

AMENDED
City of Stevens Point
REGULAR COUNCIL MEETING

Council Chambers
County-City Building

January 16, 2012
7:00 P.M.

1. Roll Call.
2. Salute to the Flag and Mayor's opening remarks.
3. Consideration and possible action of the minutes of the Common Council meeting of December 19, 2011 and the Special Common Council meeting of January 3, 2012.
4. *Persons who wish to address the Mayor and Council on specific agenda items other than a "Public Hearing" must register their request at this time. Those who wish to address the Common Council during a "Public Hearing" are not required to identify themselves until the "Public Hearing" is declared open by the Mayor.
5. Persons who wish to address the Mayor and Council for up to three (3) minutes on a non-agenda item.

Consideration and Possible Action on the Following:

6. Minutes and actions of the Plan Commission meeting of January 3, 2012.
7. Public Hearing – Conditional Use – 2700 Week Street – Construction of a Municipal Transit Center.
8. Resolution on the Above.
9. Minutes and actions of the Special Plan Commission meeting of January 10, 2012.
10. Resolution – Adopting a Citizen Participation Plan.
11. Minutes and actions of the Finance Committee meeting of January 9, 2012 and the minutes of the Special Finance Committee meeting of December 19, 2011.
12. Actions taken at the Special Public Protection Committee meeting of January 16, 2012.
13. Resolution – Adopting Residential Antidisplacement and Relocation Plan.
14. Ordinance – Amending Chapter 27 relating to Fair and Open Housing.
15. Public Hearing – Submission of a Community Development Block Grant application for Housing rehabilitation and related activities.
 1. Identification of total potential funds.
 2. Eligible CDBG activities
 - a. Economic Development
 - b. Public Facilities
 - c. Housing
 - (1) Rehabilitation

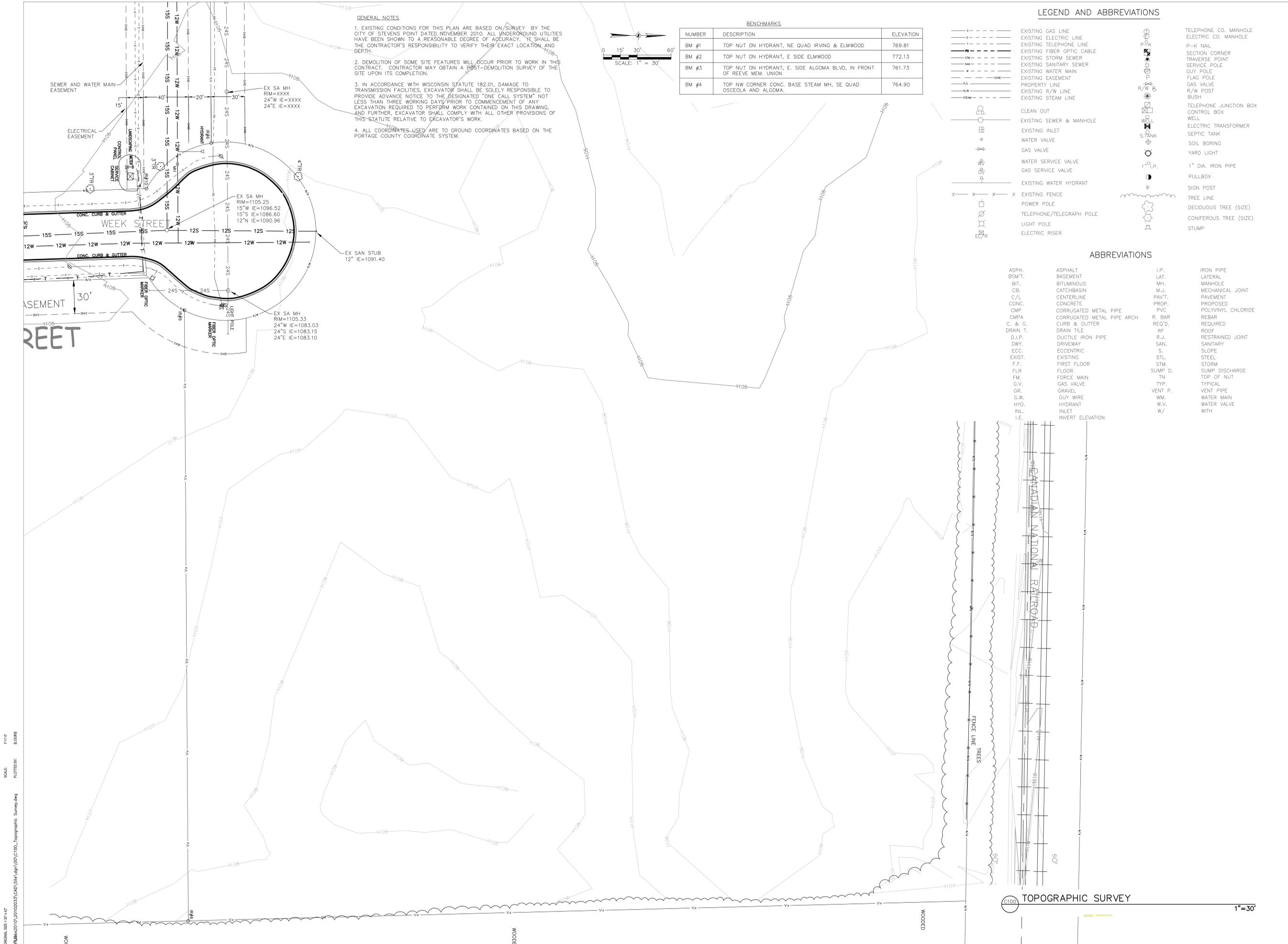
- (2) Homebuyer Assistance
 - (3) Special Housing Projects
 - 3. Presentation of identified housing and community development needs.
 - 4. Identification of housing and community development needs by public.
 - 5. Presentation of activities proposed for CDBG application, including potential residential displacement.
 - 6. Citizen input regarding proposed and other CDBG activities.
16. Resolution - Submission of a Community Development Block Grant application for Housing rehabilitation and related activities.
 17. Minutes and actions taken at the Personnel Committee meeting of January 9, 2012.
 18. Minutes of the Special Joint Personnel / Finance Committee meeting of January 3, 2012.
 - *19. Actions taken at the Special Joint Personnel / Finance Committee meeting of January 16, 2012.
 - *20. Authorization to transfer funds from the Contingency Account to Wage and Salary Accounts.
 21. Minutes and actions taken at the Public Protection Committee meeting of January 9, 2012.
 22. Minutes of the Special Board of Public Works meeting of December 19, 2011.
 23. Minutes and actions taken at the Board of Water & Sewage Commissioners meeting of January 9, 2012.
 24. Minutes and actions taken at the Police and Fire Commission meeting of January 10, 2012.
 25. Mayoral Appointment:
Police and Fire Commission Ald. Liaison – Ald. Mike Wiza – 717 Franklin Street.
 26. Statutory Monthly Financial Report of the Comptroller-Treasurer.
 27. Adjournment.

RMC – Revised Municipal Code

Persons who wish to address the Common Council may make a statement as long as it pertains to a **specific** agenda item. Persons who wish to speak on an agenda item will be limited to a five (5) minute presentation. Any person who wishes to address the Common Council on a matter which is not on the agenda will be given a maximum of three (3) minutes and the time strictly enforced under the item, "Persons who wish to address the mayor and council on non-agenda items." Individuals should not expect to engage in discussion with members of the City Council and City staff.

Any person who has special needs while attending this meeting or needing agenda materials for this meeting should contact the City Clerk as soon as possible to ensure a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715) 346-1569, TDD #346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

Copies of ordinances, resolutions, reports and minutes of the committee meetings are on file at the office of the City Clerk for inspection during the regular business hours from 7:30 A.M. to 4:00 P.M.



GENERAL NOTES

- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY BY THE CITY OF STEVENS POINT DATED NOVEMBER 2010. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
- DEMOLITION OF SOME SITE FEATURES WILL OCCUR PRIOR TO WORK IN THIS CONTRACT. CONTRACTOR MAY OBTAIN A POST-DEMOLITION SURVEY OF THE SITE UPON ITS COMPLETION.
- IN ACCORDANCE WITH WISCONSIN STATUTE 182.01, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER PROVISIONS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
- ALL COORDINATES USED ARE TO GROUND COORDINATES BASED ON THE PORTAGE COUNTY COORDINATE SYSTEM.

BENCHMARKS

NUMBER	DESCRIPTION	ELEVATION
BM #1	TOP NUT ON HYDRANT, NE QUAD IRVING & ELMWOOD	769.81
BM #2	TOP NUT ON HYDRANT, E SIDE ELMWOOD	772.13
BM #3	TOP NUT ON HYDRANT, E. SIDE ALGOMA BLVD, IN FRONT OF REEVE MEM. UNION	761.73
BM #4	TOP NW CORNER CONC. BASE STEAM MH, SE QUAD OSCEOLA AND ALGOMA.	764.90

LEGEND AND ABBREVIATIONS

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> --- EXISTING GAS LINE --- EXISTING ELECTRIC LINE --- EXISTING TELEPHONE LINE --- EXISTING FIBER OPTIC CABLE --- EXISTING STORM SEWER --- EXISTING SANITARY SEWER --- EXISTING WATER MAIN --- EXISTING EASEMENT --- PROPERTY LINE --- EXISTING R/W LINE --- EXISTING STEAM LINE | <ul style="list-style-type: none"> ○ CLEAN OUT ○ EXISTING SEWER & MANHOLE ○ EXISTING INLET ○ WATER VALVE ○ GAS VALVE ○ WATER SERVICE VALVE ○ GAS SERVICE VALVE ○ EXISTING WATER HYDRANT ○ EXISTING FENCE ○ POWER POLE ○ TELEPHONE/TELEGRAPH POLE ○ LIGHT POLE ○ ELECTRIC RISER | <ul style="list-style-type: none"> ○ TELEPHONE CO. MANHOLE ○ ELECTRIC CO. MANHOLE ○ P-K NAIL ○ SECTION CORNER ○ TRAVERSE POINT ○ SERVICE POLE ○ GUY POLE ○ FLAG POLE ○ GAS VALVE ○ R/W POST ○ BUSH ○ TELEPHONE JUNCTION BOX ○ CONTROL BOX ○ WELL ○ ELECTRIC TRANSFORMER ○ SEPTIC TANK ○ SOIL BORING ○ YARD LIGHT ○ 1" DIA. IRON PIPE ○ PULLBOX ○ SIGN POST ○ TREE LINE ○ DECIDUOUS TREE (SIZE) ○ CONIFEROUS TREE (SIZE) ○ STUMP |
|--|---|--|

ABBREVIATIONS

- | | |
|---|---|
| <ul style="list-style-type: none"> ASPH. ASPHALT BSM.T. BASEMENT BIT. BITUMINOUS CB. CATCHBASIN C/L CENTERLINE CONC. CONCRETE CMF CORRUGATED METAL PIPE CMPA CORRUGATED METAL PIPE ARCH C. & G. CURB & GUTTER DRAIN T. DRAIN TILE D.I.P. DUCTILE IRON PIPE DWY. DRIVEWAY ECC. ECCENTRIC EXIST. EXISTING F.F. FIRST FLOOR FLR. FLOOR FM. FORCE MAIN G.V. GAS VALVE GR. GRAVEL G.W. GUY WIRE HYD. HYDRANT INL. INLET I.E. INVERT ELEVATION | <ul style="list-style-type: none"> L.P. LATERAL LAT. LATERAL MH. MANHOLE M.J. MECHANICAL JOINT PAV.T. PAVEMENT PROP. PROPOSED PVC POLYVINYL CHLORIDE R. BAR REBAR REC'D. REQUIRED RF. ROOF R.J. RESTRAINED JOINT SAN. SANITARY S. SLOPE STL. STEEL STM. STUMP SUMP D. TOP OF NUT TN. TYPICAL TYP. TYPICAL VENT P. VENT PIPE WM. WATER MAIN W.V. WATER VALVE W/W. WITH |
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TOPOGRAPHIC SURVEY

1"=30'

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REVISIONS

NO.	DATE	DESCRIPTION
1	06/06/11	ISSUANCES
2	06/06/11	Final Design Drawings June 6th, 2011
3	06/06/11	Schematic Design Sign-off July 12, 2011
4	06/06/11	Owner Progress Review October 5, 2011
5	06/06/11	City Plan Commission Submittal Dec 6, 2011

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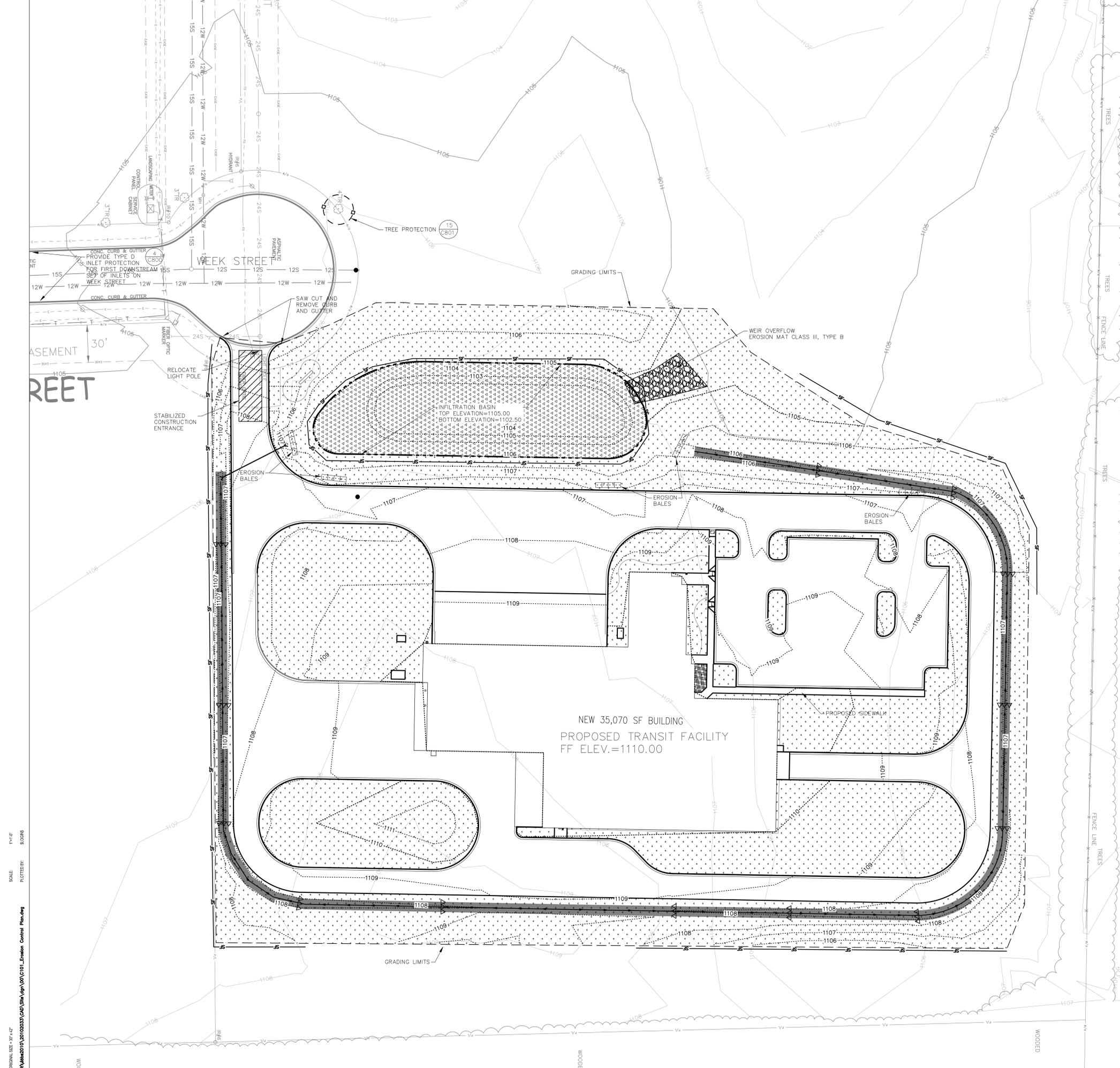
505 South Main Street, Stevens Point, WI 54484
 P: 608.756.0300 F: 608.756.0404
 www.angusyoung.com

GRAEF
 1100 Springwood Drive, Stevens Point, WI 54484
 P: 608.756.0300 F: 608.756.0404
 www.graef.com

**NEW TRANSIT FACILITY
 STEVENS POINT TRANSIT SYSTEM
 CITY OF STEVENS POINT
 STEVENS POINT, WISCONSIN**

PROJECT NUMBER: 45930
 APPROVED BY: PJS
 REVIEWED BY: JCT
 DRAWN BY: KAH
 DATE: 08/26/11 8:17:46 AM

TOPOGRAPHIC SURVEY



GENERAL NOTES

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- IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
- EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- ALL EXCESS MATERIAL SHALL BE STOCKPILED AT LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF ANY MATERIAL. STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE UNTIL TEMPORARY OR PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- EROSION CONTROL INSPECTIONS SHALL BE PERFORMED BY THE SITE CONTRACTOR.
- PLAN SHOWS LOCATIONS OF TEMPORARY SEEDING AS NECESSARY FOR EROSION CONTROL DURING CONSTRUCTION. REFER TO LANDSCAPE PLANS FOR FINAL SEEDING TYPES AND LOCATIONS.

LEGEND

- 1105 --- EXISTING CONTOUR
- 1105 --- PROPOSED CONTOUR
- [Hatched Box] STABILIZED CONSTRUCTION ENTRANCE
- [Dotted Box] TEMPORARY SEEDING, FERTILIZER, MULCH
- [Cross-hatched Box] INFILTRATION BASIN SEEDING W/EROSION MAT CLASS I, TYPE A
- [Stippled Box] SILT FENCE 1 (C800)
- [Diagonal Lines] EROSION MAT, CLASS III, TYPE B 2 (C800)
- [Horizontal Lines] EROSION BALES 3 (C800)
- [Vertical Lines] EROSION MAT, CLASS I, TYPE B 5 (C800)
- [Wavy Line] DITCH CHECK 10 (C801)

EROSION CONTROL NOTES

- CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL.)
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NO LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SILT FENCE SHALL BE INSTALLED PER DETAILS ON SHEET C600. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED. SITE STABILIZATION INVOLVING SEEDING WHICH IS NOT COMPLETED PRIOR TO SEPTEMBER 15 SHALL BE COMPLETED WITH DORMANT SEEDING BY NOVEMBER 1. SODDING MAY OCCUR ANYTIME SOD IS AVAILABLE AND SOD AND SOIL IS NOT FROZEN.
- INLET GRATE SCREENS SHALL BE INSTALLED ON ALL EXISTING AND PROPOSED INLETS AND CATCH BASINS. REFERENCE SITE UTILITY DRAWINGS FOR LOCATION OF PROPOSED INLETS AND CATCH BASINS. FOR STRUCTURES IN DISTURBED AREAS THAT WILL NOT BE FINISHED AND VEGETATION ESTABLISHED WITHIN 30 DAYS, CURB INLET SEDIMENT BARRIERS SHALL BE USED IN LIEU OF INLET GRATE SCREENS. INLET PROTECTION SHALL BE PER THE PLAN AND DETAILS ON SHEET C600.
- EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
- WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN FOURTEEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER (POLYMER) SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
- DUST CONTROL SHALL BE IMPLEMENTED THROUGHOUT CONSTRUCTION AND SHALL UTILIZE THE METHODS OUTLINED IN WDNR TECH. STD. 1068.
- THE REMOVAL OF VEGETATIVE COVER AND EXPOSURE OF THE BARE GROUND MUST BE RESTRICTED TO THE MINIMUM AMOUNT NECESSARY FOR CONSTRUCTION. AREAS WHERE SOIL IS EXPOSED MUST BE PROTECTED FROM EROSION BY SEEDING AND MULCHING, SODDING, DIVERSION OF SURFACE RUNOFF, INSTALLATION OF STRAW BALES OF SILT SCREENS, CONSTRUCTION OF SETTLING BASINS, OR SIMILAR METHODS AS SOON AS POSSIBLE AFTER REMOVAL OF ORIGINAL GROUND COVER AS DESCRIBED IN THE WISCONSIN DNR TECHNICAL STANDARDS. ANY STOCKPILE THAT REMAINS OVER 7 DAYS MUST BE STABILIZED WITH MIXTURE NO. 20 FROM WISDOT SECTION 630.
- STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN DNR TECHNICAL STANDARDS. DISCHARGE OR PUMPED WATER TO SANITARY SEWERS WILL NOT BE ALLOWED.
- EROSION MAT SHALL CONSIST ENTIRELY OF BIODEGRADABLE COMPONENTS AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1052.
- AFTER THE SITE IS UNIFORMLY STABILIZED ACROSS 80% OF THE SITE AREA, OR PRIOR TO, AT THE DIRECTION OF THE DEPARTMENT OF NATURAL RESOURCES, ALL TEMPORARY EROSION CONTROL MEASURES MUST BE REMOVED AND DISPOSED OF PROPERLY. ANY REMAINING TEMPORARY EROSION CONTROL DEVICES AFTER THIS POINT CONSTITUTE LITTERING AND MAY BE ENFORCED AS DETERMINED NECESSARY BY THE DEPARTMENT OF NATURAL RESOURCES.
- CONTRACTOR SHALL MAINTAIN A LOG OF THE EROSION CONTROL INSPECTIONS, REPAIRS MADE, AND RAIN EVENTS. THIS MUST BE MADE AVAILABLE TO WDNR PERSONNEL UPON REQUEST AND MUST REMAIN ON THE PROJECT SITE AT ALL TIMES WORK IS BEING PERFORMED.

NATIONAL

0 15' 30' 60'

SCALE: 1" = 30'

DEMOLITION AND EROSION CONTROL PLAN

1"=30'

SCALE: 1"=30'

DATE: 06/20/11

PROJECT: NEW TRANSIT FACILITY

LOCATION: STEVENS POINT, WISCONSIN

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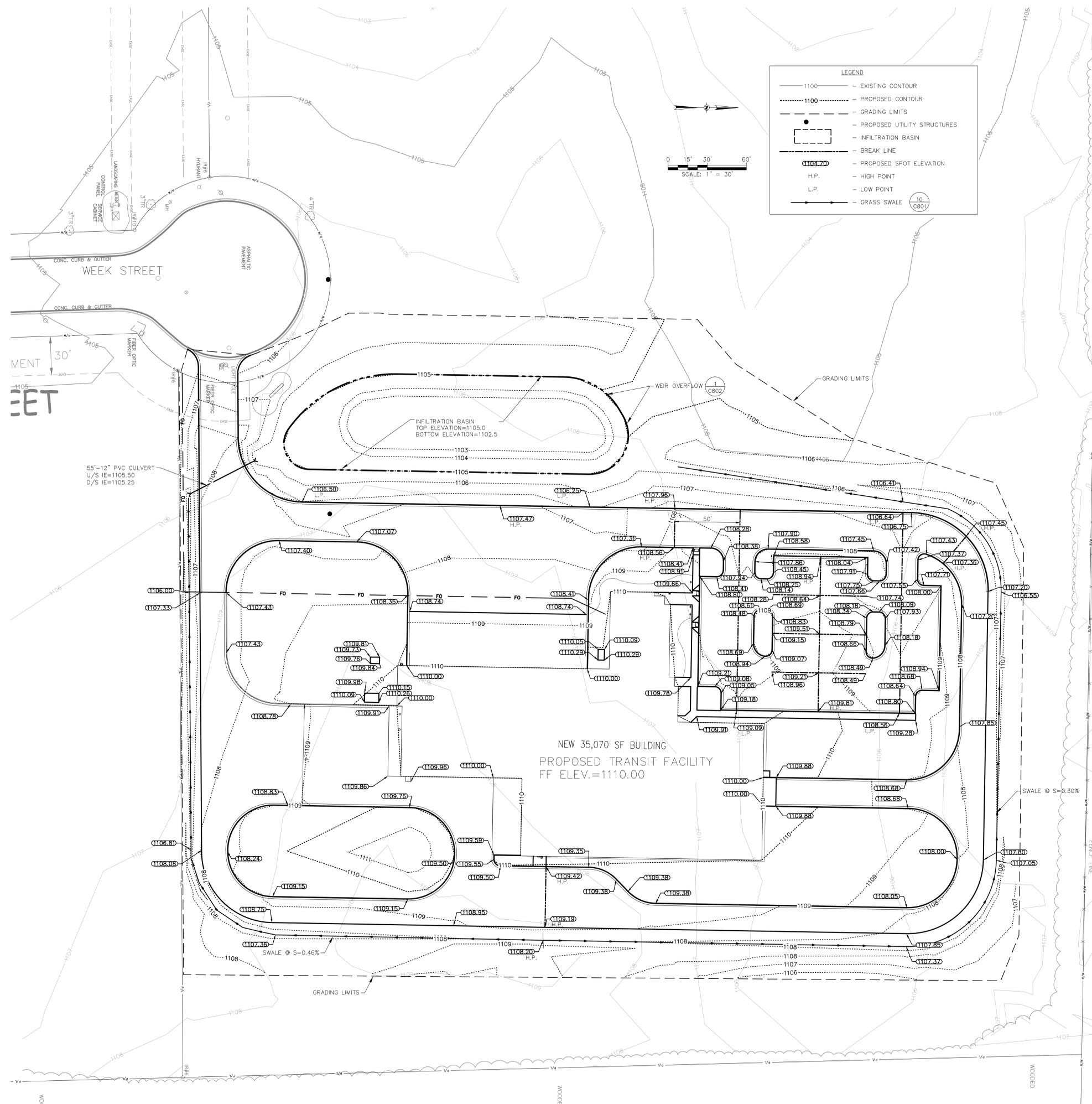
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**NEW TRANSIT FACILITY
STEVENS POINT TRANSIT SYSTEM
CITY OF STEVENS POINT
STEVENS POINT, WISCONSIN**

PROJECT NUMBER: 49303
APPROVED BY: PJS
REVIEWED BY: JCT
DRAWN BY: KAH
DATE: 06/20/11 8:17:46 AM

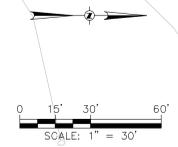
DEMOLITION AND EROSION CONTROL PLAN

DATE: 06/20/11
 SCALE: 1"=30'
 PLOTTED BY: SLOANS



LEGEND

- 1100 — EXISTING CONTOUR
- - - 1100 - - - PROPOSED CONTOUR
- - - GRADING LIMITS
- - - PROPOSED UTILITY STRUCTURES
- - - INFILTRATION BASIN
- - - BREAK LINE
- PROPOSED SPOT ELEVATION
- H.P. - HIGH POINT
- L.P. - LOW POINT
- - - GRASS SWALE



GENERAL NOTES

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2. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMIT OR APPROVAL THAT MAY BE REQUIRED FOR THIS PROJECT BY LOCAL ZONING ORDINANCES OR BY THE U.S. ARMY CORPS OF ENGINEERS BEFORE STARTING WORK.
3. CONTRACTOR SHALL POST A COPY OF THE DEPARTMENT OF NATURAL RESOURCES WPDES PERMIT AT A CONSPICUOUS LOCATION ON THE PROJECT SITE, FOR AT LEAST FIVE DAYS PRIOR TO CONSTRUCTION, AND REMAINING AT LEAST FIVE DAYS AFTER CONSTRUCTION. CONTRACTOR MUST ALSO HAVE A COPY OF THE PERMIT AND APPROVED PLAN AVAILABLE AT THE PROJECT SITE AT ALL TIMES UNTIL THE PROJECT IS COMPLETE.
4. UPON REASONABLE NOTICE, CONTRACTOR SHALL ALLOW ACCESS TO THE PROJECT SITE DURING REASONABLE HOURS TO ANY DEPARTMENT OF COMMERCE OR DEPARTMENT OF NATURAL RESOURCES EMPLOYEE WHO IS INVESTIGATING THE PROJECT'S CONSTRUCTION, OPERATION, MAINTENANCE OR PERMIT COMPLIANCE.
5. REFERENCE EROSION CONTROL PLAN AND SITE PAVING PLAN FOR COORDINATION OF WORK ON THIS SHEET.
6. FOLLOWING CONSTRUCTION AND THE ESTABLISHMENT OF SPECIFIED GROUNDCOVERS, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL MAKE ALL REPAIRS OF LAWNS AND LANDSCAPED AREAS FOLLOWING THE REMOVAL OF SILT FENCES AND STAKES.
7. THIS PLAN SHOWS NEW CONTOURS AND FINISHED GRADES. FOR ROUGH GRADES OF ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
8. WHEN SPOT ELEVATIONS SHOWN REFER TO CRITICAL POINTS SUCH AS PAVEMENT ANGLE POINTS AND CURVE-TANGENT INTERSECTIONS, THEIR LOCATION WILL CORRESPOND WITH COORDINATES SHOWN ON C201. VERIFY SPOT ELEVATION AND COORDINATE RELATIONSHIP WITH OWNER'S REPRESENTATIVE.
9. SPOT ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN AT FLOW LINE.
10. A DENSE SILT SEAM APPROXIMATELY 2 FEET THICK MAY EXIST AT A DEPTH OF APPROXIMATELY 4 FEET BELOW EXISTING GRADE ACROSS PORTIONS OF THE SITE. IF ENCOUNTERED DURING GRADING OPERATIONS, THIS MATERIAL SHALL BE REMOVED COMPLETELY AND INCORPORATED INTO THE TOPSOIL AT A RATIO OF 3 UNITS TOPSOIL TO 1 UNIT SILT.

GRADING AND DRAINAGE PLAN

1"=30'

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REVISIONS

NO.	DATE	DESCRIPTION
1	06/20/11	ISSUANCES
2	06/20/11	Final Design
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4	06/20/11	Final Design
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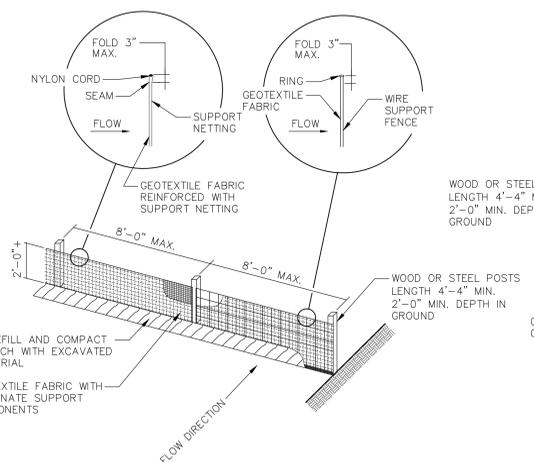
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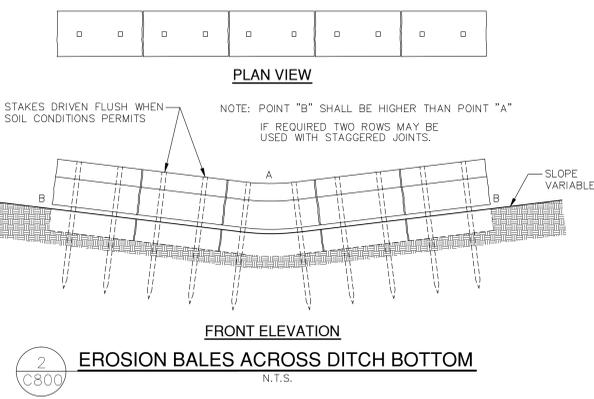
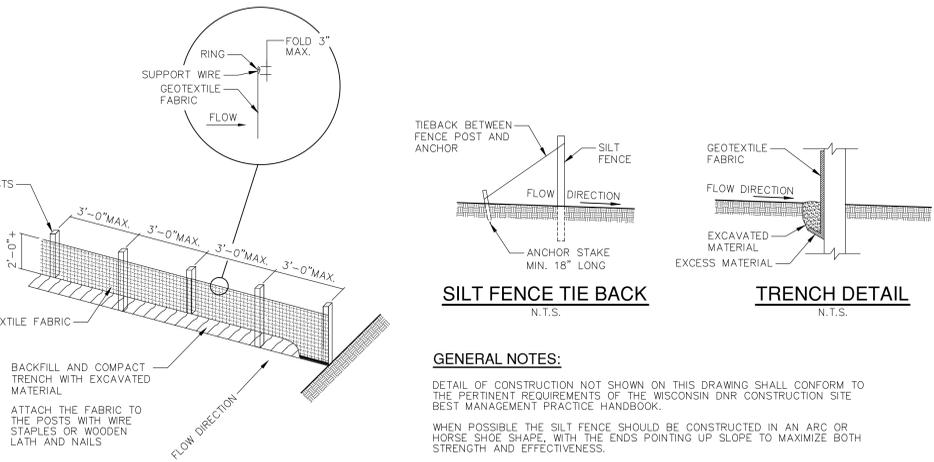
**NEW TRANSIT FACILITY
 STEVENS POINT TRANSIT SYSTEM
 CITY OF STEVENS POINT
 STEVENS POINT, WISCONSIN**

PRELIMINARY - NOT FOR CONSTRUCTION

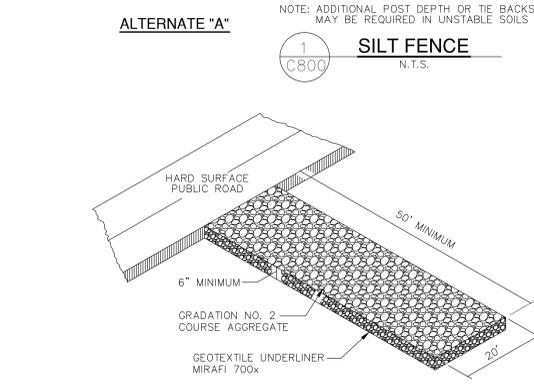
C300



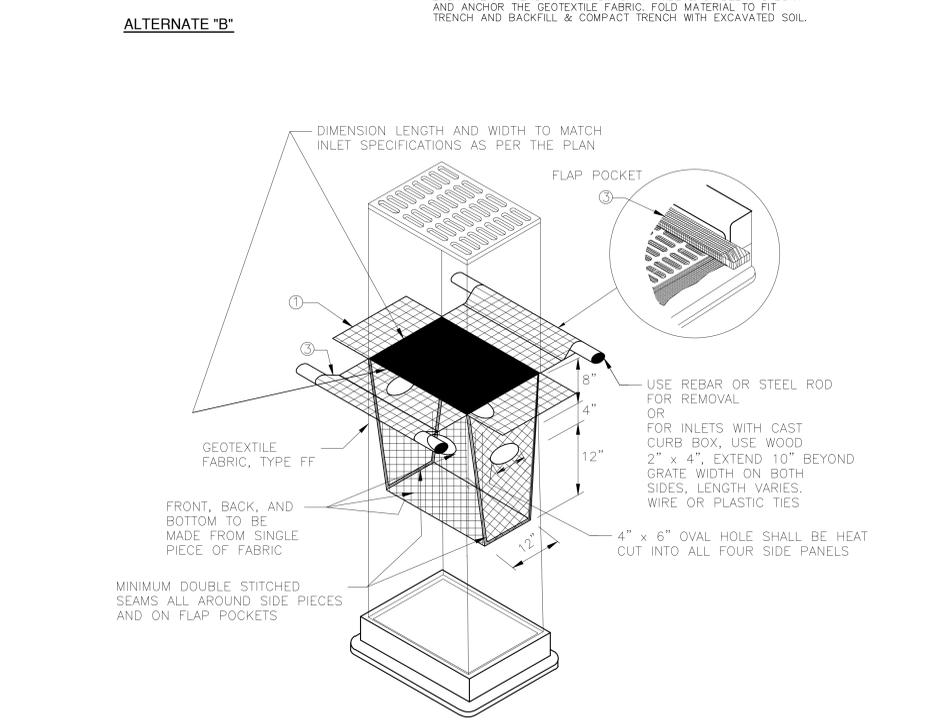
1 SILT FENCE
N.T.S.



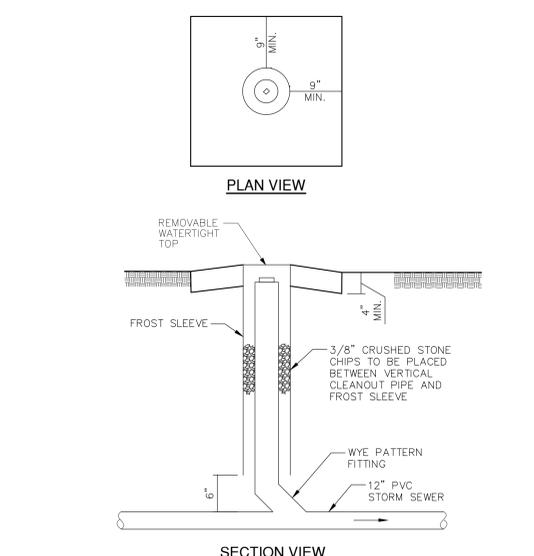
2 EROSION BALES ACROSS DITCH BOTTOM
N.T.S.



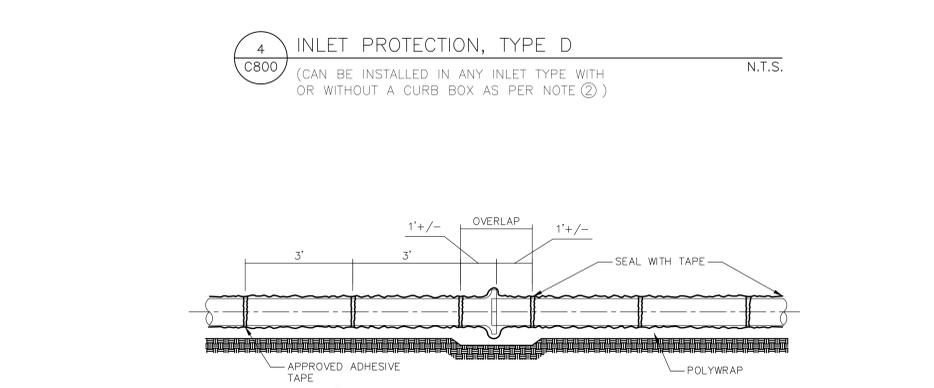
3 CRUSHED STONE CONSTRUCTION ENTRANCE
N.T.S.



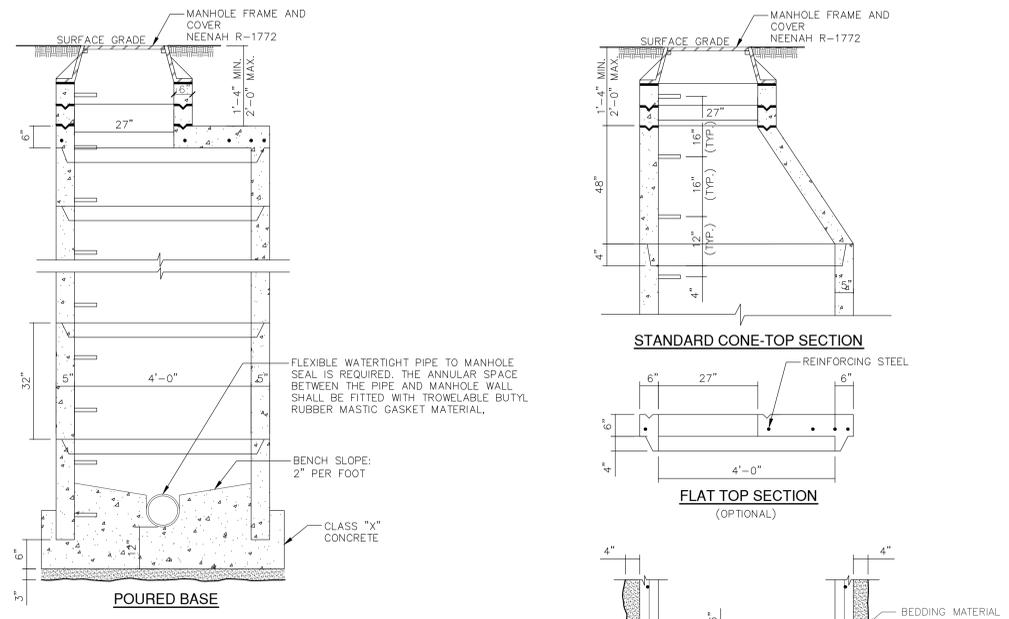
4 INLET PROTECTION, TYPE D
N.T.S.



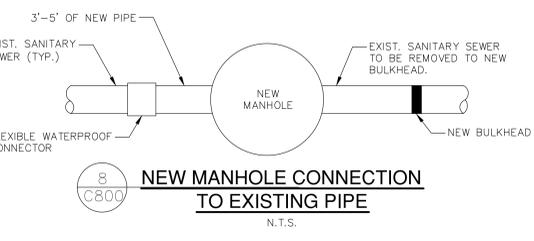
6 CLEANOUT DETAIL
N.T.S.



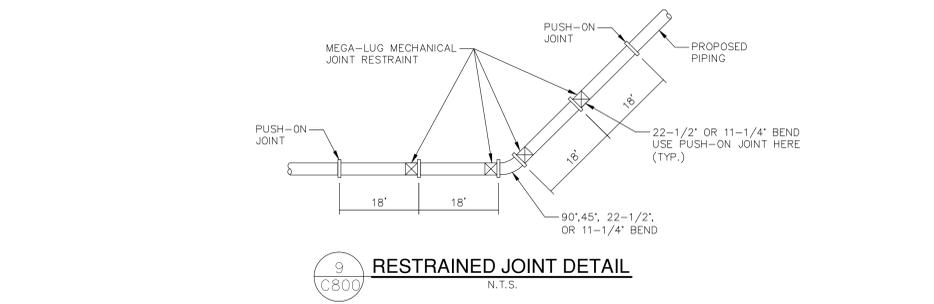
7 POLYETHYLENE WRAP
N.T.S.



10 PRECAST MANHOLE
N.T.S.



8 NEW MANHOLE CONNECTION TO EXISTING PIPE
N.T.S.



9 RESTRAINED JOINT DETAIL
N.T.S.

10 PRECAST MANHOLE
N.T.S.

11 SITE CONSTRUCTION DETAILS
N.T.S.

SCALE: 1 1/4" = 1'-0"
PLOTTER BY: SLOANS
DATE: 06/20/10
PROJECT: NEW TRANSIT FACILITY

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes. Do NOT use scale to determine dimensions or sizes.

ISSUANCES:
 Primary Design Drawings: June 6th, 2011
 Schematic Design Sign-Off: July 12, 2011
 Owner Progress Review: October 5, 2011
 City Plan Commission Submittal: Dec 6, 2011

REVISIONS:

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Angus Young
Architecture
Engineering
Interior Design

505 South Park Street, Stevens Point, WI 54481-4703
 Ph: 608.755.0335 Fx: 608.755.0404
 www.angusyoung.com

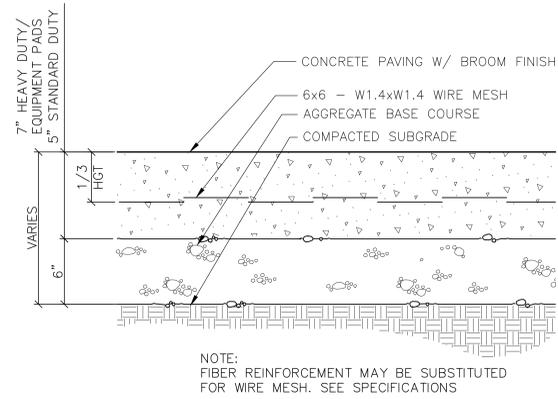
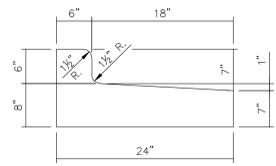
GRAEFF
1100 Sprague Street, Stevens Point, WI 54481
 Ph: 608.755.0335 Fx: 608.755.0404
 www.graeff.com

**NEW TRANSIT FACILITY
STEVENS POINT TRANSIT SYSTEM
CITY OF STEVENS POINT
STEVENS POINT, WISCONSIN**

PROJECT NUMBER: 49303
 APPROVED BY: PJS
 REVIEWED BY: JCT
 DRAWN BY: KAH
 DATE: 06/20/11 6:17:46 AM

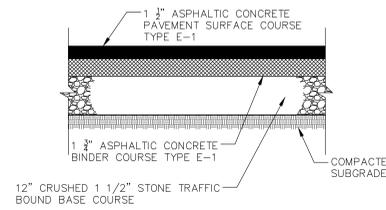
SITE CONSTRUCTION DETAILS

1
C801 **VERTICAL FACE HIGHSIDE CONCRETE CURB & GUTTER**
N.T.S.

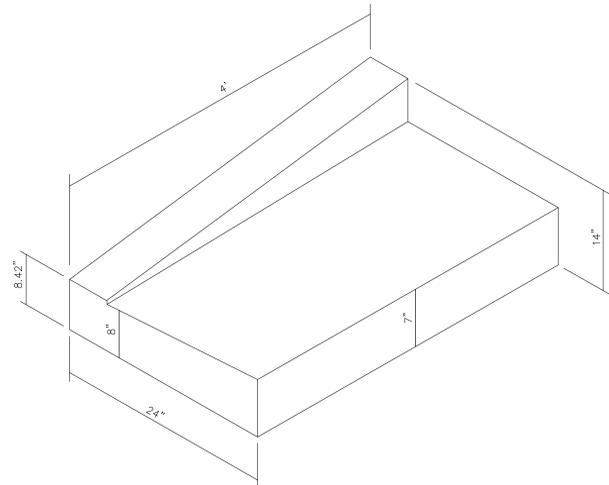
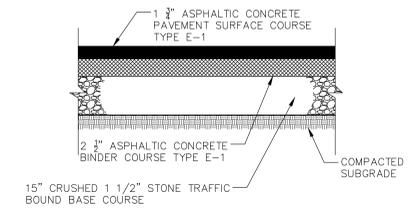


3
C801 **TYPICAL CONCRETE PAVEMENT**
N.T.S.

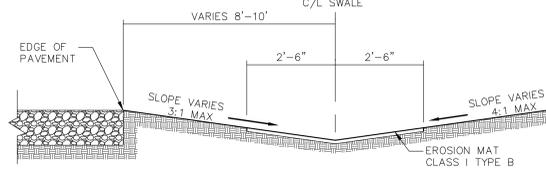
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C801 **STANDARD DUTY ASPHALT PAVING SECTION**
N.T.S.



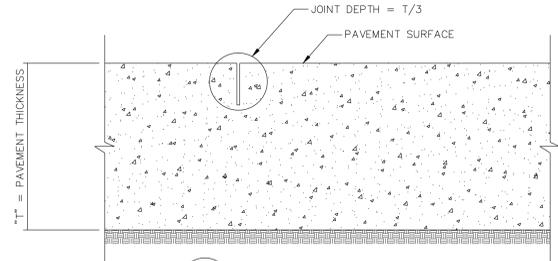
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C801 **HEAVY DUTY ASPHALT PAVING SECTION**
N.T.S.



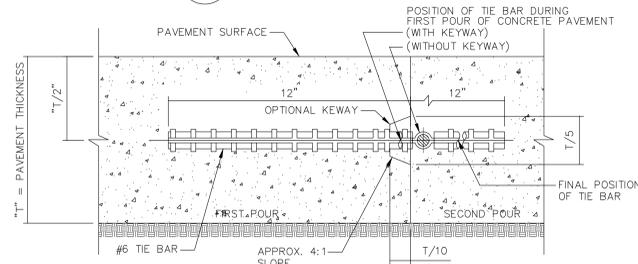
6
C801 **4' CURB TAPER SECTION**
N.T.S.



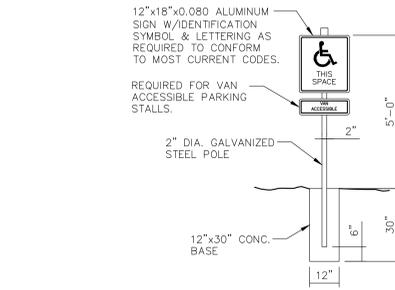
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C801 **GRASS SWALE DETAIL**
N.T.S.



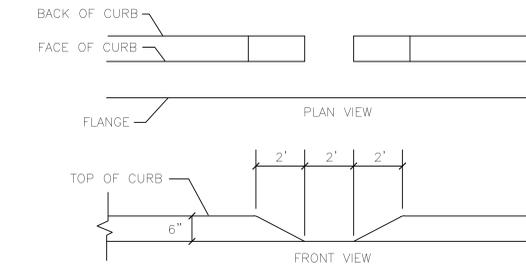
7
C801 **CONTROL JOINT**
N.T.S.



11
C801 **CONSTRUCTION JOINT**
N.T.S.

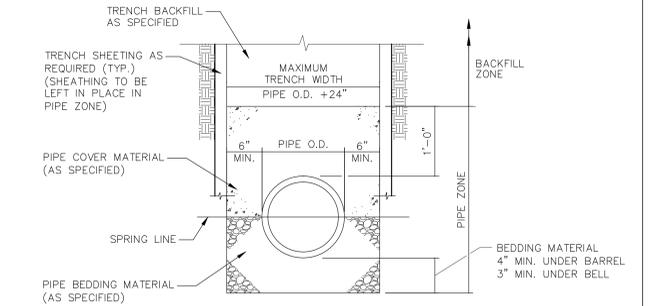
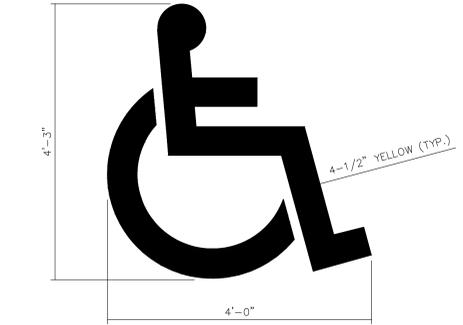


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C801 **WHEELCHAIR ACCESSIBLE SIGN**
N.T.S.

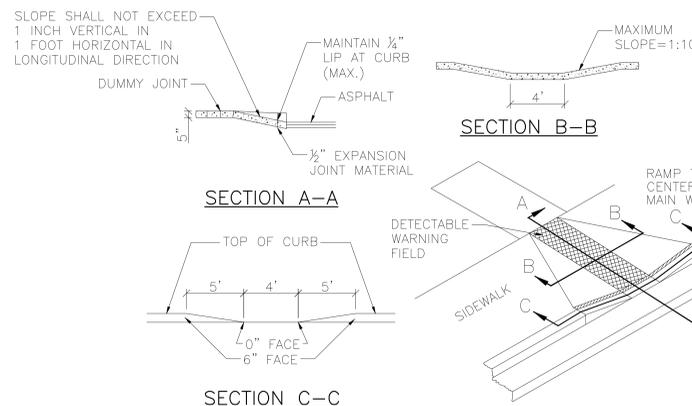


12
C801 **CURB CUT**
N.T.S.

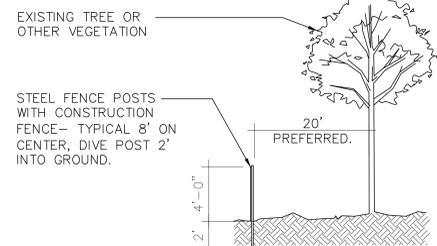
9
C801 **PAVEMENT MARKING HANDICAP SYMBOL**
N.T.S.



13
C801 **CLASS "B" BEDDING DETAIL FOR UTILITIES**
N.T.S.

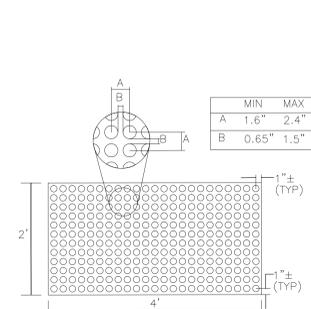


14
C801 **CURB RAMP**
N.T.S.



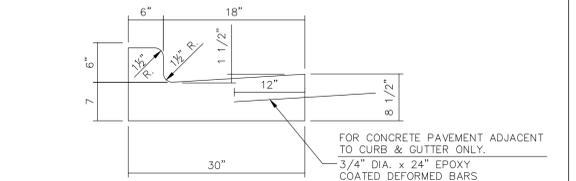
- NOTES:**
1. PLACE FENCE POSTS 8' ON CENTER & ATTACH CONSTRUCTION FENCE SECURELY
 2. NO ENTRY, NO STORAGE & NO TRENCHING IN TREE PROTECTION ZONE DURING ENTIRE SITE CONSTRUCTION

15
C801 **TREE PROTECTION**
SCALE 1"=1'-0"



- NOTES:**
- TRUNCATED DOMES 0.2" TALL AND 0.9" TO 1.4" BASE DIAMETER
 - TOP DIAMETER 50% TO 65% OF BASE DIAMETER
 - CAST IRON TRUNCATED DOMES MANUFACTURED BY NENAH FOUNDRY OR EQUAL

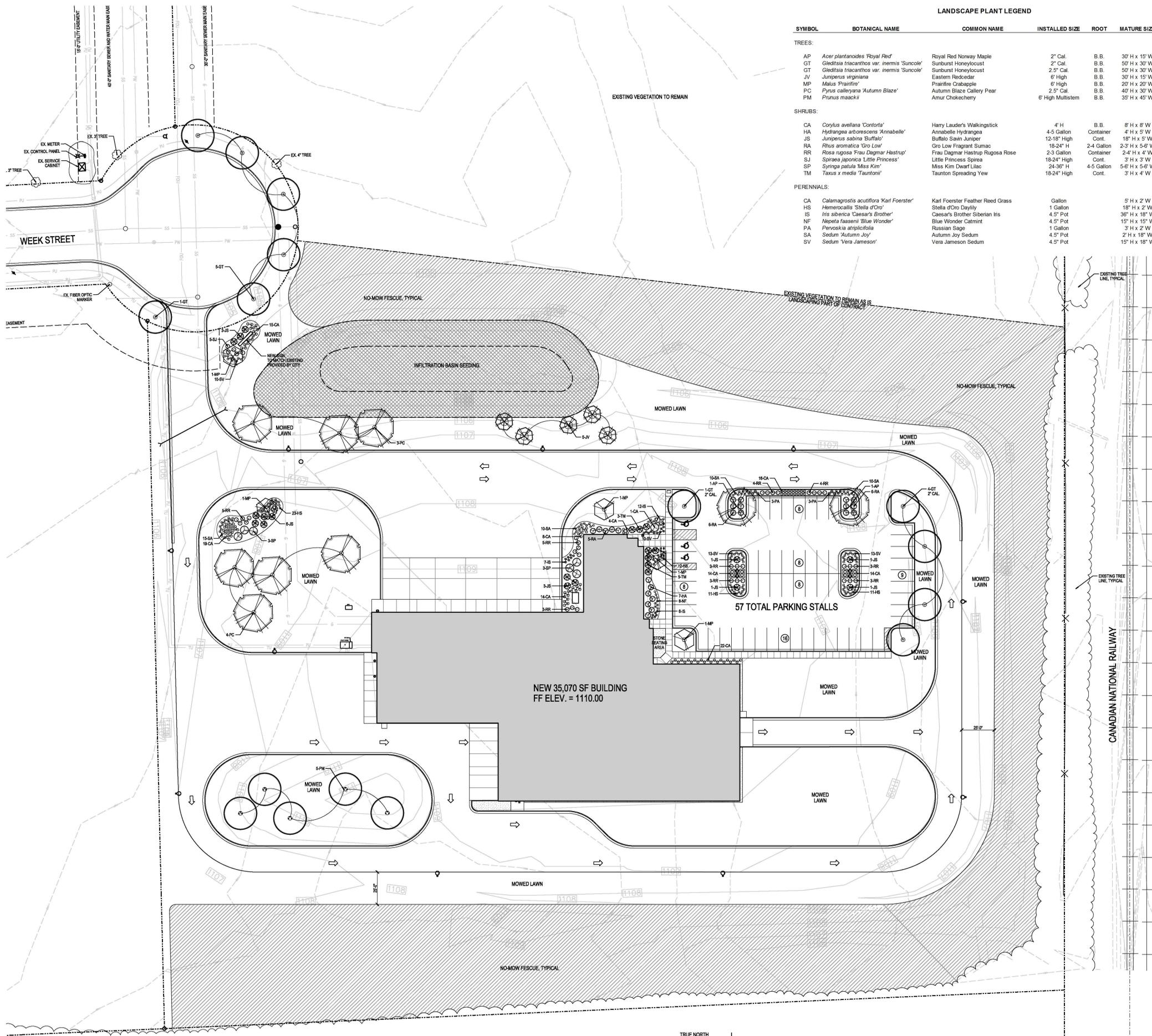
16
C801 **DETECTABLE WARNING FIELD**
N.T.S.



17
C801 **VERTICAL FACE CONCRETE CURB & GUTTER**
N.T.S.

18
C801 **SITE CONSTRUCTION DETAILS**
N.T.S.

ORIGINAL SIZE: 11" x 14"
 SCALE: 1/8" = 1'-0"
 PLOTTED BY: KAU
 DATE: 12/20/11

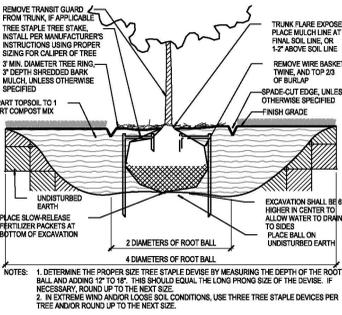
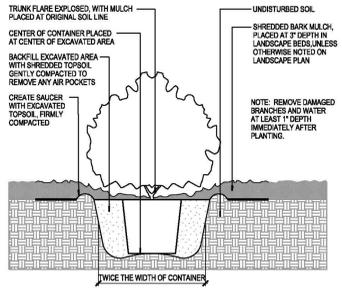


LANDSCAPE PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
TREES:						
AP	<i>Acer plantanoides 'Royal Red'</i>	Royal Red Norway Maple	2" Cal.	B.B.	30' H x 15' W	2
GT	<i>Gleditsia inaequalis var. 'Inermis 'Suncoke'</i>	Sunburst Honeylocust	2" Cal.	B.B.	50' H x 30' W	5
GT	<i>Gleditsia inaequalis var. 'Inermis 'Suncoke'</i>	Sunburst Honeylocust	2.5" Cal.	B.B.	50' H x 30' W	6
JV	<i>Juniperus virginiana</i>	Eastern Redcedar	6' High	B.B.	30' H x 15' W	5
MP	<i>Malus 'Prairifire'</i>	Prairifire Crabapple	6' High	B.B.	20' H x 20' W	4
PC	<i>Pyrus calleryana 'Autumn Blaze'</i>	Autumn Blaze Callery Pear	2.5" Cal.	B.B.	40' H x 30' W	7
PM	<i>Prunus maackii</i>	Amur Chokecherry	6' High Multistem	B.B.	35' H x 45' W	5
SHRUBS:						
CA	<i>Corylus avellana 'Contorta'</i>	Hairy Laurel's Walkingstick	4' H	B.B.	8' H x 6' W	1
HA	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangeas	4.5 Gallon	Container	4' H x 5' W	7
JS	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Savin Juniper	12-18" High	Cont.	18" H x 5' W	16
RA	<i>Rhus aromatica 'Gro Low'</i>	Gro Low Fragrant Sumac	18-24" H	2-4 Gallon	2-3' H x 5-6' W	17
RR	<i>Rosa rugosa 'Frau Dagmar Hastrup'</i>	Frau Dagmar Hastrup Rugosa Rose	2-3 Gallon	Container	2-4' H x 4' W	33
SJ	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spirea	18-24" High	Cont.	3' H x 3' W	5
SP	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Dwarf Lilac	24-36" H	4-5 Gallon	5-6' H x 5-6' W	6
TM	<i>Taxus x media 'Tauntonii'</i>	Taunton Spreading Yew	18-24" High	Cont.	3' H x 4' W	8
PERENNIALS:						
CA	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	Gallon		5' H x 2' W	126
HS	<i>Hemerocallis 'Stella d'Oro'</i>	Stella d'Oro Daylily	1 Gallon		18" H x 2' W	57
IS	<i>Iris sibirica 'Caesar's Brother'</i>	Caesar's Brother Siberian Iris	4.5" Pot		36" H x 18" W	25
NF	<i>Nepeta faasseni 'Blue Wonder'</i>	Blue Wonder Catmint	4.5" Pot		15" H x 15" W	9
PA	<i>Penstemon atriplicifolia</i>	Russian Sage	1 Gallon		3' H x 2' W	6
SA	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	4.5" Pot		2' H x 18" W	45
SV	<i>Sedum 'Vera Jameson'</i>	Vera Jameson Sedum	4.5" Pot		15" H x 18" W	46



CALL TOLL FREE 1-800-242-8511
 MILWAUKEE AREA 414-259-1181
 FAX A LOCATE 1-800-338-3860
 TDD (HEARING IMPAIRED) 1-800-542-2289
 ONLINE: www.DiggersHotline.com
 WISCONSIN STATE REG. #102074 (P&A) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.



LANDSCAPE SYMBOL LEGEND

		SHADE TREE
		EVERGREEN SHRUB OR TREE
		DECIDUOUS SHRUB
		ORNAMENTAL GRASS
		PERENNIAL
		EXISTING VEGETATION
		EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

- LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY EFFECT LANDSCAPE WORK.
 - LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND SHALL NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF DAY OF PLANT INSTALLATION.
 - LANDSCAPE CONTRACTOR TO INSTALL 'VALLEY VIEW', 'BLACK DIAMOND' EDGING AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
 - ALL TREE RINGS SHALL HAVE FINELY SHREDED HARDWOOD BARK MULCH. NO OTHER MULCHES SHALL BE INSTALLED. ALL INDIVIDUAL TREES SHALL RECEIVE SPACE-CUT EDGE WITH 6" DIA. TREE RING ON DECIDUOUS TREES AND MIN. 6" DIA. TREE RING AROUND EVERGREEN TREES.
 - ALL PLANTING BEDS SHALL HAVE 3" THICK WASHED STONE MULCH WITH WEED BARRIER FABRIC AND EDGING PER NOTE ABOVE.
 - NO-MOW SEEDING AREAS SHALL BE FLAGGED DURING ESTABLISHMENT.
- GENERAL NOTES**
- SEE DETAILS 033.01 AND 041.01 FOR TREE AND SHRUB PLANTING DETAILS.
 - PROVIDE DOUBLE-NETTED LIGHT DUTY (W/SDOT CLASS 1 TYPE B) EROSION MAT IN SWALE AND SIDE SLOPES OF INFILTRATION BASIN.

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

REVISIONS

NO.	DATE	DESCRIPTION
1	12/20/11	ISSUANCES
2	12/20/11	SSUANCES
3	12/20/11	SSUANCES
4	12/20/11	SSUANCES
5	12/20/11	SSUANCES
6	12/20/11	SSUANCES
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100	12/20/11	SSUANCES

Project: NEW TRANSIT FACILITY
 Location: STEVENS POINT TRANSIT SYSTEM
 City: CITY OF STEVENS POINT
 State: STEVENS POINT, WISCONSIN

ANGUS YOUNG
 Architecture
 Engineering
 Interior Design
 555 South River Street, Janesville, WI 53404-4783
 Phone: 608.756.2326 Fax: 608.756.0404
 www.angusyoung.com

APPROVED BY: [Signature]
 REVIEWED BY: [Signature]
 DRAWN BY: KAU
 DATE: 12/20/11

LANDSCAPE PLAN



Angus
Young
Balance in Growth





Angus
Young
Balance in Creativity



RESOLUTION

[2700 WEEK STREET – MUNICIPAL TRANSIT CENTER]

BE IT RESOLVED by the Common Council of the City of Stevens Point, Portage County, Wisconsin, that based upon the application and after reviewing the Plan Commission record and hearing the testimony of interested parties, the Common Council determines that all conditions required have been met, the property located at **2700 Week Street (Parcel ID 2308-01-2200-04)**, LOT 1 CSM#10055-44-85 BNG PRT FRAC NWNW SUBJ TO RC-695/7 & 757204 S1 T23 R8, City of Stevens Point, Portage County, Wisconsin, is hereby granted a Conditional Use Permit for the purposes of construction of a Municipal Transit Center, as shown on the attached plans. The Conditional Use Permit is subject to the following conditions:

1. Any hazardous substances that are used or stored onsite shall be within a proper containment area to prevent any leakage into the groundwater. The containment area shall be approved by the staff and the Department of Water/Sewer.
2. Testing requirements for wellhead protection shall be met as per the Department of Water/Sewer requirements.
3. A spill containment plan shall be developed by the property owner and the plan shall be approved by the Director of Water/Sewer. The plan shall develop procedures to prevent spills and the negative impacts.
4. The owner shall provide the Director of Water/Sewer with a continuous updated listing of all chemicals or hazardous substances located onsite, including petroleum products.
5. The owner shall provide the Director of Water/Sewer with information regarding any change to current practices that result in a change of use of hazardous substances used in business operations. The City reserves the right to impose additional restriction or to deny permission to new or different business practices.
6. A photometric plan shall be submitted and approved by staff.
7. If any refuse containers are located outside of the building, they should be located with an enclosure that matches the architectural design of the building.
8. Stormwater and drainage requirements shall be met as per the Department of Public Works standards.

Such approval constitutes a Conditional Use under the City's ordinances.

Approved: _____
Andrew J. Halverson, Mayor

Attest: _____
John Moe, City Clerk

Dated: January 16, 2012

Adopted: January 16, 2012

Drafted by: Michael Ostrowski

Return to: City Clerk

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Memo

Michael Ostrowski, Director
Community Development
City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481
Ph: (715) 346-1567 • Fax: (715) 346-1498
mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Common Council
From: Michael Ostrowski
CC:
Date: 1/11/2012
Re: Citizen Participation Plan for the Community Development Block Grant (CDBG) Program

The City of Stevens Point intends to submit its final application for CDBG – Housing funds. In order for the City to submit the application, it must have an updated citizen participation plan that meets the program requirements. The plan must be adopted by resolution. Please find attached a resolution adopting the citizen participation plan.

Staff would recommend approval of this plan.

RESOLUTION NO. _____

A RESOLUTION ADOPTING A CITIZEN PARTICIPATION PLAN

WHEREAS, the City of Stevens Point has applied for a Community Development Block Grant, and

WHEREAS, the State of Wisconsin Department of Administration and the U.S. Department of Housing and Urban Development require recipients of Community Development Block Grant monies to have in place a Citizen Participation Plan; and

WHEREAS, the Citizen Participation Plan shall encourage citizen participation (especially by persons of low to moderate income), provide citizens reasonable and timely access to local meetings and information, provide for technical assistance, provide for public hearings, provide for a complaint procedure and accommodate non-English speaking residents; and

WHEREAS, the City of Stevens Point has prepared and publicly reviewed a Citizen Participation Plan.

NOW THEREFORE BE IT RESOLVED, the City of Stevens Point of the County of Portage officially adopts the attached Citizen Participation Plan.

Adopted this 16th day of January, 2012 by the Common Council of the City of Stevens Point, County of Portage.

Approved:

Andrew J. Halverson, Mayor

Attest:

John Moe, City Clerk

**CITIZEN'S PARTICIPATION PLAN
COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM
CITY OF STEVENS POINT**

PURPOSE

In order for the Community Development Block Grant (CDBG) Program to operate effectively and to address the needs of the citizens of the City of Stevens Point, the entire population must be kept informed. The decision making process must be open and consistent with state and federal regulations. To accomplish this, the following plan will be followed:

PROGRAM OVERSIGHT

1. The City of Stevens Point Common Council, or its appointed designee administers the CDBG Program and the Citizen Participation Plan.
2. To insure responsiveness to the needs of its citizens, the City of Stevens Point Common Council, or its appointed designee shall provide for and encourage citizen participation. Particular emphasis shall be given to participation by persons of low- and moderate-income (LMI) who are residents of blighted areas and/or target neighborhoods in which a CDBG Program will be concentrated.

NOTICES OF HEARINGS

Official notice of hearings will be by public notice in the official newspaper two (2) weeks preceding the hearing. In addition, the public notice shall be posted at City Hall. These notices shall include time, place, and date of meeting, as well as a brief agenda. Notices printed in the official newspaper in small print are not acceptable; they shall be in the format of an ad.

REQUIRED PUBLIC HEARINGS

Public hearings shall be held to obtain citizen views and to enable residents to respond to proposals at all stages of the CDBG Program, including the development of needs, the review of proposed activities, and the review program performance. Hearings shall be held after adequate notice, at times and locations convenient to potential or actual beneficiaries, and with accommodations for the handicapped, and, if needed, for non-English speaking persons.

1. The first hearing will receive citizen views and provide an explanation of:
 - a. Community development needs, objectives, and strategies.
 - b. The CDBG program including goals, objectives, application process, amount of funds available, timetable, eligible activities, etc.
2. The first hearing also will receive citizen views and provide a summary of proposed activities, including explanation of how they address community development needs and objectives.

3. The second hearing will receive citizen views and provide a review of the performance of the funded activities.
4. The first public hearing shall be held prior to the submission of the final application for funds. The second public hearing shall be held during the implementation of the program.

PROGRAM INFORMATION/FILES/ASSISTANCE

1. To the degree that time and staff allow, technical assistance will be provided to any citizen who requests information about program requirements. Assistance with the application process will be provided by City officials or support staff. A City representative will meet with citizens on request.
2. The City will maintain, in the City Hall, a record of all citizen participation efforts including minutes of meetings, newspaper clippings, and copies of notices and brochures.
3. Citizens will be invited to make proposals regarding the application. Every effort will be made to respond to all proposals prior to the final action on that subject.
4. Citizens may petition or request in writing assistance or changes. A City representative will respond to all such requests to the degree that time and staff allows.
5. Comments or questions relating to the CDBG Program shall be directed to the City Clerk's Office, 715-346-1569, 1515 Strongs Avenue, Stevens Point, WI 54481.

COMPLAINTS

The City, or its designee will handle citizen complaints about the program in a timely manner. The City, or its designee will respond in writing to all written letters of complaint within 15 days after receipt of the complaint. The nature and disposition of verbal complaints will be reported in a complaint log. The first contact for complaints should be made to the City Clerk's Office, 715-346-1569, 1515 Strongs Avenue, Stevens Point, WI 54481 and then to the chief elected official.

In addition to the above procedure, any citizen wishing to object may complain directly to the following address:

Department of Administration
Division of Housing
P. O. Box 7970
Madison, WI 53707-7970

NON-ENGLISH SPEAKING RESIDENTS

The City, or its designee will make special efforts to assure equal opportunity in the citizen participation process for non-English speaking persons and handicapped persons. The site of the meeting must also be handicapped accessible.



Memo

Michael Ostrowski, Director

Community Development

City of Stevens Point

1515 Strongs Avenue

Stevens Point, WI 54481

Ph: (715) 346-1567 • Fax: (715) 346-1498

mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Public Protection Committee / Common Council
From: Michael Ostrowski
CC:
Date: 1/10/2012
Re: Residential Antidisplacement & Relocation Plan and Fair Housing Ordinance

As part of the submission of the final application for the Community Development Block Grant (CDBG) for housing funds, the City must adopt a residential antidisplacement and relocation plan. Please note, It is not anticipated that there will be any residential displacement, however, a policy must be adopted indicating that the City will follow the required procedures. Please find attached a resolution adopting a residential antidisplacement and relocation plan.

In addition, the City must adopt a fair housing ordinance that includes the necessary provisions outlined in the Wisconsin Statutes. Please find attached an ordinance amendment which adopts the pertinent section of the State Statues by reference.

Please do not hesitate to contact me with any questions or concerns.

RESOLUTION NO. _____

A RESOLUTION ADOPTING A RESIDENTIAL ANTIDISPLACEMENT AND RELOCATION PLAN

WHEREAS, the City of Stevens Point has applied for a Community Development Block Grant, and

WHEREAS, the City of Stevens Point is required to prepare and adopt a Residential Antidisplacement and Relocation Plan following the regulations pursuant to the Housing and Community Development Act of 1974, as amended, and described in 24 CFR 570.496a (b)(1) and in Section 104 (d) of the Housing and Community Development Act of 1974, as amended.

WHEREAS, the City of Stevens Point has prepared and publicly reviewed a Residential and Antidisplacement and Relocation Plan.

NOW THEREFORE BE IT RESOLVED, the City of Stevens Point of the County of Portage officially adopts the attached Residential Antidisplacement and Relocation Plan.

Adopted this 16th day of January, 2012 by the Common Council of the City of Stevens Point, County of Portage.

Approved:

Andrew J. Halverson, Mayor

Attest:

John Moe, City Clerk

RESIDENTIAL ANTIDISPLACEMENT AND RELOCATION PLAN

The City of Stevens Point will provide relocation assistance, as described in 570.496a (b)(2) and in the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended.

The City of Stevens Point will replace all occupied and vacant occupiable low- and moderate-income dwelling units demolished or converted to a use other than as low- and moderate-income housing as a direct result of activities assisted with funds provided under the Housing and Community Development Act of 1974, as amended, and described in 24 CFR 570.496a (b)(1) and in Section 104 (d) of the Housing and Community Development Act of 1974, as amended. All replacement housing will be provided within three years of the commencement of the demolition or rehabilitation relating to conversion.

Before obligating or expending funds that will directly result in such demolition or conversion, the City of Stevens Point will make public and submit, in writing, to the Department of Administration, Division of Housing, the following information:

1. A description of the proposed activity.
2. The general location on a map and approximate number of dwelling units by size (number of bedrooms) that will be demolished or converted to a use other than as low- to moderate-income dwelling units as a direct result of the assisted activity, and that will be provided as replacement dwelling units.
3. A timetable for the commencement and completion of the demolition or conversion.
4. The source of funding and time schedule for the provision of replacement dwelling units.
5. The basis for concluding that each replacement dwelling unit will remain a low- to moderate-income dwelling unit for at least ten years from the date of initial occupancy.

Consistent with the goals and objectives of activities assisted under the Act, the City of Stevens Point will take appropriate steps to minimize the displacement of persons from the homes.

Adopted by the City of Stevens Point Common Council on January 16, 2012.

Signature of Authorized Official

Mayor _____
Title

Andrew J. Halverson _____
PRINT Signature of Authorized Official

**ORDINANCE AMENDING THE REVISED MUNICIPAL CODE OF THE CITY OF
STEVENS POINT, WISCONSIN**

The Common Council of the City of Stevens Point do ordain as follows:

SECTION I: Section 27.09 of the Revised Municipal Code, is hereby created to read as follows:

27.09 FAIR AND OPEN HOUSING

- (1) Section 106.50, Wisconsin Statutes, as amended, and all subsequent amendments thereto, is hereby adopted by reference.
- (2) The officials and employees of the City of Stevens Point shall assist in the orderly prevention and removal of all discrimination in housing within the City of Stevens Point by implementing the authority and enforcement procedures set forth in Section 106.50, Wisconsin Statutes, as amended.
- (3) The city clerk shall maintain forms for complaints to be filed under Section 106.50, Wisconsin Statutes, as amended, and shall assist any person alleging a violation thereof in the City of Stevens Point to file a complaint thereunder with the Wisconsin Department of Work Force Development, Equal Rights Division, for enforcement of Section 106.50, Wisconsin Statutes, as amended.
- (4) In the event there is a conflict between Section 27.09 of the Revised Municipal Code and any other provisions of Chapter 27 of the Revised Municipal Code, the more stringent provisions of Section 27.09 shall prevail.

SECTION II: This Ordinance shall take effect upon passage and publication.

APPROVED: _____
Andrew Halverson, Mayor

ATTEST: _____
John Moe, City Clerk

Dated: January 11, 2012
Adopted: January 16, 2012
Published January 20, 2012



Memo

Michael Ostrowski, Director

Community Development

City of Stevens Point

1515 Strongs Avenue

Stevens Point, WI 54481

Ph: (715) 346-1567 • Fax: (715) 346-1498

mostrowski@stevenspoint.com

City of Stevens Point – Department of Community Development

To: Common Council
From: Michael Ostrowski
CC:
Date: 1/10/2012
Re: Submission of a Community Development Block Grant Application – 2011 Housing

This memo is to explain the item on the January 16, 2012 Common Council agenda, relating to submission of a Community Development Block Grant application for housing funds.

On January 9, 2012 the Finance Committee authorized the submission of a Community Development Block Grant application for housing funds. However, before the final application can be submitted, the Common Council must approve a resolution authorizing the submission of the Community Development Block Grant application. Please find attached a resolution for your consideration.

In addition, a public hearing shall be held to discuss the identification of total potential funds, eligible CDBG activities, to identify housing and community development needs, to present the activities proposed for the CDBG application, and to receive citizen input regarding housing and community development needs, and the proposed CDBG activities. Please find below an explanation of the aforementioned criteria:

Identification of total potential funds

The Wisconsin Community Development Block Grant (CDBG) program, administered by the Wisconsin Department of Administration, Division of Housing, provides grants to general purpose units of local government for housing programs which principally benefit low- and moderate-income (LMI) households. Under the rehabilitation program, available funding is approximately \$6 million per year with the average 24-month grant being approximately \$400,000. The amount the City of Stevens Point is applying for is \$550,000.

Eligible CDBG activities

The Community Development Block Grant (CDBG) program is a flexible program that

provides communities with resources to address a wide range of unique community development needs.

There are three main categories:

- Housing - loans for low to moderate income families for necessary repairs and loans to landlords to make improvements to their buildings with the condition that the building be available to moderate and low income families.
 - (1) Rehabilitation
 - (2) Homebuyer Assistance
 - (3) Special Housing Projects
- Economic Development - grants to communities to create a revolving loan fund to assist with business expansion and creation of living-wage jobs.
- Public Facilities - an aid program for public facilities.

With regards to the Housing category, the following are the eligible activities:

- Activities which are eligible under the CDBG Small Cities Housing program include but are not limited to:
 - 0% deferred payment housing rehabilitation loans to LMI owner-occupants
 - 0% deferred loans to owners of LMI renter-occupied units
 - handicapped accessibility improvements such as wheelchair ramps and wider doorways for LMI occupied dwellings
 - sewer and water laterals from the lot line to the LMI-occupied dwelling unit
 - wells and septic systems for LMI-occupied dwelling units
 - direct assistance to LMI households to facilitate and expand homeownership (e.g., eligible closing costs and up to 50% of the required downpayment based on the matching amount). Applicants for homebuyer assistance funds should be aware that homebuyer education will be a required component of this activity.
 - conversion of structures into dwelling units affordable to LMI households
 - neighborhood code enforcement activities which will result in improvement to the structure
 - hazard mitigation activities such as floodproofing, landscaping to improve drainage, or sewer back flow prevention
 - “safe rooms” (for tornadoes and other severe storms) where grantees are able to identify a need for such an activity
 - retro-fitting for wind resistance where other property conditions

require the replacement of the roof or siding

- Additional funding of up to 20% of the housing project request may be used for small public facility activities. Neighborhood revitalization activities must principally benefit LMI households, must directly and negatively be impacting housing, and may include but are not limited to:
 - sewer/water laterals from the main to the property line
 - neighborhood streets, curbs, gutters, public sidewalks, and curbcuts
 - projects which provide physical improvements to facilities for homeless persons
 - demolition of dilapidated neighborhood structures (e.g., stores, gas station)

Housing and community development needs

- **Distribution of Population:** The City has a higher representation in the young and elderly population, and a lower representation in the typical higher wage-earner segment of the population compared to the Village of Plover, Portage County, or the State of Wisconsin.
 - City of Stevens Point
 - Under 25: 52%
 - **25 - 64: 38%**
 - Greater than 65: 10%
 - Village of Plover
 - Under 25: 37%
 - 25 - 64: 53%
 - Greater than 65: 10%
 - Portage County
 - Under 25: 40%
 - 25 - 64: 48%
 - Greater than 65: 12%
 - State of Wisconsin
 - Under 25: 34%
 - 25 - 64: 53%
 - Greater than 65: 13%

Source: 2005-2009 American Community Survey 5-Year Estimates

- **Household Type Comparison:** The City has a significantly lower representation of family households than non-family households, compared to the Village of Plover, Portage County, and the State of Wisconsin.

- **City of Stevens Point – 47.5% family and 52.5% non-family**
- Village of Plover – 68.6% family and 31.4% non-family
- Portage County – 64.1% family and 35.9% non-family
- State of Wisconsin – 65.0% family and 35.0% non-family

Source: 2005-2009 American Community Survey 5-Year Estimates

- **Median Household Income Comparison:** The City has a significantly lower median household income compared to that of the Village of Plover, Portage County, and the State of Wisconsin.

- **City of Stevens Point - \$38,115**
- Village of Plover - \$60,074
- Portage County - \$50,978
- State of Wisconsin - \$51,569

Source: 2005-2009 American Community Survey 5-Year Estimates

- **Mean Household Income Comparison:** The City has a significantly lower mean household income compared to that of the Village of Plover, Portage County, and the State of Wisconsin.

- **City of Stevens Point - \$50,537**
- Village of Plover - \$70,274
- Portage County - \$61,330
- State of Wisconsin - \$64,893

Source: 2005-2009 American Community Survey 5-Year Estimates

- **Poverty Comparison (percentage of people in the past 12 months below the poverty level):** The City has a higher percentage of individuals below the poverty rate than the Village of Plover, Portage County, and the State of Wisconsin.

- **City of Stevens Point – 26.2% of individuals below the poverty level**
- Village of Plover – 6.3% of individuals below the poverty level
- Portage County – 13.4% of individuals below the poverty level
- State of Wisconsin – 7.2% of individuals below the poverty level

Source: 2005-2009 American Community Survey 5-Year Estimates

- **Housing Type Comparison:** The City has a higher percentage of renter occupied housing than the Village of Plover, Portage County, and the State of Wisconsin.

- **City of Stevens Point – 51.2% owner occupied and 48.8% renter occupied**
- Village of Plover – 66.0% owner occupied and 34.0% renter occupied
- Portage County – 70.1% owner occupied and 29.9% renter occupied

- State of Wisconsin – 69.9% owner occupied and 30.1% renter occupied

Source: 2005-2009 American Community Survey 5-Year Estimates

- **Housing Value Comparison:** The City significantly more owner-occupied housing units under \$100,000 compared to the Village of Plover, Portage County, and the State of Wisconsin.
 - **City of Stevens Point – 37%**
 - Village of Plover – 15%
 - Portage County – 24%
 - State of Wisconsin – 19%
- **Housing Age Comparison:** The City has a much older housing stock compared to the Village of Plover, Portage County, and the State of Wisconsin.
 - **City of Stevens Point - 33% built prior to 1950**
 - Village of Plover - 2% built prior to 1950
 - Portage County - 23% built prior to 1950
 - State of Wisconsin - 28% built prior to 1950

Source: 2005-2009 American Community Survey 5-Year Estimates

Activities proposed for CDBG application, including residential displacement

- 0% deferred payment housing rehabilitation loans to LMI owner-occupants
- 0% deferred loans to owners of LMI renter-occupied units

Estimated Total Cost of Activities: \$550,000 – up to 15% would be for administrative costs.

It is not anticipated that there will be any residential displacement.

Please do not hesitate to contact me with any questions or concerns.

RESOLUTION NO. _____

A AUTHORIZING THE SUBMISSION OF A COMMUNITY DEVELOPMENT BLOCK GRANT

Relating to the City of Stevens Point's participation in the Wisconsin Community Development Block Grant housing program for Small Cities.

WHEREAS, Federal monies are available under the Wisconsin Community Development Block Grant housing program, administered by the State of Wisconsin, Department of Administration, Division of Housing, for the purpose of housing activities; and

WHEREAS, after public meeting and due consideration, the Common Council has recommended that an application be submitted to the State of Wisconsin for the following projects:

- 0% deferred payment housing rehabilitation loans to LMI owner-occupants
- 0% deferred loans to owners of LMI renter-occupied units

WHEREAS, it is necessary for the Common Council of the City of Stevens Point, to approve the preparation and filing of an application for the City of Stevens Point to receive funds from this program; and

WHEREAS, the Common Council has reviewed the need for the proposed projects and the benefits to be gained therefrom;

NOW, THEREFORE, BE IT RESOLVED, that the Common Council of the City of Stevens Point does APPROVE and authorize the preparation and filing of an application for the above-named projects; and

BE IT FURTHER RESOLVED, that the Mayor is hereby authorized to sign all necessary documents on behalf of the City of Stevens Point; and

BE IT FURTHER RESOLVED, that authority is hereby granted to the Director of Community Development to take the necessary steps to prepare and file the appropriate application for funds under this program in accordance with this resolution.

ADOPTED on this 16th day of January, 2012.

ATTEST: _____, Clerk

The above resolution has been authorized by the governing body of the City of Stevens Point

By RESOLUTION No. _____, dated _____:

Andrew J. Halverson Mayor

John Moe Clerk

The Common Council of the City of Stevens Point authorizes the transfer of funds from Contingency to the Crossing Guard Program and salary accounts of the City Attorney.

From Contingency		100.51.19850.9050	\$ 5,400.00
To Crossing Guard	Wage	100.52.20100.1440	\$ 4,781.16
	Social Security	100.52.20100.1910	\$ 413.10
	Workers Comp	100.52.20100.1930	\$ 205.74
From Contingency		100.51.19850.9050	\$53,124.21
To City Attorney	Salary	100.51.00300.1030	\$46,203.00
	Wis. Retirement	100.51.00300.1900	\$ 3,257.31
	Social Security	100.51.00300.1910	\$ 3,534.53
	Workers Comp	100.51.00300.1930	\$ 129.37

City of Stevens Point
1515 Strongs Avenue
Stevens Point, WI 54481-3594
FAX 715-346-1530



Andrew J. Halverson
Mayor
715-346-1570

January 11, 2012

Members of the Common Council
Stevens Point, Wisconsin

The following appointment is recommended for your consideration.

Police and Fire Commission Ald. Liaison – Unexpired Term Ald. Brooks –
(Expires 04/30/12)
Appoint Ald. Mike Wiza, 717 Franklin Street

Your confirmation of this appointment would be appreciated.

A handwritten signature in black ink, appearing to read "Andrew J. Halverson".

Andrew J. Halverson
Mayor
City of Stevens Point

COMPTROLLER-TREASURER REPORT
for the period ending November 30, 2011

	Bal Nov. 1, 2011	Receipts	Disbursements	Bal Nov 30, 2011
GENERAL OPERATING CASH	\$2,906,078.22	\$729,588.60	\$2,874,083.97	\$761,582.85
WATER & SEWER (CASH & INVEST)	\$7,354,704.89	\$2,923,040.32	\$2,293,726.68	\$7,984,018.53

INVESTMENTS	Bal. Nov 1, 2011	TRANSFER IN	TRANSFER OUT	Bal. Nov 30, 2011
GENERAL	\$6,112,936.98	\$8,247,090.72	\$100,142.00	\$14,259,885.70
SPECIAL REVENUE	\$773,315.40	\$268.69	\$0.00	\$773,584.09
DEBT SERVICE	\$2,026,521.48	\$67,373.07	\$0.00	\$2,093,894.55
CAPITAL PROJECTS	\$11,285,496.60	\$9,848.91	\$0.00	\$11,295,345.51
ENTERPRISE	\$1,518,457.90	\$171,398.12	\$0.00	\$1,689,856.02
TRUST	\$73,943.48	<u>\$54.91</u>	<u>\$1,750.17</u>	\$72,248.22
TOTALS	<u>\$21,790,671.84</u>	<u>\$8,496,034.42</u>	<u>\$101,892.17</u>	<u>\$30,184,814.09</u>

EXPENDITURES:	BUDGET	YTD	%	REVENUES	BUDGET	YTD	%
GENERAL GOVT	\$2,795,755.00	\$1,883,914.37	67.38%	GENERAL	\$23,328,783.00	\$20,391,063.25	87.41%
POLICE DEPT	\$6,087,247.00	\$5,512,085.41	90.55%	TRANSIT	\$1,381,125.00	\$3,153,445.35	228.32%
FIRE DEPT	\$5,210,973.00	\$4,764,577.39	91.43%	AIRPORT	\$565,668.00	\$669,798.88	118.41%
PUBLIC WORKS	\$6,266,521.00	\$5,542,552.85	88.45%				
PARK & REC	\$2,462,982.00	\$1,988,508.78	80.74%				
CAPITOL PROJ	\$505,305.00	\$390,956.73	77.37%				
TRANSIT	\$1,689,926.00	\$3,327,719.23	196.92% ***				
DEBT SERVICE	\$3,834,615.00	\$6,291,287.74	164.07% **				
AIRPORT	\$565,668.00	\$632,495.06	111.81%				

** debt service appears over due to advance refunding of the State Trust Fund loans - offset by new debt service issue

*** budget overage due to bus purchases - there is an offsetting revenue

