE-SE
SEC. 3



UTILITY EASEMENTS

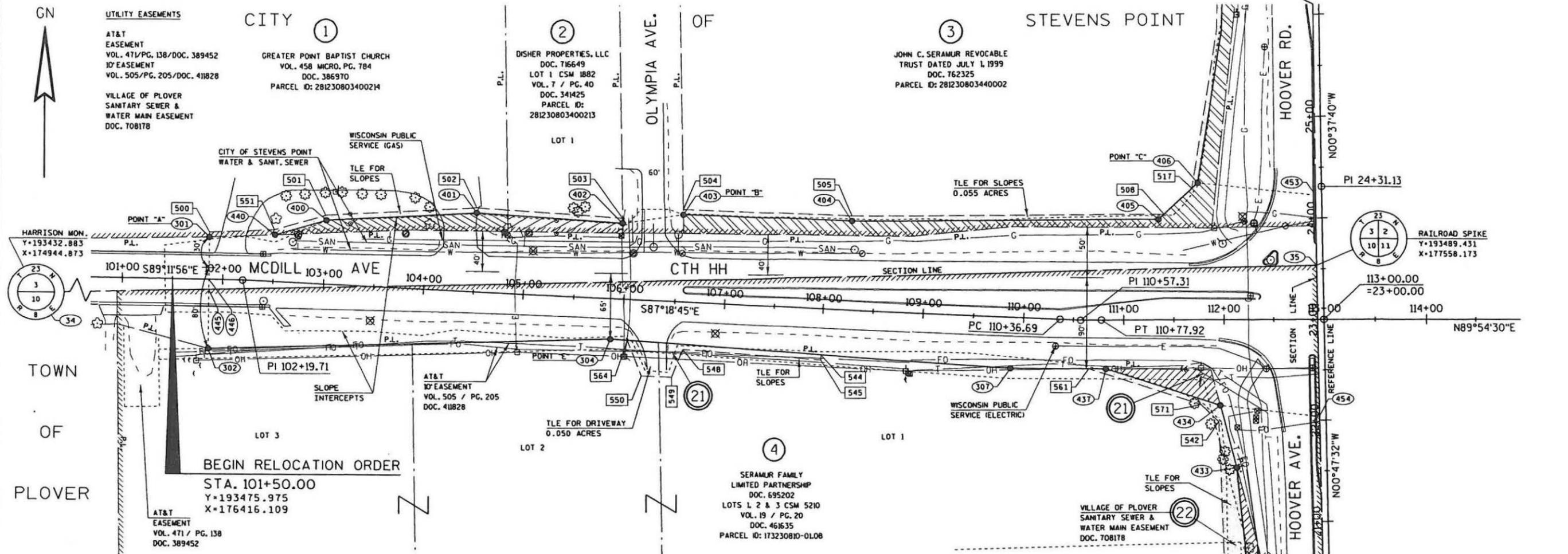
AT&T EASEMENT VOL. 471/PG. 138/DOC. 389452
10' EASEMENT VOL. 505/PG. 205/DOC. 41828

VILLAGE OF PLOVER SANITARY SEWER & WATER MAIN EASEMENT DOC. 708178

CITY ①
GREATER POINT BAPTIST CHURCH VOL. 458 MICRO. PG. 784
DOC. 386970
PARCEL ID: 281230803400214

CITY ②
DISHER PROPERTIES, LLC DOC. 716649
LOT 1 CSM 1882 VOL. 7 / PG. 40
DOC. 341425
PARCEL ID: 281230803400213

CITY ③
JOHN C. SERAMUR REVOCABLE TRUST DATED JULY 1, 1999
DOC. 762325
PARCEL ID: 281230803440002



R/W COURSE TABLE

FROM - TO	BEARING	DISTANCE
35 - 454	S00°52'15"E	149.71'
454 - 434	N83°33'41"W	99.94'
434 - 437	N72°13'42"W	119.58'
437 - 307	N89°22'43"W	95.52'
307 - 304	N85°48'09"W	400.78'
304 - 302	S88°28'25"W	400.28'
302 - 301	N00°37'17"E	110.00'
302 - 445	N00°37'17"E	58.35'
445 - 446	N00°37'17"E	9.96'
446 - 301	N00°37'17"E	41.69'
301 - 440	N87°45'32"E	65.18'
440 - 400	N74°04'59"E	52.76'
400 - 401	N86°58'37"E	150.75'
401 - 402	S86°07'46"E	145.29'
402 - 403	N82°12'06"E	60.44'
403 - 404	S87°59'07"E	170.32'
404 - 405	N89°56'18"E	305.47'
405 - 406	N47°35'38"E	53.22'
406 - 453	S84°10'48"E	118.71'
453 - 35	S00°36'39"E	69.28'
34 - 445	N88°45'37"E	1508.02'
445 - 35	N88°45'37"E	1105.89'
48 - 454	N00°52'15"W	2494.75'
35 - 453	N00°36'39"W	69.28'
453 - 22	N00°36'39"W	2571.92'
22 - 35	S00°36'39"E	2641.20'
35 - 48	S00°52'15"E	2644.46'
34 - 35	N88°45'37"E	2613.91'

TLE COURSE TABLE

FROM - TO	BEARING	DISTANCE
PARCELS 1 & 2		
301 - 500	N00°48'04"E	5.01'
500 - 551	N87°45'32"E	64.32'
551 - 501	N74°04'59"E	52.72'
501 - 502	N86°58'37"E	151.61'
502 - 503	S86°07'46"E	145.18'
503 - 402	S00°51'23"E	5.02'
PARCEL 3		
403 - 504	N00°51'23"W	5.01'
504 - 505	S87°59'07"E	170.48'
505 - 508	N89°56'18"E	310.86'
508 - 405	S47°35'38"W	7.42'
PARCEL 4		
304 - 564	S85°48'09"E	16.78'
564 - 544	S85°48'09"E	195.07'
544 - 545	S02°41'15"W	5.00'
545 - 548	N85°48'09"W	140.05'
548 - 549	S22°14'21"W	29.88'
549 - 550	N87°18'45"W	30.00'
550 - 564	N20°44'40"W	37.72'
PARCEL 4		
542 - 571	N46°22'26"W	25.22'
571 - 561	N72°13'42"W	116.57'
561 - 437	S89°22'43"E	16.96'

R/W STATION & OFFSET TABLE

POINT	STATION	OFFSET
301	101+86.41	41.69'
302	101+86.76	68.31'
304	105+88.22	39.95'
307	109+88.87	50.51'
400	103+00.00	63.00'
401	104+50.00	78.00'
402	105+95.26	75.00'
403	106+54.70	86.00'
404	108+25.00	88.00'
405	111+35.00	99.00'
406	24+36.00	124.00'
434	111+95.81	85.00'
437	110+82.00	48.32'
440	102+50.00	46.17'

TLE STATION & OFFSET TABLE

POINT	STATION	OFFSET
500	101+86.41	46.69'
501	102+98.94	67.92'
502	104+49.80	83.01'
503	105+94.95	80.01'
504	106+54.39	91.00'
505	108+24.70	98.00'
508	111+40.49	104.00'
517	24+31.00	130.01'
542	22+00.00	107.00'
544	108+00.00	45.53'
545	108+00.00	50.53'
548	106+60.00	46.84'
549	106+50.00	75.00'
550	106+20.00	75.00'
551	102+48.97	51.10'
561	110+65.74	48.20'
564	106+05.00	40.39'
571	111+76.00	83.87'

COORDINATE TABLE

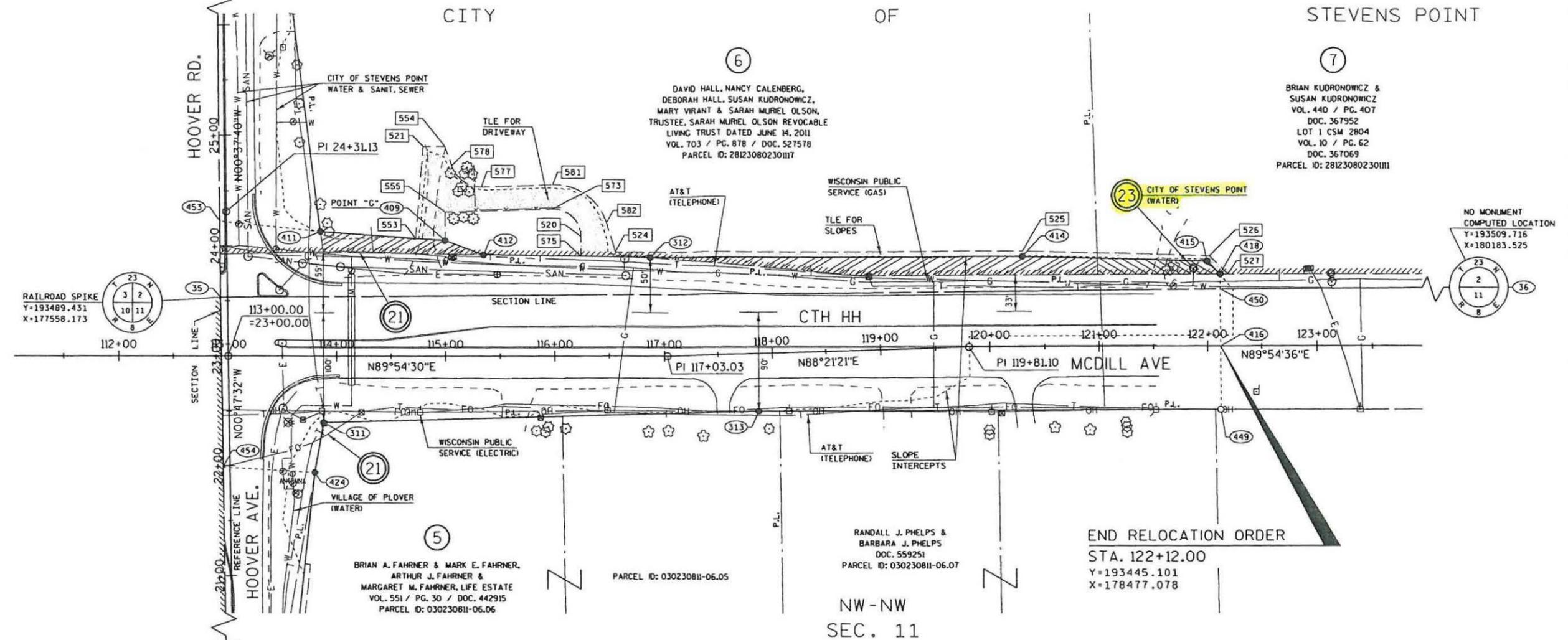
POINT	Y	X
301	193516.762	176452.750
302	193406.769	176451.557
304	193417.431	176851.696
307	193388.095	177251.401
400	193533.779	176568.615
401	193541.730	176719.154
402	193531.922	176864.115
403	193540.123	176923.999
404	193534.136	177094.210
405	193534.464	177399.678
406	193570.357	177438.977
434	193350.562	177460.783
437	193387.059	177346.914
440	193519.311	176517.881

REVISION DATE	DATE 12-7-2011	SCALE, FEET 0 50 100	HWY: CTH HH	STATE R/W PROJECT NUMBER 6998-07-00	PLAT SHEET 4.4
GRID FACTOR N/A			COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER 6998-07-70	PS&E SHEET E

SW-SW
SEC. 2

NOTE: EXISTING RIGHT OF WAY FOR CTH HH AND HOOVER AVENUE
ESTABLISHED FROM PREVIOUS PROJECT: 6998-1-13.

STEVENS POINT



4

4

R/W COURSE TABLE

FROM - TO	BEARING	DISTANCE
35 - 453	N00°36'39"W	69.28'
453 - 411	S84°10'48"E	93.24'
411 - 409	S86°06'22"E	115.10'
409 - 412	S69°47'09"E	37.32'
412 - 312	S89°09'30"E	152.59'
312 - 414	N89°54'49"E	342.33'
414 - 415	S88°24'20"E	170.07'
415 - 418	S45°39'22"E	16.81'
418 - 449	S00°05'24"E	123.00'
418 - 450	S00°05'24"E	13.67'
450 - 416	S00°05'24"E	51.56'
416 - 449	S00°05'24"E	57.77'
449 - 313	S89°53'12"W	424.27'
313 - 311	S88°27'17"W	400.12'
311 - 424	S09°57'11"W	46.19'
424 - 454	N83°33'41"W	85.02'
454 - 35	N00°52'15"W	149.71'
35 - 450	N89°32'56"E	918.85'
450 - 36	N89°32'56"E	1706.94'
36 - 454	N00°52'15"W	2494.75'
454 - 453	N00°36'39"W	69.28'
453 - 22	N00°36'39"W	2571.92'
22 - 35	S00°36'39"E	2641.20'
35 - 48	S00°52'15"E	2644.46'
48 - 36	N89°32'56"E	2625.79'

TLE COURSE TABLE

FROM - TO	BEARING	DISTANCE
409 - 553	N86°06'22"W	27.07'
553 - 521	N04°43'20"E	83.41'
521 - 554	N89°54'30"E	20.00'
554 - 578	S19°45'16"E	18.72'
578 - 577	CURVE	
577 - 581	N88°19'24"E	65.20'
581 - 582	CURVE	
582 - 524	S17°45'49"E	27.54'
524 - 525	N89°54'49"E	373.97'
525 - 526	S88°24'20"E	172.10'
526 - 527	S45°39'22"E	23.86'
527 - 418	S89°53'12"W	7.14'
418 - 575	N89°09'30"W	63.58'
575 - 520	N00°05'30"W	18.00'
520 - 573	CURVE	
573 - 555	S88°19'24"W	98.35'
555 - 409	S00°05'30"E	25.87'

R/W STATION & OFFSET TABLE

POINT	STATION	OFFSET
311	113+87.63	60.55'
312	116+87.57	89.56'
313	117+86.23	52.67'
409	115+00.00	105.00'
411	24+11.95	86.55'
412	115+35.00	92.05'
414	120+30.00	82.00'
415	122+00.00	77.00'
418	122+12.00	65.23'
424	21+93.00	78.27'
449	122+12.00	57.77'

TLE STATION & OFFSET TABLE

POINT	STATION	OFFSET
520	116+24.00	108.60'
521	114+80.00	190.00'
524	116+56.00	94.57'
525	120+30.07	87.00'
526	122+02.10	81.94'
527	122+19.14	65.24'
553	114+73.00	106.88'
554	115+00.00	190.00'
555	115+00.00	130.87'
573	115+98.31	133.59'
575	116+24.00	90.60'
577	115+33.44	153.80'
578	115+06.30	172.37'
581	115+98.62	155.61'
582	116+47.64	120.80'

COORDINATE TABLE

POINT	Y	X
311	193375.319	177652.558
312	193525.912	177952.261
313	193386.110	178052.538
409	193541.048	177764.668
411	193548.865	177649.833
412	193528.153	177799.689
414	193526.428	178294.592
415	193521.695	178464.600
418	193509.949	178476.618
424	193329.821	177644.574
449	193386.949	178476.812

RIGHT OF WAY CURVE TABLE

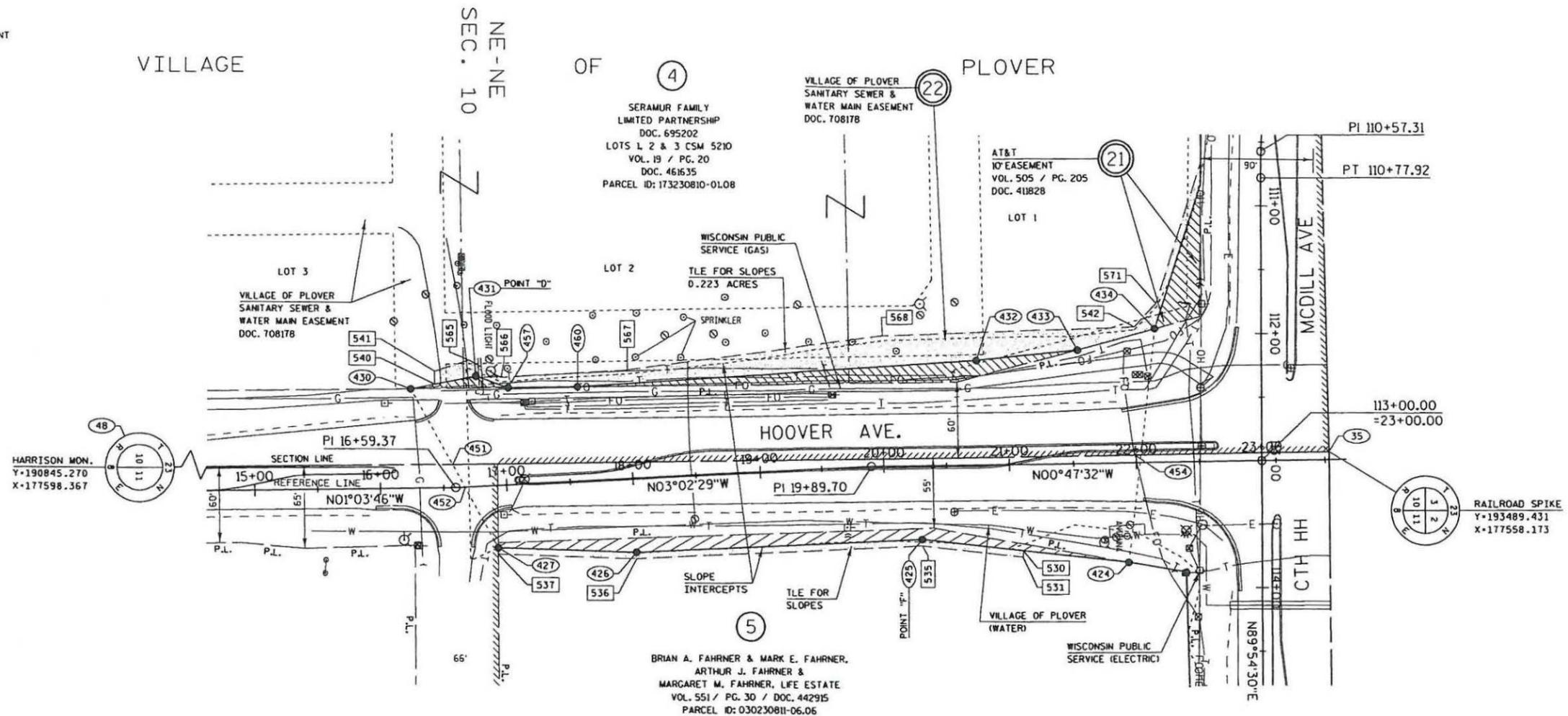
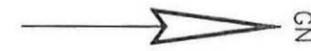
FROM - TO	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
578 - 577	28.00'	71°55'20"	35.15'	32.89'	S55°42'56"E
581 - 582	50.00'	73°54'47"	64.50'	60.12'	S54°43'13"E
520 - 573	25.00'	91°35'06"	39.96'	35.84'	N45°53'03"W

REVISION DATE	DATE 12-7-2011	SCALE, FEET 0 50 100	HWY: CTH HH	STATE R/W PROJECT NUMBER 6998-07-00	PLAT SHEET 4.5
GRID FACTOR N/A			COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER 6998-07-70	PS&E SHEET E

UTILITY EASEMENTS
 AT&T
 10' EASEMENT
 VOL. 505/PG. 205/DOC. 411828
 VILLAGE OF PLOVER
 SANITARY SEWER &
 WATER MAIN EASEMENT
 DOC. 708178

REFERENCE LINE DATA
 P.L. = 16+59.37 P.L. = 19+89.70 P.L. = 110+57.31
 Y 192,795.590 Y 193,125.454 Y 193,435.727
 X 177,586.653 X 177,569.127 X 177,322.497
 Δ = 01°58'43" LT. Δ = 02°14'57" RT. Δ = 02°46'45" LT.
 D. = 06°44'26"
 T. = 20.62'
 L. = 41.23'
 R. = 850.00'

NOTE: EXISTING RIGHT OF WAY FOR CTH HH AND HOOVER RD. ESTABLISHED FROM PREVIOUS PROJECT: 6998-1-13.



R/W COURSE TABLE

FROM - TO	BEARING	DISTANCE
35 - 454	S00°52'15"E	149.71'
454 - 424	S83°33'41"E	84.54'
424 - 425	S06°17'42"W	164.26'
425 - 426	S02°39'17"E	227.70'
426 - 427	S01°40'20"W	109.52'
427 - 430	S60°48'23"W	143.21'
427 - 452	S60°48'23"W	54.59'
452 - 451	S60°48'23"W	20.46'
451 - 430	S60°48'23"W	68.16'
430 - 431	N11°09'17"W	52.80'
431 - 457	N19°30'29"E	27.07'
457 - 460	N00°52'15"W	55.04'
460 - 432	N03°52'46"W	318.21'
432 - 433	N05°54'04"W	79.73'
433 - 434	N14°52'33"W	63.78'
434 - 454	S83°33'41"E	99.94'
48 - 451	N00°52'15"W	1948.36'
451 - 35	N00°52'15"W	696.10'
35 - 48	S00°52'15"E	2644.46'

TLE COURSE TABLE

FROM - TO	BEARING	DISTANCE
PARCEL 4		
431 - 540	S11°09'17"E	33.50'
540 - 541	S88°56'14"W	10.16'
541 - 565	N18°16'45"W	28.83'
565 - 566	N27°55'21"E	29.15'
566 - 567	N03°36'52"W	100.00'
567 - 568	N07°40'10"W	204.70'
568 - 542	N01°56'17"W	200.04'
542 - 571	N46°22'26"W	25.22'
PARCEL 5		
425 - 530	N06°17'42"E	80.62'
530 - 531	S83°42'18"E	5.00'
531 - 535	S06°17'42"W	80.22'
535 - 536	S02°39'17"E	227.50'
536 - 537	S01°40'20"W	109.53'
537 - 427	S89°33'40"W	5.00'

R/W STATION & OFFSET TABLE

POINT	STATION	OFFSET
424	21+93.00	78.27'
425	20+30.00	58.00'
426	18+00.00	58.00'
427	16+90.85	49.00'
430	16+25.00	78.41'
431	16+80.00	87.00'
432	20+75.00	82.60'
433	21+54.41	89.70'
434	22+16.28	105.22'
457	17+05.00	76.62'
460	17+60.00	74.53'

TLE STATION & OFFSET TABLE

POINT	STATION	OFFSET
530	21+10.00	67.95'
531	21+09.38	72.91'
535	20+29.77	63.01'
536	17+99.78	63.00'
537	16+90.62	54.00'
540	16+44.00	81.79'
541	16+44.00	91.95'
542	22+00.00	107.00'
565	16+75.00	100.00'
566	17+00.00	85.00'
567	18+00.00	86.00'
568	20+00.00	103.00'
571	22+17.65	125.02'

COORDINATE TABLE

POINT	Y	X
424	193329.821	177644.574
425	193166.556	177626.564
426	192939.103	177637.110
427	192829.627	177633.914
430	192759.775	177508.896
431	192811.578	177498.681
432	193209.608	177485.355
433	193288.917	177477.158
434	193350.562	177460.783
457	192837.094	177507.721
460	192892.127	177506.884

REVISION DATE	DATE 12-7-2011	SCALE, FEET	HWY: CTH HH	STATE R/W PROJECT NUMBER 6998-07-00	PLAT SHEET 4.6
GRID FACTOR N/A		D 50 100	COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER 6998-07-70	PS&E SHEET E

NOTE: EXISTING RIGHT OF WAY FOR CTH HH AND HOOVER RD. ESTABLISHED FROM PREVIOUS PROJECT: 6998-1-13. EXISTING RIGHT OF WAY FOR GLACIER DR. ESTABLISHED FROM PARKWOOD SUBDIVISION, SIXTH ADDITION. EXISTING RIGHT OF WAY FOR FOREST CIRCLE ESTABLISHED FROM VILLAGE GREEN ESTATES.



REFERENCE LINE DATA

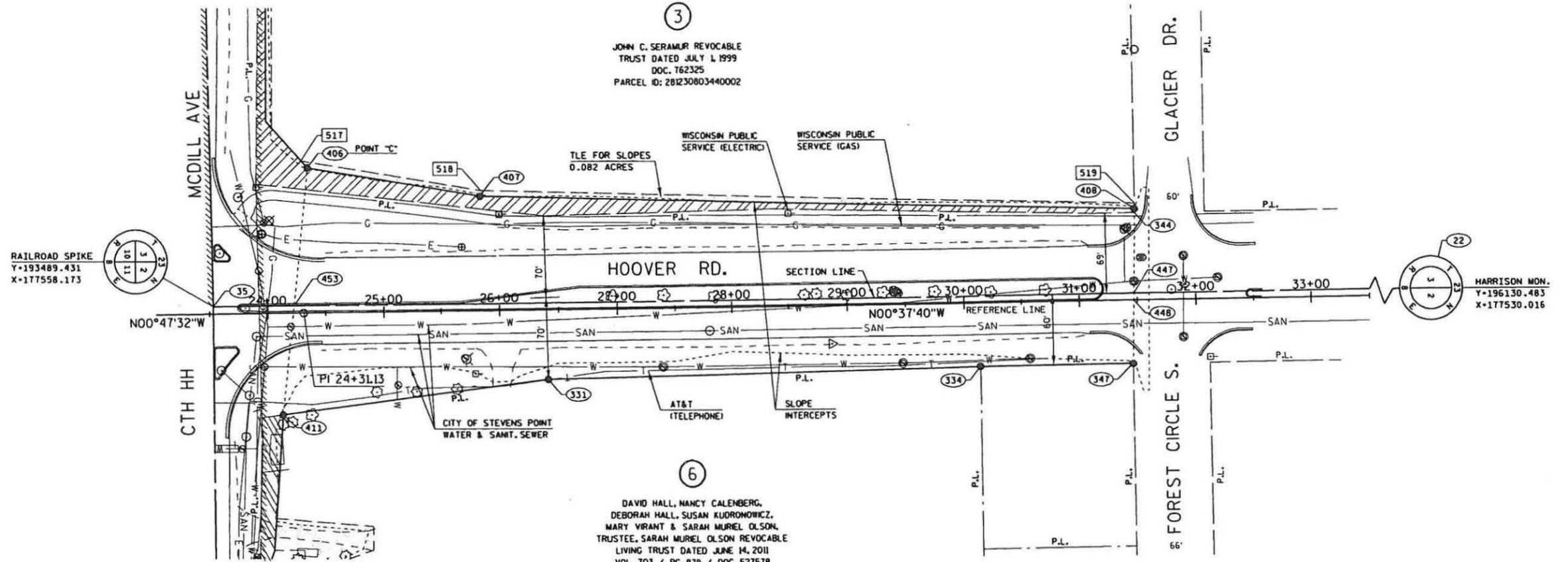
P.L. = 24+31.13
 Y = 193,566.846
 X = 177,563.023
 Δ = 00°09'52" RT.

SE-SE
 SEC. 3

CITY OF STEVENS POINT

3

JOHN C. SERAMUR REVOCABLE TRUST DATED JULY 1, 1999
 DOC. 762325
 PARCEL ID: 281230803440002



6

DAVID HALL, NANCY CALENBERG, DEBORAH HALL, SUSAN KUORONOWICZ, MARY VIRANT & SARAH MUREL OLSON. TRUSTEE, SARAH MUREL OLSON REVOCABLE LIVING TRUST DATED JUNE 14, 2011
 VOL. 703 / PG. 878 / DOC. 527578
 PARCEL ID: 281230802301117

CITY OF STEVENS POINT

SW-SW
 SEC. 2

R/W COURSE TABLE

FROM - TO	BEARING	DISTANCE
35 - 453	N00°36'39"W	69.28'
453 - 406	N84°10'48"W	118.71'
406 - 407	N09°16'14"E	151.25'
407 - 408	N01°24'10"E	564.47'
408 - 344	N89°32'31"E	3.18'
344 - 347	S89°02'46"E	129.05'
344 - 447	S89°02'46"E	69.03'
447 - 448	S89°02'46"E	5.83'
448 - 347	S89°02'46"E	54.20'
347 - 334	S00°36'39"E	132.03'
334 - 331	S01°25'55"E	373.03'
331 - 411	S07°25'49"E	229.94'
411 - 453	N84°10'48"W	93.24'
35 - 447	N00°36'39"W	793.81'
447 - 22	N00°36'39"W	1847.39'
22 - 35	S00°36'39"E	2641.20'

TLE COURSE TABLE

FROM - TO	BEARING	DISTANCE
406 - 517	S47°35'38"W	8.06'
517 - 518	N09°16'14"E	157.23'
518 - 519	N01°24'10"E	563.96'
519 - 408	N89°32'31"E	5.00'

R/W STATION & OFFSET TABLE

POINT	STATION	OFFSET
331	26+40.52	59.37'
334	30+13.51	54.14'
344	31+49.10	74.82'
347	31+45.54	54.18'
406	24+36.00	124.00'
407	25+85.00	98.00'
408	31+49.11	78.00'
411	24+11.95	86.55'

TLE STATION & OFFSET TABLE

POINT	STATION	OFFSET
517	24+31.00	103.01'
518	25+86.52	102.98'
519	31+49.13	83.00'

COORDINATE TABLE

POINT	Y	X
331	193776.873	177620.098
334	194149.787	177610.777
344	194283.958	177480.339
347	194281.809	177609.369
406	193570.357	177438.977
407	193719.633	177463.343
408	194283.932	177477.161
411	193548.865	177649.833

REVISION DATE	DATE 12-7-2011	SCALE, FEET 0 50 100	HWY: CTH HH	STATE R/W PROJECT NUMBER 6998-07-00	PLAT SHEET 4.7
	GRID FACTOR N/A		COUNTY: PORTAGE	CONSTRUCTION PROJECT NUMBER 6998-07-70	PS&E SHEET E