

AGENDA  
CITY PLAN COMMISSION

Monday, April 2, 2012 – 6:00 PM

Lincoln Center – 1519 Water Street, Stevens Point, WI 54481

(A Quorum of the City Council May Attend This Meeting)

Discussion and possible action on the following:

1. Report of the March 5, 2012 Plan Commission meeting.
2. Request from Robert Welling for a conditional use permit for the purpose of converting second floor storage space into two, two-bedroom apartments at **1201-1225 Main Street (Parcel ID 2408-32-2027-06)**, with off-site parking.
3. Request from Genuine Parts Company for a conditional use permit for the purposes of constructing an approximate 25,000 square feet addition, which will contain chemical storage, to the existing distribution center within the Wellhead Protection Overlay District at **5101 Coye Drive (Parcel ID 2308-02-2000-08)**.
4. Other business.
5. Adjourn.

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Any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715)346-1569, TDD# 346-1556, or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

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PUBLISH: March 29, 2012 and April 5, 2012

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the Common Council of the City of Stevens Point, Portage County, Wisconsin, will hold a Public Hearing on Monday, April 16, 2012 at 7:00 PM in the Council Chambers of the County-City Building, 1516 Church Street, Stevens Point, Wisconsin, to hear the following:

- 1) Request from Robert Welling for a conditional use permit for the purpose of converting second floor storage space into two, two-bedroom apartments at 1201-1225 Main Street (Parcel ID 2408-32-2027-06). This property being zoned "B-3" Central Business District, and described as LOT 1 CSM 6940-25-163 BNG PRT LOTS 7 8 & 9 BLK 29 S E & O ADD 540748 577418, City of Stevens Point, Portage County, Wisconsin.
- 2) Request from Genuine Parts Company for a conditional use permit for the purposes of constructing an approximate 25,000 square feet addition, which will contain chemical storage, to the existing distribution center within the Wellhead Protection Overlay District at 5101 Coye Drive (Parcel ID 2308-02-2000-08). This property being zoned "M-2" Heavy Industrial, and described as A PRCL OF LND IN SW NW S2 T23 R8: COM NWLAND COR SEC 2, TH S 1555.39' ALG WL SD SEC TO IMPRV SL COYE DR, TH E ALG SL COYE DR 1044.09' TOTAL FOR POB: TH E 595.13' S585.44', W595.13'; N585.56' TO POB; SUBJ TO MAINT AGRMT DES 768096 389/285, City of Stevens Point, Portage County, Wisconsin.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strong's Avenue, Stevens Point, WI 54481, or by calling 715-346-1567, during normal business hours.

All interested parties are invited to attend.

BY ORDER OF THE COMMON COUNCIL  
OF THE CITY OF STEVENS POINT, WISCONSIN

John Moe, City Clerk

REPORT OF CITY PLAN COMMISSION

Monday, March 5, 2012 – 6:00 PM  
Lincoln Center

PRESENT: Chairperson Mayor Halverson, Alderperson Jerry Moore, Commissioner Tony Patton, Commissioner Anna Haines, Commissioner Shari Laskowski, and Commissioner David Cooper.

ALSO PRESENT: Community Development Director Michael Ostrowski, Economic Development Specialist Kyle Kearns, Director of Public Works Joel Lemke, Director of Water and Wastewater Kim Halverson, Alderperson Marge Molski, Alderperson Mary Stroik, Alderperson Joanne Suomi, Barb Jacob, Scott Beduhn, Rachel Blink, Brandi Makuski, Scott Littell, Matthew Brown, Charles Rumsey, and Catherine Nolan.

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INDEX:

1. Report of the February 6, 2012 Plan Commission meeting.
2. Request from US Cellular for a conditional use permit for the purposes of installing three new antennas to an existing tower and performing line work at **5348 Highway 10 East (Parcel ID 2408-35-2100-22)**.
3. Request from US Cellular for a conditional use permit for the purposes of installing three new antennas to an existing tower and performing line work at **1900 Polk Street (Parcel ID 2408-32-2018-03)**.
4. Request from the Stevens Point Water Department for a conditional use permit for the purposes of constructing a garage at **5431 Highway 66 (Parcel ID 2408-14-4200-01)**.
5. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to create a wellhead protection zone for Well 11, and amending the uses within the Wellhead Protection Overlay District (Section 23.02(4)(e)).
6. Amending the City of Stevens Point Zoning Ordinance to change the conditional use requirement for co-location of antennas to a permitted use (Section 23.02(4)(d)).
7. Other business.
8. Adjourn.

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Mayor Halverson introduced and welcomed David Cooper the new plan commissioner.

1. Report of the February 6, 2012 Plan Commission meeting.  
**Motion by Commissioner Moore to approve the report of the February 6, 2012 meetings as presented; seconded by Commissioner Haines. Motion carried 6-0.**
2. Request from US Cellular for a conditional use permit for the purposes of installing three new antennas to an existing tower and performing line work at **5348 Highway 10 East (Parcel ID 2408-35-2100-22)**.

Economic Development Specialist Kearns stated US Cellular is requesting a conditional use permit for the purpose of upgrading antenna line, as well as adding three antennas to the existing tower at 5348 Highway 10 East. The existing tower is 130 feet tall, has three existing antennas, and is located in the "B-5" Highway Commercial zoning district, where co-location of antennas is a conditional use.

Staff would recommend approval with the condition that all other structural components shall be installed within the current footprint of the facility.

**Motion by Mayor Halverson to approve the request from US Cellular with the following conditions:**

- **All other structural components shall be installed within the current footprint of the facility.**

**seconded by Commissioner Patton. Motion carried 6-0.**

3. Request from US Cellular for a conditional use permit for the purposes of installing three new antennas to an existing tower and performing line work at **1900 Polk Street (Parcel ID 2408-32-2018-03)**.

Economic Development Specialist Kearns stated US Cellular is requesting a conditional use permit for the purpose of upgrading antenna line, as well as adding three antennas to the existing tower at 1900 Polk Street. The existing tower is 160 feet tall, has six existing antennas, and is located in the "R-2" Single Family Residential zoning district, where co-location of the antennas is a conditional use. Staff would recommend approval with the condition that all other structural components shall be installed within the current footprint of the facility.

**Motion by Commissioner Patton to approve the request from US Cellular with the following conditions:**

- **All other structural components shall be installed within the current footprint of the facility.**

**seconded by Mayor Halverson.**

Commissioner Patton asked how many antennas can be placed on a tower. Scott Littella representative of Faulk & Foster stated it is dependent on the original structure and how it is built. The towers are built with the plan of co-location in most cases for three to four carriers.

**Motion carried 6-0.**

4. Request from the Stevens Point Water Department for a conditional use permit for the purposes of constructing a garage at **5431 Highway 66 (Parcel ID 2408-14-4200-01)**.

Director Ostrowski stated the Stevens Point Water Department is in the final stages of constructing a well pumping station, water treatment plant, and parking area for well 11 on the site. A conditional use was approved in February of 2011 to allow the proposed use. At that time, the proposed storage facility was not included in the original proposal. The proposed 1,040 square foot storage garage would be used to house vehicles, equipment, and parts. The property is zoned conservancy and requires a conditional use permit for this use. In addition, like the well pumping station and treatment plant, the proposed garage will be located within the Wellhead Protection Overlay District. Staff would recommend approval with the condition that any hazardous type of materials stored within the structure be properly contained.

Commissioner Haines asked if there would be any hazardous materials stored in the garage. Director Ostrowski indicated that not at this time.

Commissioner Laskowski asked why this garage was not in the original plans when well 11 was proposed. Director Ostrowski said that it was overlooked.

Alderman Moore asked what would be the purpose of the garage. Mayor Halverson stated it will house a dedicated plow truck and lawn maintenance machinery for the site.

**Motion by Commissioner Patton to approve the request from the Stevens Point Water Department with the following conditions:**

- **Any hazardous type of materials stored within the structure shall be properly contained.**

**seconded by Commissioner Cooper. Motion carried 6-0.**

5. Amending Chapter 23 (Zoning Code) of the Revised Municipal Code to create a wellhead protection zone for Well 11, and amending the uses within the Wellhead Protection Overlay District (Section 23.02(4)(e)).

Director Ostrowski explained that this is a two part request, with the first part to establish a wellhead protection overlay district for well 11. This well is a little different than the other wells in that the wellhead protection overlay will be based on a two year time of travel instead of the cone of depression which is 1,500 feet around the well. This means of protection is more specific, indicating where the time of travel would be for the water flow. The second part of the request is amending the ordinance to allow the Director of Water and Wastewater and the Director of Community Development to review and approve any uses going within that district. Currently, we have a list of permitted, conditional, and prohibited uses within both the A zone and the B zone. He indicated that it would be easier to administer with just having the directors of both departments approve and attach any appropriate conditions to each project.

Commissioner Laskowski asked if the two year time of travel is bigger or smaller than the cone of depression. Director Ostrowski stated that for this well it is bigger, due to the capacity of the well. He indicated that later we will have the current wells analyzed using this same method.

Commissioner Laskowski asked if the other wells would be the two year time of travel or a five year time of travel. Director Ostrowski said that the A Zone is the two year time of travel and the B Zone is the five year time of travel.

Commissioner Haines clarified that it only applies to this well at this time. Director Ostrowski indicated that this was correct. Director Ostrowski indicated that in the future the City will have an analysis done, with findings brought back to the commission outlining the two year time of travel of all the wells so they are constant.

Commissioner Haines expressed that getting rid of the permitted, conditional, and prohibited uses would make her uncomfortable. She believes this needs to be laid out, so land owners understand what is permitted and what is conditional. She doesn't mind if the Director of Water and Wastewater and the Director of Community Development give or recommend conditions for

whatever use is suggested, but she does not think that we should get rid of the current process. Commissioner Haines said she is ok with the elimination of the list of prohibited uses, because the ordinance states that if uses are not listed, they are prohibited.

Director Ostrowski responded that the uses within that district are still regulated by the underlying zoning district.

Mayor Halverson stated that overlay districts should be created that specifically run with the flow pattern of the groundwater, allowing for much more specific and detailed districts in terms of exactly where the restrictions would need to be. In terms of the generalized protections that we have, they are just that, generalized and they don't exactly flow with the groundwater flow patterns that are within this area. We need to either give the two directors the flexibility to work with the overall areas to determine what is or isn't appropriate based on the exposure to the wells, or we need to completely redo exactly what we are doing that protects only where the groundwater flows. The wellhead protection area would be only a fraction of this size if we did it that way, which would probably be more appropriate. Right now we would still have much more protection than we would have otherwise. There simply are areas right now that are in wellhead protection that have no business being in it, and that is the key. So the way this is actually set up, is to still protect the wells more than we would if we simply ran with the groundwater flow patterns. This is more protective oriented than if we actually amended it to just simply flow with the groundwater flow areas and where they actually flow to and from.

Commissioner Haines asked if the map (referring to the map included in the packet) could be redone. Mayor Halverson stated that is correct.

Scott Beduhn from SEH stated that he assisted in preparing the map referred to by Commissioner Haines. Currently, the two year time of travel is using what the DNR lays out as the uniform flow. The DNR equation states that the water travels uniformly through the aquifer and then skirts that area which is a circle, concluding that water could come from any possible direction, which isn't exactly true in that case. This will also need to go through Portage County and the DNR for review and approval.

Commissioner Haines stated that she likes the idea of having a more technically based map, but there is only one well that is under the time of travel method. Mr. Beduhn stated that the plan is to go back and look at the other wells, getting the calculations from each and look at the modeling of how those wells are utilized. How the wells are used and how often they are pumping impacts the draw of water. The other wells can be put into a model, but it will take time and effort to get the calculations and develop a more detailed map. The most comprehensive model that did exist was held by UWSP and that software is no longer supported. The data still exists but it would be a matter of putting it in supportive software. Groundwater protection has come a long way since it first started. When the DNR first required protection, there wasn't a lot of information once you get into the ground about what was going on. The protection zones were originally laid out to be very generic because the general process was to be very protective with the resources and then to worry about it later. Today, there is a process with modeling and more understanding, along with more data. This allows one to become more finite with the information. As it exists, the current wellhead protection is very generically based, encompassing as much land mass as possible to create this protection zone. The zone is probably over kill, especially depending on the potential use of that land.

Director Ostrowski suggested that the commission could leave the A uses but change the B uses to allow the directors to go through the process.

Mayor Halverson stated that the A zones need to be restricted and need to be iron clad prohibited, but the B zones are tremendously different. The A zones are the ones that are simply prohibited to anything under any circumstances, but the B zones are the ones that naturally would be more discretionary based on the decision of the two directors.

Alderman Moore pointed out that the B zone is huge, and it may be encompassing some properties that may not need to be included in this area. He also suggested that maybe this could be presented next month with a different structure on the B zones. Director Ostrowski stated that there would not be enough time to complete the necessary modeling for bringing it back before the commission next month. They would need more time.

Mayor Halverson stated that he truly feels that the ease in doing it this way is still taking into account the large area that requires a very distinct review by the two directors. He feels this is adequate since the last thing the Director of Water and Wastewater or the Community Development Director will do is allow a project to move forward that would have serious ramifications without multiple conditions and layers of containment.

Commissioner Haines stated she is ok with that, but still would like the Plan Commission to review the requests.

Commissioner Laskowski asked Mayor Halverson about mentioning the A Zones being locked up and not open for discussion, meaning that nothing is allowed. Mayor Halverson stated that was correct.

Director Ostrowski stated that we would keep what is currently in the code for the A zones, but change the B zones to allow the directors to review and/or attach the appropriate conditions. This came about due to the number of containment measures that can now be used and the advancements in testing and technology. Director Ostrowski stated that this is how the City of Madison's code is written.

Mayor Halverson stated that this is a very appropriate method for us to do administratively. We really need to simply carve out massive areas to get more in line with exactly what existing flow data is out there.

Commissioner Laskowski asked if well 11 on the map is the two year time of travel. Director Ostrowski stated that is correct.

Commissioner Laskowski asked if the other wells were still the cone of depression. Director Ostrowski stated that is correct.

Mr. Beduhn stated that the two year time of travel for well 11 calculates to just over 2,000 feet, which would be slightly larger than the other ones at 1,500 feet.

Mayor Halverson stated that this takes the broader brush where there is more review by the two directors to ensure that anything that is proposed is reviewed and we take proper measures to

protect whatever that might be; it actually gives us more protection than if we were to simply carve it out.

Mr. Beduhn stated that the previous model exists in very narrow strips coming from the east and the northwest for each of the wells. Furthermore, it is a narrow band that stretches up far in both directions, but not very wide as far as how the water would enter into each well, so that would be essentially your B zone, which is considerably smaller.

Mayor Halverson feels that this is an appropriate step that takes a broader brush, but allows for the practical review of the two directors to determine what exposure, if any, exists for a proposed project within the zoning.

**Motion by Mayor Halverson to approve amending Chapter 23 to create the wellhead protection plan for well 11 and amending Chapter 23, the uses within the wellhead protection overlay district Section 23.02 (4)(e) to allow and maintain the prohibition under the same exact model for the A zones and allow for the co-director review of the B zones. Motion failed due to no second.**

Commissioner Laskowski asked what would be the benefit for having just the two directors to review, and not to have it come before the Plan Commission. Mayor Halverson answered that it would expedite the process for areas that should not be protected, but are listed as protected.

Alderman Moore stated he would still like to see proposals come before Plan Commission. Bringing the development in front of the commission makes it easier for everyone and now no one is put on the line. If it is a useful project or something that they want done, he does not see why it wouldn't pass at Plan Commission.

Mayor Halverson asked if there would be any time constraints on this project. Director Ostrowski stated that the commission needs to adopt a wellhead protection plan for well 11 because it will come online this spring. Furthermore, it needs to be reviewed and approved by Portage County and the DNR. With regards to the other parts of the amendment, we still have time to discuss.

Mr. Beduhn wanted to make everyone aware that the well is planning to go online quite soon.

Commissioner Laskowski asked if they could do two separate motions. Mayor Halverson stated that it could be all contained in one motion if someone would move to accept the wellhead protection plan allowance for well 11 and then instruct staff to bring back any remaining changes next month to the wellhead protection zones.

Director Ostrowski suggested that the commission recommend the approval of the wellhead protection plan for well 11 and then modify the ordinance to allow all other uses allowed within the underlying zoning district as conditional uses in the B zones, if they are not permitted uses.

Mayor Halverson stated that when this is brought back, there should be a review of all available models and the drawing of appropriate wellhead protection zones. The two most accurate models that we have, the Kraft model and the other most recent one, should be followed.

Mr. Beduhn said he was not sure if a month would be enough time to extract the data from the current model. It would likely take longer than a month because the software is not available to extract the data from the Kraft model.

Mayor Halverson asked how much time it would take. Mr. Beduhn stated it would be unknown, until they determined how difficult it would be to extract the data.

Mayor Halverson stated we know we have to put the protections in place for well 11, however, he is uncomfortable with the fact that we take out development opportunities for half of the town. A balance needs to be found. Instead of debating the pros and cons of whether it should or shouldn't be staff, we should simply take out the areas that don't need to be protected whatsoever, and let the zoning speak for itself.

Commissioner Haines stated then that means we should review what is in the area in particular. Mayor Halverson stated that it is irrelevant if we are going to use some level of a model to determine true groundwater flow. We need to determine the flow and exactly where it starts and stops and then look at whatever falls within that general geographic area, in terms of uses and zoning.

Commissioner Haines pointed out that most of the area is Town of Hull. Mayor Halverson stated that is why we need to have Portage County review and approve the protection zone for well 11.

**Motion by Commissioner Haines to approve the wellhead protection plan for well 11; seconded by Commissioner Laskowski.**

Alderman Moore asked what about the uses. Director Ostrowski stated that we can do the analysis to determine what the flow models should show for future uses, but at this time, at least modify the ordinance to allow all other uses allowed within the underlying zoning district as conditional uses in the B zones, if they are not permitted uses. This would still require Plan Commission and Common Council approval.

**Motion amended by Commissioner Haines to approve the wellhead protection plan for well 11, and to modify the ordinance to allow all other uses allowed within the underlying zoning district as conditional uses in the B zones, if they are not permitted uses; seconded by Commissioner Laskowski. Motion carried 6-0.**

6. Amending the City of Stevens Point Zoning Ordinance to change the conditional use requirement for co-location of antennas to a permitted use (Section 23.02(4)(d)).

Director Ostrowski explained that currently, antennas proposed on existing telecommunications towers, buildings, or other structures require a conditional use permit. Approval is still needed if the existing tower, building, or structure complies with all zoning ordinance requirements. Given that the goal of antenna construction is geared towards co-location, he feels that requiring companies to receive a conditional use permit for co-locating antennas is unnecessary. Therefore, staff would recommend that co-location of antennas be a permitted use, as opposed to a conditional use. New towers will still require a conditional use.

**Motion to approve by Commissioner Patton; seconded by Alderman Moore. Motion carried 6-0.**

7. Adjourn.

**Meeting adjourned at 6:35PM.**

# Administrative Staff Report

## Robert Welling Conditional Use and Off-Site Parking Request 1201-1225 Main Street April 2, 2012



Department of Community Development  
1515 Strongs Avenue, Stevens Point, WI 54481  
Ph: (715) 346-1568 - Fax: (715) 346-1498

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"><li>Robert Welling</li></ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"><li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li><li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li></ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"><li>2408-32-2027-06</li></ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"><li>"B-3" Central Business District</li></ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"><li>Downtown District</li></ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"><li>District 1 – Beveridge</li></ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"><li>Actual Frontage: 101 feet</li><li>Effective Frontage: 101 feet</li><li>Effective Depth: 96 feet</li><li>Square Footage: 9,696</li><li>Acreage: 0.223</li></ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"><li>Retail first floor, storage &amp; office on second floor</li></ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"><li>23.01(14), 23.01(16), and 23.02(2)(c)</li></ul>	<p><b>Request</b></p> <p>Request from Robert Welling for a conditional use permit for the purpose of converting second floor storage space into two, two-bedroom apartments at <b>1201-1225 Main Street (Parcel ID 2408-32-2027-06)</b>, with off-site parking.</p> <p><b>Attachment(s)</b></p> <ul style="list-style-type: none"><li>Property Data</li><li>Exhibit Map</li><li>Application</li><li>Apartment Layout</li><li>Parking Layout</li></ul> <p><b>Findings of Fact</b></p> <ul style="list-style-type: none"><li>The property is zoned "B-3" Central Business District.</li><li>The request is to convert part of the second story into two units with two bedrooms in each unit.</li><li>Multiple family uses require a conditional use permit.</li><li>Parking is requested to be located off-site at a City-owned lot.</li></ul> <p><b>Staff Recommendation</b></p> <p>Approve subject to Plan Commission and staff comments, including the following condition(s):</p> <ul style="list-style-type: none"><li>Applicant must secure the appropriate number of parking spaces through a city permit.</li><li>Shall parking ever become unavailable, the conditional use must cease within 60 days, or another parking location must be approved.</li><li>Applicant must secure a multi-family license prior to occupying the unit.</li><li>The interior work for the apartment shall be completed within one (1) year after final approval, and may be granted a six month extension with approval by staff.</li><li>Exterior improvements must be reviewed and approved by the Historic Preservation / Design Review Commission (windows, trim, etc).</li><li>Dumpsters and/or refuse containers shall be screened from view.</li></ul>
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# Vicinity Map



## Background



Mr. Welling is requesting a conditional use permit for the purposes of converting second floor space, primarily used for storage, into two, two-bedroom apartment units. The addition of the two apartment units will require parking spaces at a rate of 1.5 spaces per 1-bedroom unit; 2 spaces per 2-bedrooms units; multiple dwellings shall have 1 space for each person 18 years of age or older. Mr. Welling is proposing to lease four parking spaces from the City, located north of the intersection of Crosby Street and Centerpoint Drive. The conversion will require interior renovation of walls, floors, doors, etc. New exterior windows are proposed for both units which must get Historic Preservation / Design Review Commission approval prior to installation.

## Standards of Review

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- 1) **The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

**Analysis:** The building currently exists, and the two apartment units will occupy current vacant storage space.

**Findings:** The two apartment units should not be detrimental to, or endanger, the public health, safety, or general welfare.

- 2) **The use will not be injurious to the use and for the purpose already permitted;**

**Analysis:** The apartment units will be located on the second floor, which is common throughout the downtown. They will be above retail space.

**Findings:** The units should be complementary to the proposed uses at the site, and within the immediate vicinity.

- 3) **The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

**Analysis:** The respective area is an established area of the City.

**Findings:** The proposed use should not impede the orderly development and improvement of the surrounding properties.

- 4) **The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

**Analysis:** Project plans do not include any exterior alterations to the building.

**Findings:** The architectural appeal should not be in variance with other structures throughout the neighborhood. Any exterior improvements will require review by the Historic Preservation / Design Review Commission.

- 5) **Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

**Analysis:** The respective area is an established area of the City.

**Findings:** Utilities currently exist in this area.

- 6) **Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

**Analysis:** Parking will occur in a city parking lot located north of Crosby Avenue. The distance from the apartment would be about 0.3 walking miles, or about a six minute walk. Please see map below.



**Findings:** Staff feels that this parking location would suffice the parking requirement. While the parking area may a little distance away from the apartment type use, staff does not feel that it should prohibit the location of the second floor apartments. Our Comprehensive Plan calls for increased density in the downtown core, as well as the mixing of uses; this request accomplishes those goals. Staff feels that this standard is met.

**7) The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

**Analysis:** The proposed use is within the Central Business District. The intent of this district is to provide a single contiguous district encompassing the central business district or downtown area which will encourage primarily retail uses and a variety of supporting uses. This district is intended to help implement the community's specialized development goals and planning principles, for the CBD, particularly the development and maintenance of the downtown area as a specialized pedestrian-oriented shopping and community center.

**Findings:** The proposed use is a supporting use within this district.

**8) The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

**Analysis:** The lot and building exist. Any exterior improvements shall meet the zoning requirements for the district.

**Findings:** This standard is met.

**9) The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

**Analysis:** The proposal is to add two, two-bedroom apartment units. The total number of bedrooms would then be four for the entire building.

**Findings:** The proposal should not result in an over-concentration of high density living facilities.

<sup>1</sup> Google Maps

**10) Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

**11) Access to the site shall be safe.**

**Analysis:** The establishment does not have any off street parking.

**Findings:** Parking for the apartments will be located off-site.

**12) There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

**Analysis:** The property currently exists, and adequate utilities exist at the site.

**Findings:** This standard is met.

**13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:**

- a. Mechanical equipment including refuse storage shall be screened from neighboring properties.**

**Analysis:** Refuse storage is stored behind the building.

**Findings:** All containers shall be screened from view.

- b. Lighting shall be located to minimize intrusion onto the neighboring properties.**

**Analysis:** No change in lighting is planned.

**Findings:** This standard is met.

- c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

**Analysis:** The use will be a multi-family type use.

**Findings:** The use should not cause significant noise levels.

**14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.**

N/A

Name and Address		Parcel #	Alt Parcel #	Land Use
BCK Rentals LLC 1052 Main St LL3 Stevens Point, WI 54481		240832202706	240832202706	Store, Retail
		Property Address		Neighborhood
		1201-25 Main St		Cntrl Bus & 2nd St area(Comm)
		Subdivision		Zoning
Display Note		S E & Other Plat		B3-CENTRAL BUSINESS

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type
BCK Rentals LLC William C & Cynthia L Kieper	8/14/2000	\$631,900	Quit Claim Deed/Addl Par	57	7418	Land & Build.
	6/3/1998	\$320,000	Warranty Deed	54	0748	Land & Build.

**SITE DATA**

**PERMITS**

Actual Frontage	101.0	Date	Number	Amount	Purpose	Note
Effective Frontage	101.0	8/17/2010	37248	\$1,000	099 Sign	Loonies Deli & Pizzari
Effective Depth	96.0	8/11/2004	32640	\$2,000	093 Sewer and/or Wa	repair Water Lateral
		9/30/2002	31112	\$1,200	020 Electrical	
Square Footage	9,696.0	9/3/1997	27050	\$1,300	042 Interior Renov/Re	
Acreage	0.223	4/24/1997	26618	\$1,000	004 Addition and Rem	Construct A Room Sto

**2011 ASSESSED VALUE**

Class	Land	Improvements	Total
B-Commercial	\$64,000	\$264,100	\$328,100
<b>Total</b>	<b>\$64,000</b>	<b>\$264,100</b>	<b>\$328,100</b>

**LEGAL DESCRIPTION**

LOT 1 CSM 6940-25-163 BNG PRT LOTS 7 8 & 9 BLK 29 S E & O ADD 540748 577418

**PROPERTY IMAGE**

**PROPERTY SKETCH**



Name and Address		Parcel #	Alt Parcel #	Land Use
BCK Rentals LLC 1052 Main St LL3 Stevens Point, WI 54481		240832202706	240832202706	Store, Retail
		Property Address		Neighborhood
		1201-25 Main St		Cntrl Bus & 2nd St area(Comm)
Subdivision		Zoning		
Display Note		S E & Other Plat		B3-CENTRAL BUSINESS

**BUILDING SUPERSTRUCTURE DATA**

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Store, Retail (C avg)	1895	8,780	Masonry - Avg	16
1	2	Warehse, Storage (C avg)	1895	8,780	Masonry - Avg	12

<b>Total Area</b>		17,560
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**BASEMENT DATA****COMPONENTS**

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area
1	1	Store, Retail - Finished Bsmnt	2,800				
1	1	Store, Retail - Unfin Bsmnt	5,980				

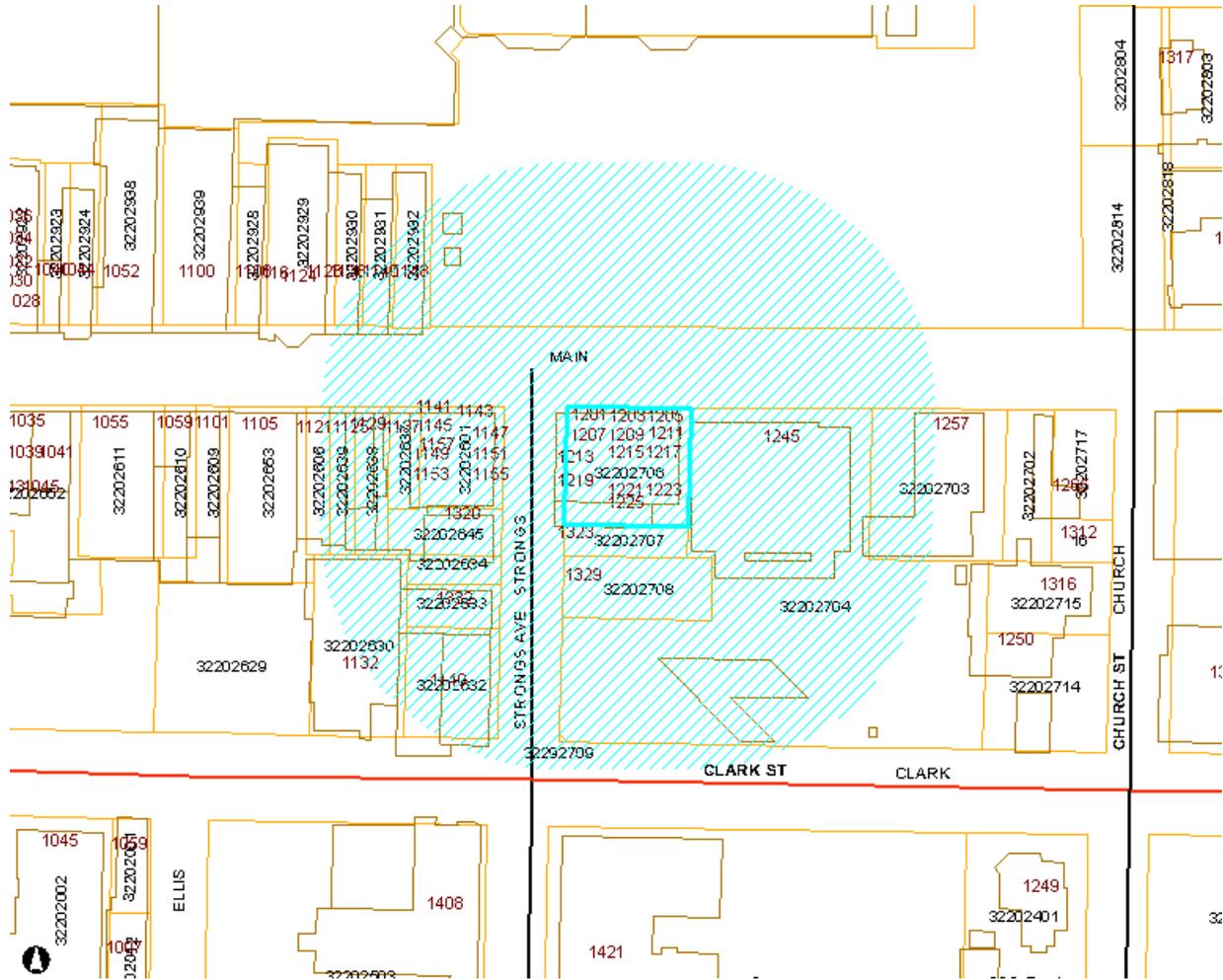
**DETACHED IMPROVEMENTS**

Structure	Year Built	Square Feet	Grade	Condition

**SITE IMPROVEMENTS****STRUCTURE DATA**

Site Improvement	Units	Age	50
		Year Built	1895
		Eff. Year	1962
		One Bedroom	
		Two Bedroom	
		Three Bedroom	
		Total Units	
		Stories	2.00
		Business Name	Retail store w/ 2nd floor storage

**1201-1225 Main Street – Robert Welling – Conditional Use – Exhibit Map (200 Feet Boundary)**



TaxKey	Property Address	Owner Name	Mailing Address	City	State	Zip Code
281240832202601	1141-57 Main St	Rural Estates LLC	8215 County Rd I	Custer	WI	54423
281240832202606	1121 Main St	Bonita A Brown	1121 Main St	Stevens Point	WI	54481
281240832202630	1132 Clark St	Elks Lodge #641	1132 Clark St	Stevens Point	WI	54481
281240832202632	1140 Clark St	Jeffery W Brown &	1159 Wilshire Dr	Stevens Point	WI	54481
281240832202633	1332-36 Strong's Ave	Larry & Sara Raikowski	4025 County Road H & O	Junction City	WI	54443
281240832202634	Strong's Ave	TLB Properties LLC	1720 Ridgewood Cir	Plover	WI	54467
281240832202637	1137 Main St	K Bueno LLC	PO Box 651	Stevens Point	WI	54481
281240832202638	1129 Main St	Karl S Pnazek &	3411 Plover Rd	Plover	WI	54467
281240832202639	1125 Main St	Karl S Pnazek &	3411 Plover Rd	Plover	WI	54467

281240832202645	1320 Strongs Ave	TLB Properties LLC	1720 Ridgewood Circle	Plover	WI	54467
281240832202703	1257 Main St	Faborrs Properties Inc	1257 Main St	Stevens Point	WI	54481
281240832202704	1245 Main St	First National Bank	111 West Monroe St	Chicago	IL	60603
281240832202706	1201-25 Main St	BCK Rentals LLC	1052 Main St LL3	Stevens Point	WI	54481
281240832202707	1323 Strongs Ave	First National Bank Stevens Pt	111 West Monroe St	Chicago	IL	60603
281240832202708	1329 Strongs Ave	First National Bank Stevens Pt	111 West Monroe St	Chicago	IL	60603
281240832202930	1136 Main St	William J & Luann M Streur	1000 S Lynndale Dr	Appleton	WI	54914
281240832202931	1140 Main St	Guu Inc	1140 Main St	Stevens Point	WI	54481
281240832202932	1148 Main St/1224 Strongs	Onward and Upward LLC	7677 Andrews Lane	Custer	WI	54423
281240832202962	Centerpoint Dr	Community Development Authority	1515 Strongs Ave	Stevens Point	WI	54481
281240832292709	Clark St & Strongs Ave	City Of Stevens Point	1515 Strongs Ave	Stevens Point	WI	54481

**REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION**

ADDRESS OF PROPERTY: 1209 Main Street. Stevens Point, WI 54481

- Zoning Ordinance Change
- Conditional Use Permit
- Variance from Zoning Ordinance -Board of Appeals
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

Would like to have two 2-bedroom apartments above the old Mission Coffee House. Would like four parking permits for use by the new apartment tenants.

OWNER/APPLICANT:

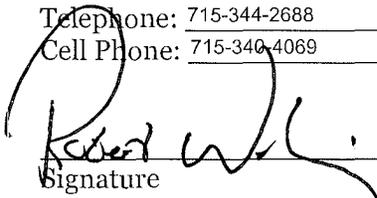
AGENT FOR OWNER/APPLICANT:

Name: Robert Welling  
Address: 247 Edgewood Rd.  
Custer, WI 54423  
(City, State, Zip Code)

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
(City, State, Zip Code)

Telephone: 715-344-2688  
Cell Phone: 715-340-4069

Telephone: \_\_\_\_\_  
Cell Phone: \_\_\_\_\_

  
Signature

\_\_\_\_\_  
Signature

Scheduled Date of Plan Commission Meeting: 4/2/2012

Scheduled Date of Common Council Meeting: 4/16/2012

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office **three weeks** prior to the actual meeting.

Fee schedule is on second page.

Receipt # \_\_\_\_\_

**REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION**

ADDRESS OF PROPERTY: 1209 Main Street, Stevens Point, WI 54481

- Zoning Ordinance Change
- Conditional Use Permit
- Variance from Zoning Ordinance -Board of Appeals
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

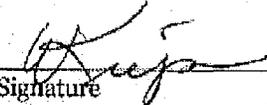
\_\_\_\_\_

\_\_\_\_\_

OWNER/APPLICANT:

Name: William C. Kleper dba BCK Rentals LLC  
Address: 1062 Main Street, Suite LL3  
Stevens Point, WI 54485  
(City, State, Zip Code)

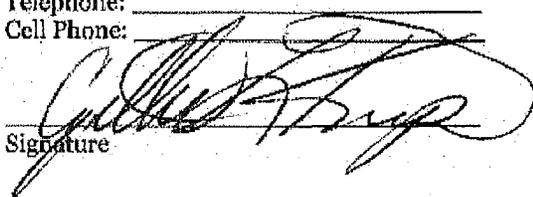
Telephone: 715-340-5277  
Cell Phone: \_\_\_\_\_

  
Signature

AGENT FOR OWNER/APPLICANT:

Name: Cynthia L. Kleper (spouse)  
Address: \_\_\_\_\_  
(City, State, Zip Code)

Telephone: \_\_\_\_\_  
Cell Phone: \_\_\_\_\_

  
Signature

Scheduled Date of Plan Commission Meeting: \_\_\_\_\_

Scheduled Date of Common Council Meeting: \_\_\_\_\_

You, as the applicant, or your agent, shall attend the meeting and present your request.

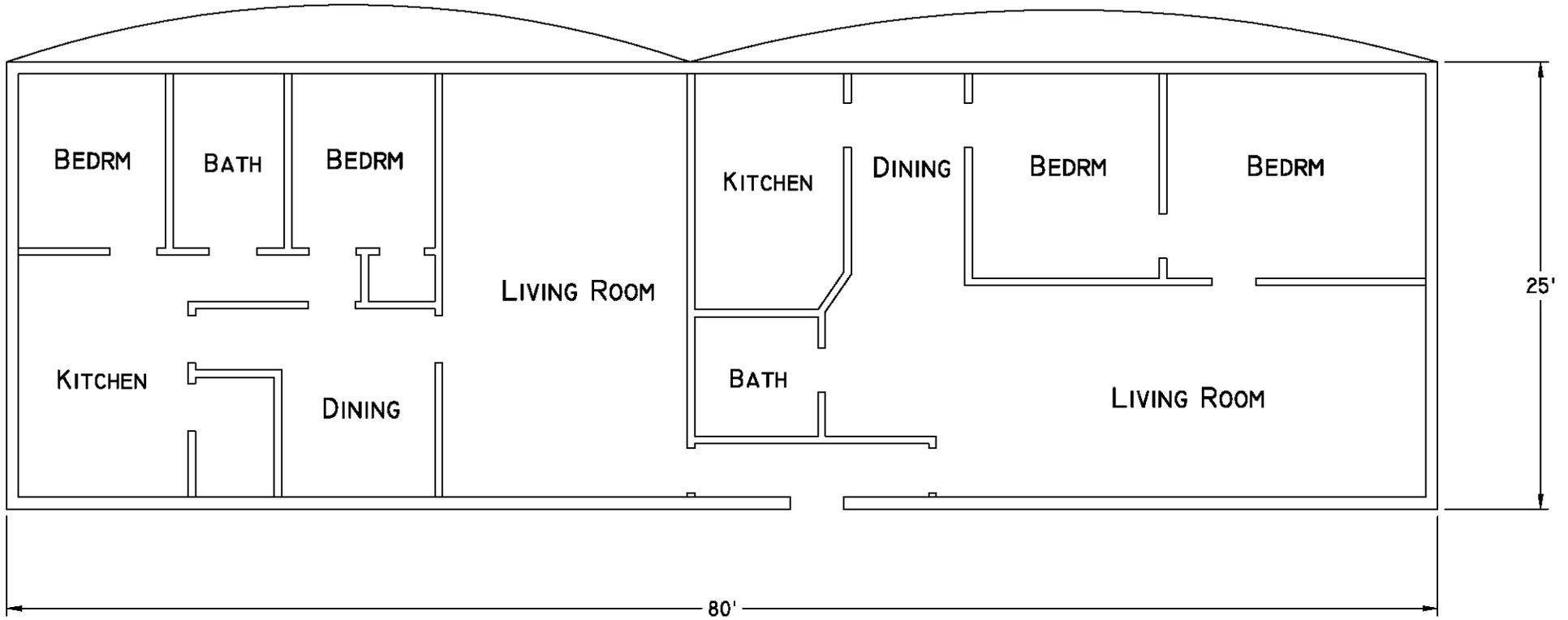
All requests with supporting documentation are due at the Community Development Office **three weeks** prior to the actual meeting.

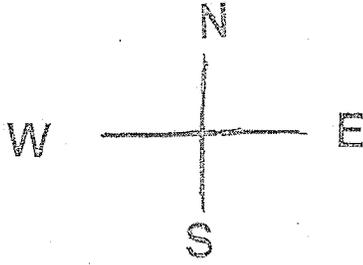
Fee schedule is on second page.

\_\_\_\_\_  
received

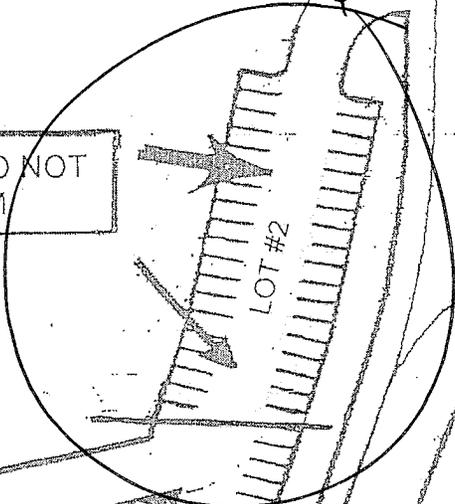
APARTMENT 1

APARTMENT 2



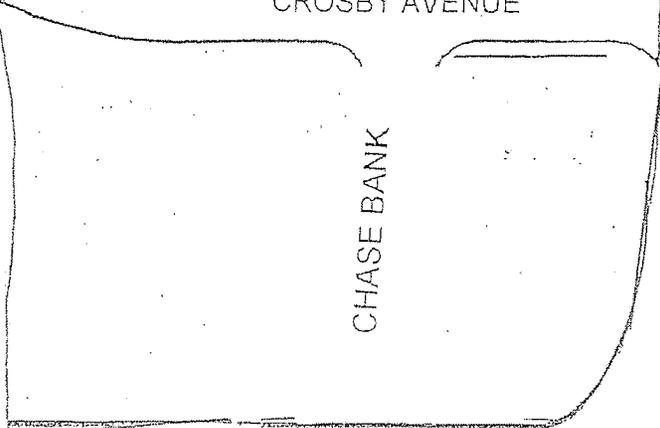


PARK IN THIS AREA ONLY. DO NOT PARK PAST LINE ON DIAGRAM



We request that 4 parking permits here can serve as parking for tenants at 1209 Main

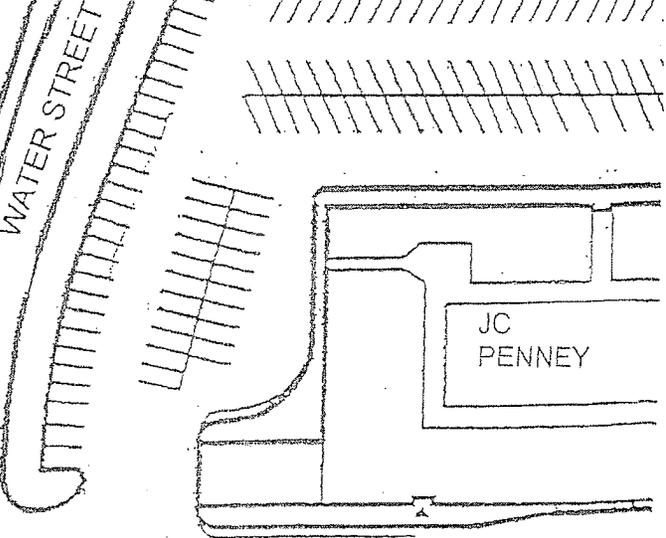
WISCONSIN RIVER



CROSBY AVENUE

CHASE BANK

BRIDGE



JC PENNEY

MAIN STREET

WATER STREET

FIRST STREET

CENTERPOINT DRIVE

# Administrative Staff Report



**Genuine Parts Company Conditional Use**  
**5101 Coye Street**  
**April 2, 2012**

**Department of Community Development**  
**1515 Strongs Avenue, Stevens Point, WI 54481**  
**Ph: (715) 346-1568 - Fax: (715) 346-1498**

<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"><li>Genuine Parts Company</li></ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"><li>Michael Ostrowski, Director <a href="mailto:mostrowski@stevenspoint.com">mostrowski@stevenspoint.com</a></li><li>Kyle Kearns, Associate Planner <a href="mailto:kkearns@stevenspoint.com">kkearns@stevenspoint.com</a></li></ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"><li>2308-02-2000-08</li></ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"><li>"M-2" Heavy Industrial District</li></ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"><li>Industry</li></ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"><li>District 6 – Slowinski</li></ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"><li>Actual Frontage: 595 feet</li><li>Effective Frontage: 595 feet</li><li>Effective Depth: 586 feet</li><li>Square Footage: 348,670</li><li>Acreage: 8.004</li></ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"><li>Warehouse and distribution</li></ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"><li>23.01(16), 23.02(3)(b), and 23.02(4)(e)</li></ul>	<p><b>Request</b></p> <p>Request from Genuine Parts Company for a conditional use permit for the purposes of constructing an approximate 25,000 square feet addition, which will contain chemical storage, to the existing distribution center within the Wellhead Protection Overlay District at <b>5101 Coye Drive (Parcel ID 2308-02-2000-08)</b>.</p> <p><b>Attachment(s)</b></p> <ul style="list-style-type: none"><li>Property Data</li><li>Exhibit Map</li><li>Application</li><li>Building Plans</li></ul> <p><b>Findings of Fact</b></p> <ul style="list-style-type: none"><li>The property is zoned "M-2" Heavy Industrial District.</li><li>Addition will be 25,110 sq. ft.</li><li>The property is located within the Wellhead Protection Overlay District.</li><li>A conditional use is required within the Wellhead Protection Overlay District for hazardous storage.</li><li>The addition is a permitted use within the underlying zoning district, "M-2" Heavy Industrial District.</li><li>The Zoning Code allows for existing uses within the Wellhead Protection Overlay District to continue to operate and to upgrade the facilities to facilitate or enhance groundwater protection with the approval of the Plan Commission and Common Council.</li><li>No additional chemicals will be stored at the site.</li><li>The addition will increase the safety and protection of the hazardous chemicals stored at the facility.</li><li>The off-site plan filed with Portage County is up to date.</li><li>The extremely hazardous substances (EHS) and the chemicals they need to report to the state (quantity of 10,000 lbs or more) are all current.</li></ul> <p><b>Staff Recommendation</b></p> <p>Approve subject to Plan Commission and staff comments, including the following condition(s):</p> <ul style="list-style-type: none"><li>Hazardous substances currently on site shall be properly handled,</li></ul>
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following all necessary precautions to avoid spills, when relocation occurs.

- No new hazardous chemical types may be stored on the property without the review and approval by the Portage County Emergency Management and the Stevens Point Water Department. Any new extremely hazardous substances (EHS) or chemicals that need to be reported to the state (quantity of 10,000 lbs or more), shall require an amendment to the Conditional Use Permit.
- Owner shall provide the Stevens Point Water Department with Material Safety Data Sheets for any new or different chemicals stored or used on site. The City reserves the right to impose additional restrictions or to deny permission to new or different chemical use.
- Owner shall agree to give access to city staff or representatives for the purpose of inspecting the premises to determine compliance with the conditional use permit.
- No drains shall be located within rooms containing chemicals, or where chemicals are transported within the building.
- The unloading and loading of any chemicals shall be done within the confines of the building as to prevent spills outside the building.
- Owner shall file the appropriate plans with the State and County as it relates to the updated location of chemical storage area of the facility.
- Curbing or other means of prevention shall be installed around the containment room at a height to adequately prevent spills from exiting the containment room.
- Containment room shall provide 100-percent containment.
- A private fire hydrant shall be installed per fire department specifications if water pressure is not adequate to handle facility use, sprinkler system, and firefighting.
- The hydraulics of a sprinkler system shall be reviewed and approved by a licensed engineer.
- Snow will need to be removed from the site or stored in a location where it does not negatively impact the adjacent properties.
- A site drainage plan will need to be reviewed and approved by the Department of Public Works.
- Failure to comply with any condition shall be reason to void the conditional use permit and chemical storage shall cease.

## Vicinity Map

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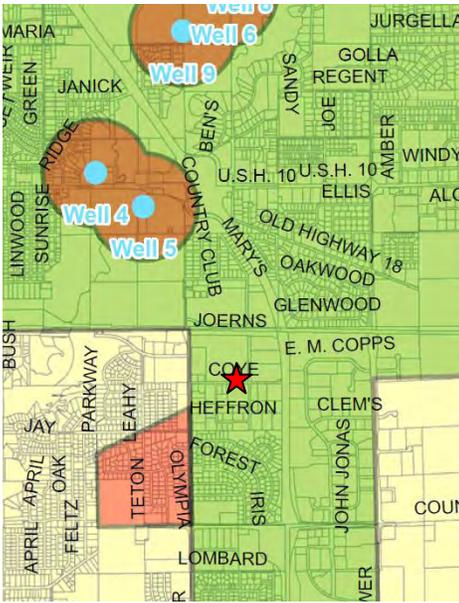


## Background

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NAPA Auto Parts is requesting a conditional use permit for the purposes of constructing a 3-story, 25,110 square foot addition onto the south side of their existing facility. The first story will contain a fully enclosed containment facility for hazardous and flammable liquids. Furthermore, the second floor will primarily house aerosol products and the third floor mezzanine will be used for bulk storage. The first floor is designed to provide 100% containment of chemical spills, in other words, a complete lock down of the facility, keeping the spill within the building. Currently, the materials within the existing building do not have adequate containment procedures for spills. The proposed addition incorporates an improved containment facility providing drastic improvements from the existing 35 year old building. Quantities of hazardous chemicals are not proposed to change with the completion of the addition. A larger distribution facility will allow for NAPA to increase efficiency, productivity, and safety.

# Standards of Review



**1) The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

**Analysis:** There is no change in the use. This will be an addition to improve containment of hazardous chemicals and for additional warehousing. The existing amount of chemical storage is not planned to be increased, only relocated to a better containment portion of the facility.

**Findings:** The addition should not be detrimental to, or endanger, the public health, safety, or general welfare.

**2) The use will not be injurious to the use and for the purpose already permitted;**

**Analysis:** There is to be no change in use.

**Findings:** The current use is located next to light and heavy industrial.

**3) The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;**

**Analysis:** The respective area is an established area of the City and encompasses over eight acres, approximately half of which are still buildable.

**Findings:** The proposed use should not impede the orderly development and improvement of the surrounding properties.

**4) The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood;**

**Analysis:** The immediate area is a mix of light and heavy industrial. The main exterior material of the building will be a metal skin except for the east side that faces Krembs Avenue, which will be masonry type material as required by the Stevens Point Industrial Park Covenants.

**Findings:** The architectural appeal should not be in variance with other structures throughout the neighborhood. Furthermore, the proposed addition matches the existing metal panel building and those surrounding the property that similarly combine a masonry element with a metal exterior, primarily seen along the street façade of buildings.

**5) Adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;**

**Analysis:** The respective area is an established area of the City.

**Findings:** Utilities currently exist in this area.

- 6) **Adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;**

**Analysis:** There is to be no change in the ingress/egress.

**Findings:** The addition will provide additional loading docks. This standard is met.

- 7) **The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.**

**Analysis:** The use is within the Heavy Industrial District. This district is established to provide for those manufacturing or other industrial uses having more obnoxious or nuisance effects than the "M-1" Light Industrial District and having a greater intensity of manufacturing, processing, employment, traffic and other related activities. It is intended that the "M-2" district generally be located distant from non-manufacturing uses: that it be buffered by the "M-1" district or by major highways, rivers, open space, or high intensity commercial uses, and that all "M-2" districts be located consistent with the City's Comprehensive Plan.

**Findings:** There is to be no change in use.

- 8) **The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

**Analysis:** The lot and building exist.

**Findings:** The proposed addition to the building meets all other setback requirements.

- 9) **The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

N/A

- 10) **Principal - Applications for exclusive multifamily residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

N/A

- 11) **Access to the site shall be safe.**

- a. **All developments shall front on a public right-of-way unless recommended by the Public Works Director.**

**Analysis:** The building exists and is located on a corner lot, fronting on Coye Drive and Krembs Avenue. The addition will front Krembs Avenue.

**Findings:** This standard is met.

- b. **The driveway to the site shall be located so as not to be a danger to the street flow of traffic.**

**Analysis:** Access occurs on Coye Drive.

**Findings:** This standard is met.

**c. The driveway shall not be too close to neighboring intersections.**

**Analysis:** Access occurs on Coye Drive.

**Findings:** This standard is met.

**d. Alignment of the driveway shall be coordinated with adjacent access points to avoid conflict or confusion.**

**Analysis:** There are no other access points.

**Findings:** This standard is met.

**e. Only one driveway shall be allowed per site unless recommended by the Public Works Director. Two family units may be allowed more than one driveway if those driveways are separated by not less than 10 feet. Maximum driveway openings shall be 20 feet (each).**

**Analysis:** Access occurs on Coye Drive. Driveways have adequate spacing.

**Findings:** This standard is met.

**f. The organization of traffic flow on-site and between the site and the street shall be organized in a clear hierarchy of flow patterns. Internal and external areas where traffic flow changes directions or creates intersections shall be organized at clear intersections and those intersections are spaced far enough apart so as to not cause confusion or problems and to provide for adequate spacing for waiting vehicles.**

**Analysis:** The site is used for distributing purposes. There is little to no customer parking. Employee parking will occur on the north end of the lot. The Plan Commission approved this parking lot last year.

**Findings:** This standard is met.

**g. Intersections are visible and not visually screened.**

**Analysis:** The building exists, and the addition will not be located in the required setback area.

**Findings:** This standard is met.

**h. Adequate drainage and snow storage is provided.**

**Analysis:** Snow will need to be removed from the site or stored in a location where it does not negatively impact the adjacent properties. A drainage plan will need to be reviewed and approved by the Department of Public Works.

**Findings:** This standard is met.

**i. Minimum size requirements are maintained for safe vehicle circulation.**

**Analysis:** The parking lot is adequate for this type of use.

**Findings:** This standard is met.

- j. Parking areas shall be safe. They shall be adequately lit, sized to meet minimum standards, graded so as to not be too steep, and paved with concrete, brick, or bituminous surfacing. The light source shall not be visible from adjacent properties. Lighting shall be developed in such a way to minimize light straying onto adjacent properties.**

**Analysis:** This loading area shall have appropriate lighting.

**Findings:** This standard is met.

- k. Driveways shall be located to minimize the impact to adjacent properties.**

**Analysis:** Access occurs on Coye Drive.

**Findings:** This standard is met.

**12) There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

**Analysis:** Other City departments have reviewed the proposed plan and their comments have been included.

**Findings:** This standard is met.

**13) The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:**

- a. Mechanical equipment including refuse storage shall be screened from neighboring properties.**

**Analysis:** No mechanical equipment will be stored outside or on top of the new addition.

**Findings:** If mechanical equipment is needed to be placed on or outside the new addition, this equipment shall be screened.

- b. Lightings shall be located to minimize intrusion onto the neighboring properties.**

**Analysis:** Lighting will illuminate the entrance/exits, as well as, the loading docks for the proposed addition.

**Findings:** The main entrance/exit lights and loading dock lights face the street (Krembs Avenue) and should not intrude onto neighboring properties.

- c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

**Analysis:** There should be little to no change in noise levels, as similar distribution schedules will be utilized.

**Findings:** The use should not cause significant noise levels.

**14) Principal - Applications for exclusive multifamily residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.**

**N/A**

Name and Address		Parcel #	Alt Parcel #	Land Use
Genuine Parts Company Attn: Finance Dept 2999 Circle 75 Parkway Atlanta, GA 30339		230802200008	230802200008	Warehouse, Distribution
		Property Address		Neighborhood
		5101 Coye Dr		Indust Pk & Mich Ave (Comm)
		Subdivision		Zoning
Display Note		Metes And Bounds		M2-HEAVY INDUSTRIAL

**OWNERSHIP HISTORY**

Owner	Sale Date	Amount	Conveyance	Volume	Page	Sale Type

**SITE DATA**

**PERMITS**

Actual Frontage	595.0	Date	Number	Amount	Purpose	Note
Effective Frontage	595.0	11/24/1996	25536	\$400	066 Plumbing	hwh
Effective Depth	586.0					
Square Footage	348,670.0					
Acreage	8.004					

**2011 ASSESSED VALUE**

Class	Land	Improvements	Total
B-Commercial	\$155,000	\$1,488,900	\$1,643,900
<b>Total</b>	<b>\$155,000</b>	<b>\$1,488,900</b>	<b>\$1,643,900</b>

**LEGAL DESCRIPTION**

A PRCL OF LND IN SW NW S2 T23 R8: COM NWLAND COR SEC 2, TH S 1555.39' ALG WL SD SEC TO IMPRV SL COYE DR, TH E ALG SL COYE DR 1044.09' TOTAL FOR POB: TH E 595.13' S585.44', W595.13'; N585.56' TO POB;SUBJ TO MAINT AGRMT DES 768096 389/285

**PROPERTY IMAGE**

**PROPERTY SKETCH**



Name and Address		Parcel #	Alt Parcel #	Land Use
Genuine Parts Company Attn: Finance Dept 2999 Circle 75 Parkway Atlanta, GA 30339		230802200008	230802200008	Warehouse, Distribution
		Property Address		Neighborhood
		5101 Coye Dr		Indust Pk & Mich Ave (Comm)
		Subdivision		Zoning
Display Note		Metes And Bounds		M2-HEAVY INDUSTRIAL

**BUILDING SUPERSTRUCTURE DATA**

Bldg	Sec	Occupancy	Year	Area	Framing	Hgt
1	1	Warehse, Distrbn (S avg)	1978	63,416	Metal - Avg	19
1	2	Office Bldg (S avg)	1978	2,194	Metal - Avg	19
2	1	Office Bldg (C avg)	1978	6,040	Masonry - Avg	14
<b>Total Area</b>				<b>71,650</b>		

**BASEMENT DATA**

**COMPONENTS**

Bldg	Sec	Adjustment Description	Area	Bldg	Sec	Component Description	Area
				1	1	Canopy for Loading Dock	900
				1	1	Loading Dock(s)	2,640
				1	1	Mezzanine - Storage (Avg Qual)	6,040

**DETACHED IMPROVEMENTS**

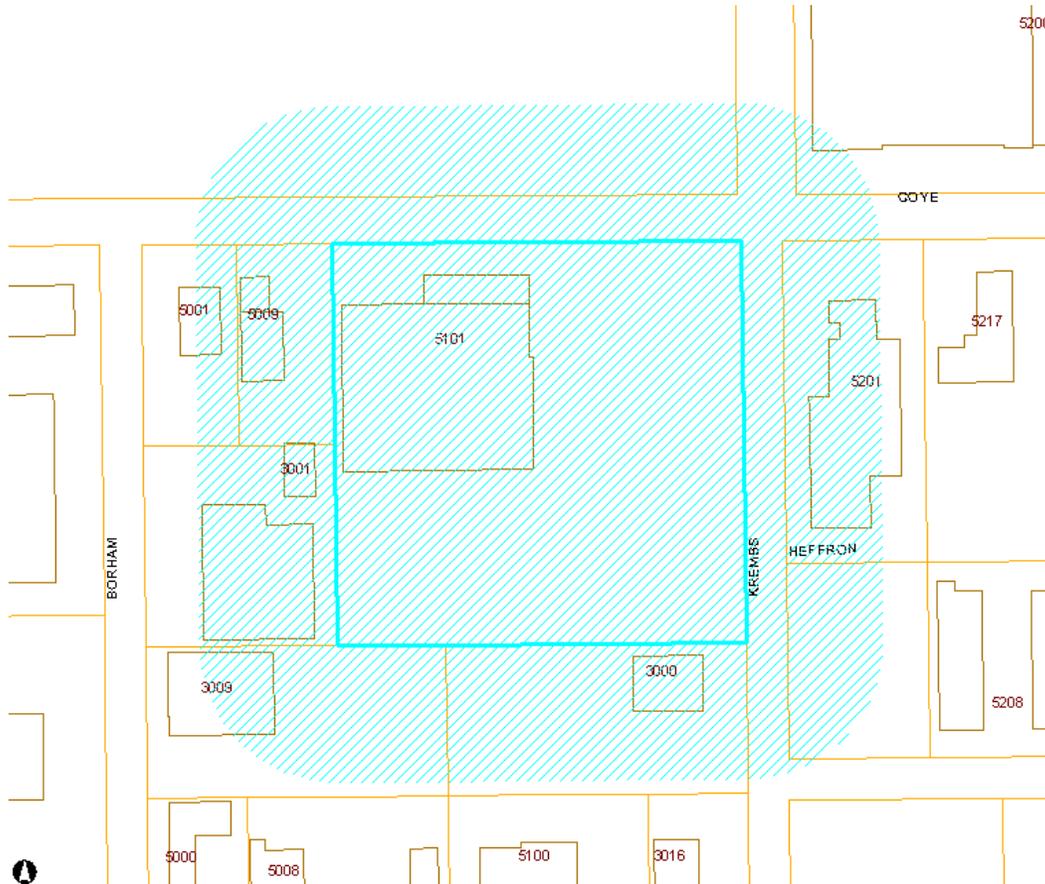
Structure	Year Built	Square Feet	Grade	Condition

**SITE IMPROVEMENTS**

**STRUCTURE DATA**

Site Improvement	Units	Age	34
		Year Built	1978
		Eff. Year	1978
		One Bedroom	
		Two Bedroom	
		Three Bedroom	
		Total Units	
		Stories	1.00
		Business Name	Napa - Genuine Parts Company

**5101 Coye Drive – NAPA – Conditional Use – Exhibit Map (200 Feet Boundary)**



TaxKey	Property Address	Owner Name	Mailing Address	City	State	Zip Code
281230802200002	5001 Joerns Dr	5001 Joerns Drive LLC &	5001 Joerns Dr	Stevens Point	WI	54481
281230802200008	5101 Coye Dr	Genuine Parts Company	2999 Circle 75 Parkway	Atlanta	GA	30339
281230802200009	5201 Coye Dr	Spoerl Holding LLC	5201 Coye Dr	Stevens Point	WI	54481
281230802200026	Heffron Ct	Premium Brands Inc	5201 Coye Dr	Stevens Point	WI	54481
281230802230122	3000 Krembs Ave	Construcks Inc	4517 Nicolet Ave	Stevens Point	WI	54481
281230802230123	3009 Borham Ave	Wayne H & Carol A Bushman	1955 River Road	Junction City	WI	54443
281230802230126	5001 Coye Dr	Jaime M & Betsy J Klasinski	5427 Oakwood Ave	Stevens Point	WI	54482
281230802230127	5009 Coye Dr	Wayne H & Carol A Bushman	1955 River Road	Junction City	WI	54443
281230802230142	3001 Borham Ave	Wayne H Bushman	1955 River Rd	Junction City	WI	54443

**REQUEST TO CITY OF STEVENS POINT PLAN COMMISSION**

ADDRESS OF PROPERTY: 5101 Coye Dr., Stevens Point, WI 54481

- Zoning Ordinance Change
- Conditional Use Permit
- Variance from Zoning Ordinance -Board of Appeals
- Variance from Sign Ordinance
- Appeal from Subdivision Requirements
- Other

REQUESTED CHANGE: (State briefly what is being requested, and why).

To construct a 25,110 SF addition to the NAPA Distribution Center at 5101 Coye Drive. The addition includes General Storage, Aerosol Storage, H-3 & H-4 Storage. We are requesting the Conditional Use Permit to provide H-3 and H-4 storage in compliance with International Building Code and Fire Code.

OWNER/APPLICANT:

Name: Genuine Parts Company - Karl Koenig  
Address: 2999 Circle 75 Parkway  
Atlanta, GA 30339  
(City, State, Zip Code)

Telephone: 770-612-2008  
Cell Phone: \_\_\_\_\_

AGENT FOR OWNER/APPLICANT:

Name: ARCO National Construction Company, Inc. - Mike Vogt  
Address: 900 North Rock Hill Road  
St. Louis, MO 63119  
(City, State, Zip Code)

Telephone: 314-963-0715  
Cell Phone: 314-393-9782

Karl J. Koenig  
Signature  
VP, Real Estate Construction  
Genuine Parts Company

[Signature]  
Signature  
Scheduled Date of Plan Commission Meeting: April 3, 2012

Scheduled Date of Common Council Meeting: April 17, 2021

You, as the applicant, or your agent, shall attend the meeting and present your request.

All requests with supporting documentation are due at the Community Development Office **three weeks** prior to the actual meeting.

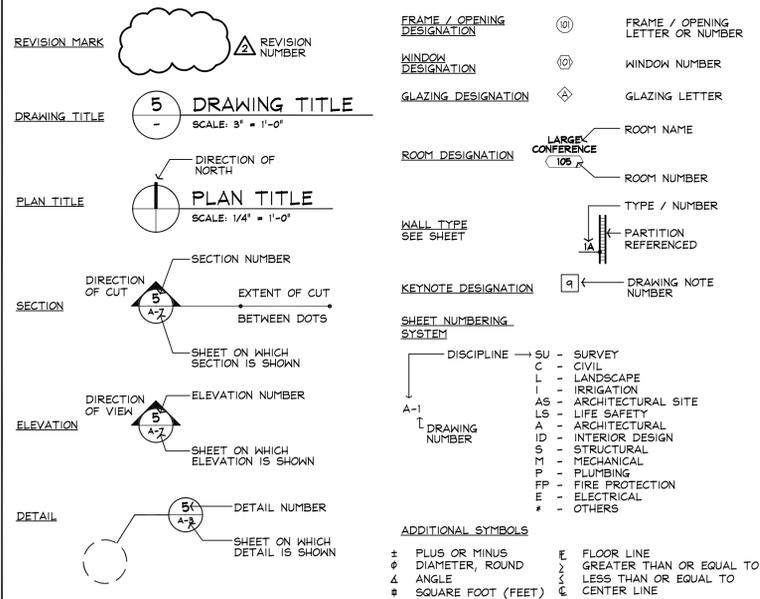
Fee schedule is on second page.

Receipt # \_\_\_\_\_

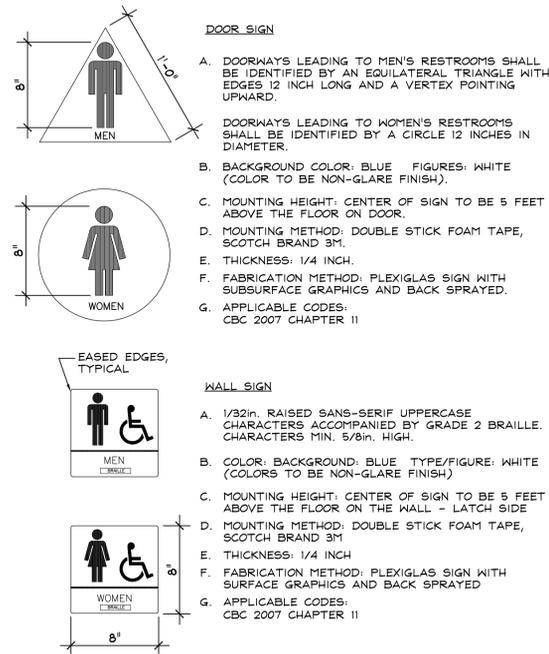
**ABBREVIATIONS LEGEND**

AFF ABOVE FINISHED FLOOR	HM HOLLOW METAL
ACOU ACOUSTICAL	IN INCH
ADJ ADJACENT	INT INTERIOR
ALUM ALUMINUM	JAN JANITOR
ALT ALTERNATE	MAINT MAINTENANCE
APPR APPROVE, APPROVED	MAT'L MATERIAL
APPROX APPROXIMATE	MAX MAXIMUM
ARCH ARCHITECT, ARCHITECTURAL	MECH MECHANIC, MECHANICAL
A/E ARCHITECT/ENGINEER	MTL METAL
AVG AVERAGE	MEZZ MEZZANINE
BD BOARD	MIN MINIMUM
BLVD BOULEVARD	MISC MISCELLANEOUS
BLKG BLOCKING	MTD MOUNTED
BLDG BUILDING	N/A NOT APPLICABLE
CPT CARPET	NTS NOT TO SCALE
CLG CEILING	OC ON CENTER
CT CERAMIC TILE	OPP OPPOSITE
COLUMN COLUMN	OH OVERHEAD
CONC CONCRETE	PLAM PLASTIC LAMINATE
CMU CONCRETE MASONRY UNIT	PLBG PLUMBING
CONT CONTINUOUS, CONTINUE	PREFAB PREFABRICATE, PREFABRICATED
CJ CONTROL JOINT, CONSTRUCTION JOINT	PREFIN PREFINISH, PREFINISHED
CORR CORRIDOR	PT PRESSURE TREATED
DTL DETAIL	QTY QUANTITY
DIM DIMENSION	REF REFERENCE
DR DOOR	REINF REINFORCE, REINFORCED, REINFORCING
DN DOWN	REQ'D REQUIRED
DS DOWNSPOUT	RD ROOF DRAIN
DWG DRAWING	SCH SCHEDULE
ELEC ELECTRIC, ELECTRICAL	SIM SIMILAR
ELEV ELEVATION	SHT SHEET
EMER EMERGENCY	SC SOLID CORE
EQ EQUAL	SC SOUND TRANSMISSION COEFFICIENT
EQUIP EQUIPMENT	SPEC SPECIFICATION
EXIST EXISTING	SF SQUARE FOOT, SQUARE FEET
EJ EXPANSION JOINT	SS STAINLESS STEEL
EXT EXTERIOR	STD STANDARD
EIFS EXTERIOR INSULATION FINISH SYSTEM	STL STEEL
FIN FINISH, FINISHED	STR STRUCTURE, STRUCTURAL
FE FIRE EXTINGUISHER	TEMP TEMPORARY
FEC FIRE EXTINGUISHER CABINET	TH THICK, THICKNESS
FL FLOOR, FLOORING	TYP TYPICAL
FT FEET, FOOT	UNO UNLESS NOTED OTHERWISE
FTG FOOTING	VERT VERTICAL
GA GAGE, GAUGE	VEST VESTIBULE
GALV GALVANIZED	VCT VINYL COMPOSITION TILE
GC GENERAL CONTRACTOR	VNC VINYL WALL COVERING
GL GLASS, GLAZING	WH WATER HEATER
GYP GYPSUM	W/ WITH
HT HEIGHT	W/O WITHOUT
	WD WOOD

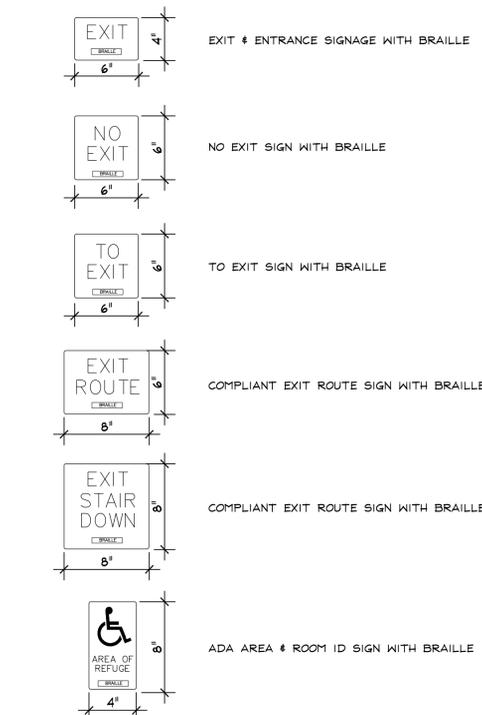
**SYMBOLS LEGEND**



**BUILDING REQUIRED SIGNAGE AND NOTES**



**LAVATORY DOOR AND WALL SIGNS**



**OTHER WALL SIGNS**

NOTE 1: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN TITLE 24 AND THE AMERICAN WITH DISABILITIES ACT (ADA).

NOTE 2: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISHED FLOOR.

**PROJECT DATA**

**PROJECT DESCRIPTION**

WAREHOUSE ADDITION INCLUDING THE FOLLOWING:  
 • CORROSIVES STORAGE ROOM  
 • FLAMMABLE LIQUIDS STORAGE  
 • AEROSOL STORAGE

**BUILDING CODE INFORMATION**

BUILDING CODE:	WISCONSIN COMMERCIAL BUILDING CODE/ 2009 INTERNATIONAL BUILDING CODE
ELECTRICAL CODE:	2008 NATIONAL ELECTRIC CODE
PLUMBING CODE:	WISCONSIN SPS 381-387
MECHANICAL CODE:	2009 MECHANICAL CODE
FIRE/LIFE SAFETY CODE:	2009 INTERNATIONAL FIRE CODE
ENERGY CODE:	2009 INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY:	ICC/ ANSI STANDARD A117.1-2003
CONSTRUCTION TYPE:	TYPE IIB
SEPARATED MIXED USE GROUPS:	H-3 - FLAMMABLE LIQUIDS STORAGE H-4 - CORROSIVES LIQUIDS STORAGE S-1 - MODERATE HAZARD STORAGE
FIRE SUPPRESSION:	FULLY SPRINKLERED
PALLET RACK STORAGE & RECEIVING	15,560 SQUARE FEET
FLAMMABLE LIQUIDS STORAGE	6,350 SQUARE FEET
CORROSIVES STORAGE	3,200 SQUARE FEET
PROPOSED ADDITION AREA:	25,110 SQUARE FEET
ALLOWABLE BLDG HEIGHT :	55 FEET
ACTUAL BLDG HEIGHT :	
GUARD OPENING LIMITATIONS:	SECTION 1019.3 EXCEPTION #4 USED @ DOCK STAIRS - 21 INCH DIAMETER SPHERE LIMITATION
OCCUPANCY AREA	25,110 SF 51 OCCS

**MEANS OF EGRESS - CHAPTER 10**

EGRESS WIDTH:	TABLE 1005.1 0.2"/OCCUPANT: 51 OCCS * 0.2 = 10.2
REQUIRED / PROVIDED EGRESS WIDTHS:	10.2' REQUIRED < (5)*96" = 180" PROVIDED
TRAVEL DISTANCE:	S-1 STORAGE - 250 FEET - TABLE 1016.1 H-3 STORAGE - 150 FEET - TABLE 1016.1 H-4 STORAGE - 175 FEET - TABLE 1016.1

SEE SHEETS LS-1 FOR  
ADDITIONAL CODE COMPLIANCE  
AND LIFE SAFETY INFO

**LIST OF DRAWINGS**

**SHEET #**

**CIVIL**

**ARCHITECTURAL**

T1.1	TITLE SHEET
D1.1	DEMO PLAN
LS.1	LIFE SAFETY PLAN
A2.0	OVERALL FLOOR PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	MEZZANINE LEVEL PLAN
A2.4	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A6.1	WALL SECTIONS & DETAILS
A9.1	INTERIOR ELEVATIONS

**STRUCTURAL**

**PLUMBING**

**FIRE PROTECTION**

**MECHANICAL**

**ELECTRICAL**

CONSULTING ENGINEERS  
 ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_

SOIL: \_\_\_\_\_  
 STRUCTURAL: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_

CONTRACTOR  
**ARCO**  
 National Construction Company, Inc.  
 900 N. ROCK HILL ROAD  
 ST. LOUIS, MISSOURI 63119  
 (P) 314-882-0715 (F) 314-882-4758  
 WWW.ARCONATIONAL.COM

ARCHITECT  
**GMA**  
 ARCHITECTS  
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 ST. LOUIS, MISSOURI 63119  
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 WWW.GMA-ARCHITECTS.COM

PROPOSED WAREHOUSE ADDITION FOR:  
**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN

JOB NO: SJ1208

DRAWN BY: RJR

PERMIT SET: \_\_\_\_\_

CONST. SET: \_\_\_\_\_

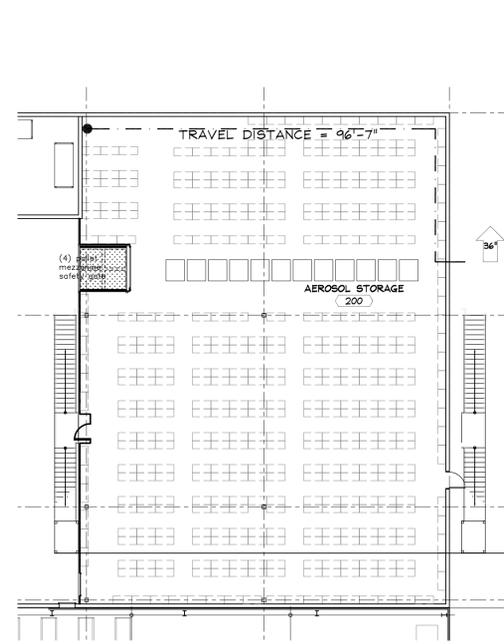
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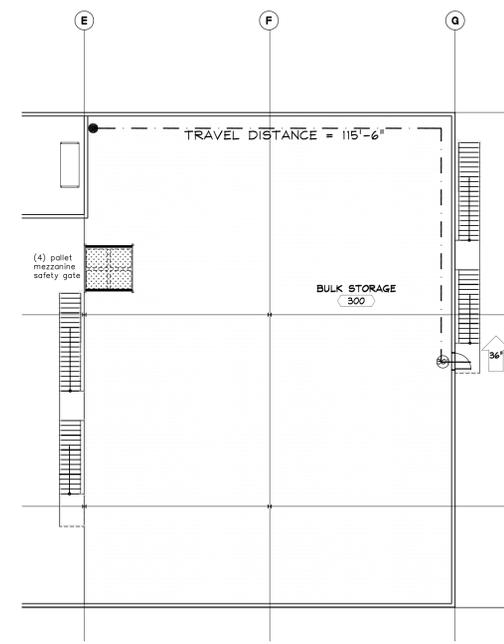
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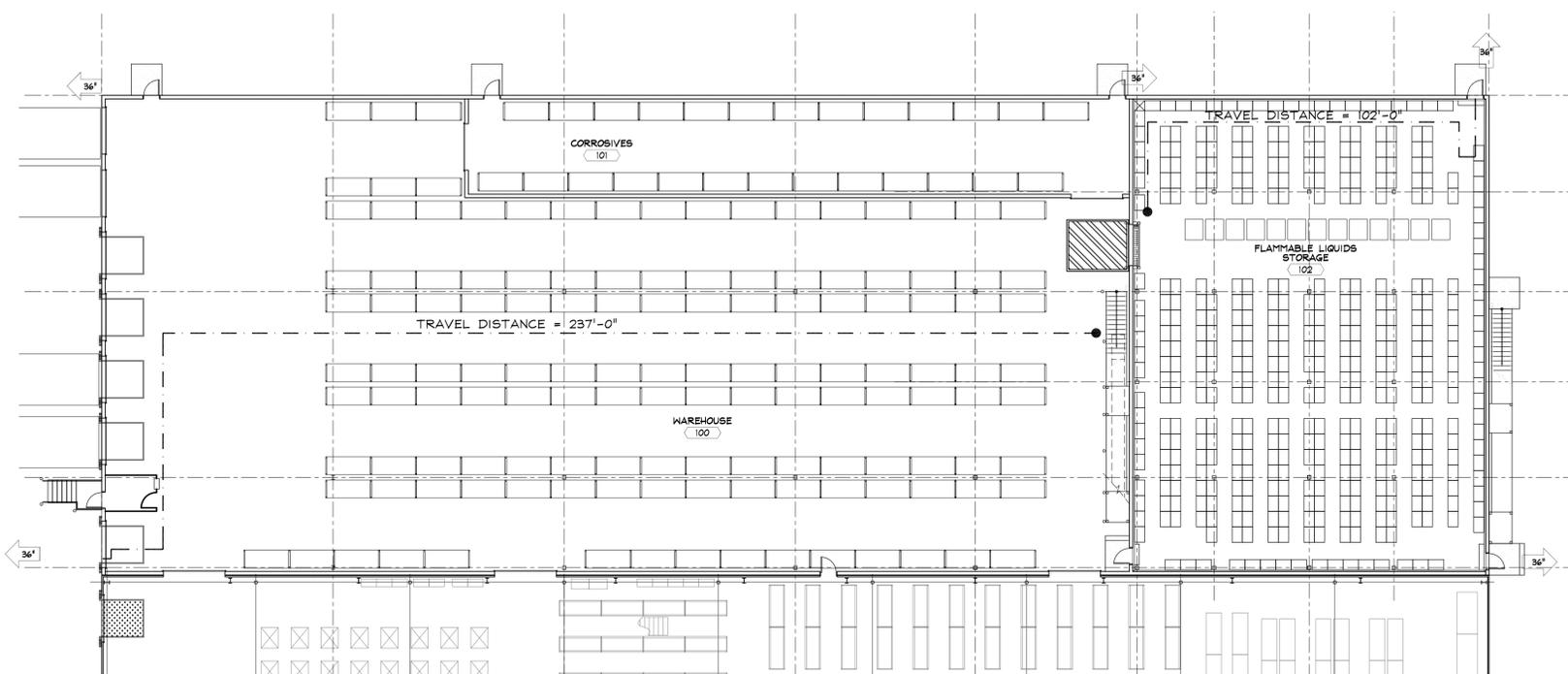
**T1.1**  
COVER SHEET



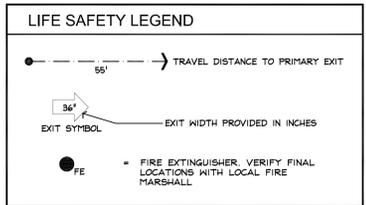
2 SECOND FLOOR LIFE SAFETY PLAN  
LS1.1 SCALE: 1/16" = 1'-0"



3 THIRD FLOOR LIFE SAFETY PLAN  
LS1.1 SCALE: 1/16" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN  
LS1.1 SCALE: 1/16" = 1'-0"



**CONSULTING ENGINEERS**

ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_

**CONTRACTOR**

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PROPOSED WAREHOUSE ADDITION FOR:

**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN

**NAPA**

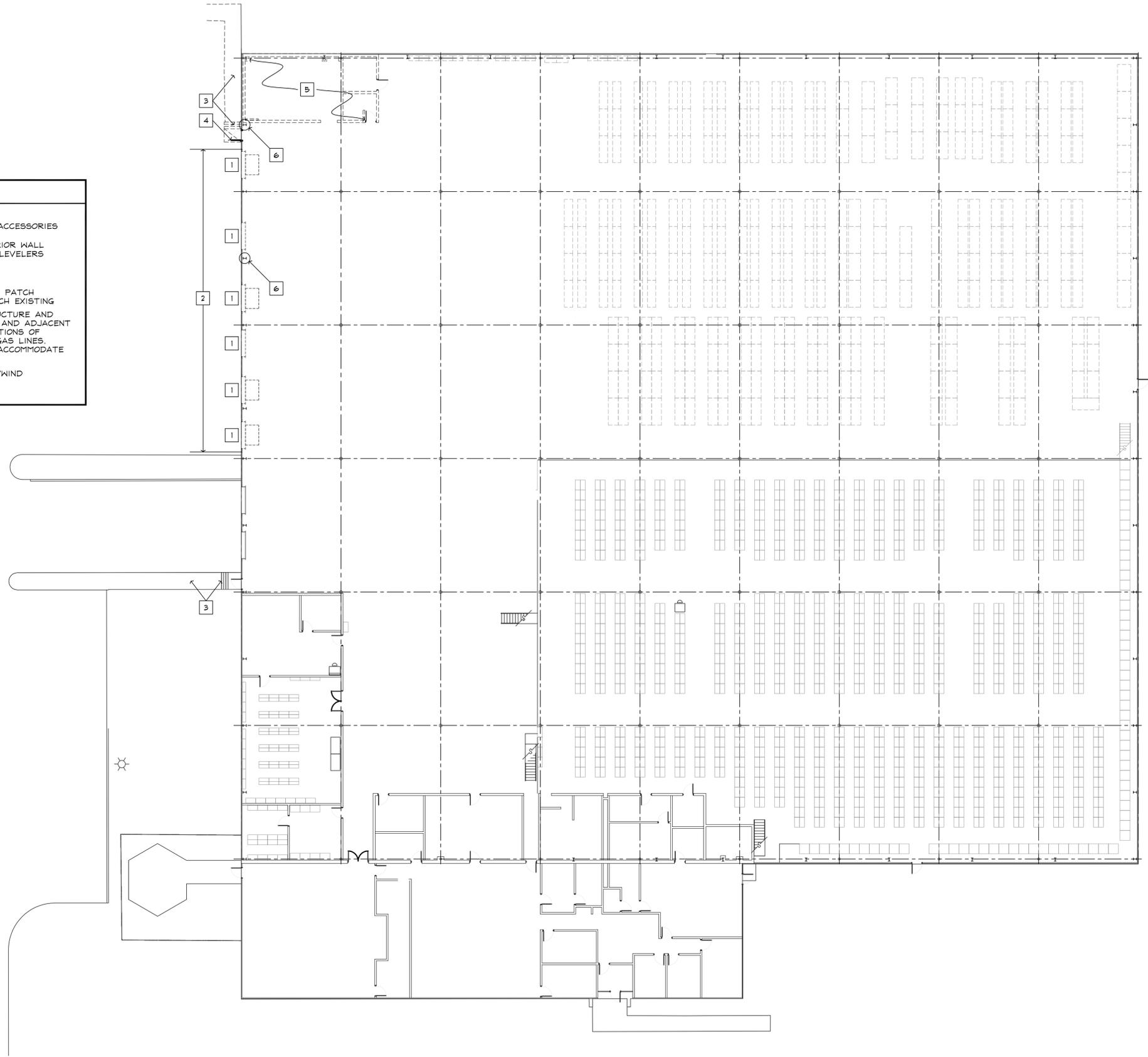
JOB NO: SJ1208  
 DRAWN BY: RJR  
 PERMIT SET: \_\_\_\_\_  
 CONST. SET: \_\_\_\_\_

REVISIONS

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SHEET NUMBER  
**LS1.1**  
 LIFE SAFETY PLAN

- DEMO KEYNOTES**
- 1 REMOVE EXISTING O.H. DOCK DOORS AND ACCESSORIES
  - 2 REMOVE EXISTING FLOOR SLAB AND EXTERIOR WALL BASED ON LAYOUT OF NEW O.H. DOORS & LEVELERS
  - 3 REMOVE EXISTING STAIRS AND SIDEWALK
  - 4 REMOVE EXISTING DOOR AND HARDWARE - PATCH AND REPAIR VOID LEFT BY DOOR TO MATCH EXISTING
  - 5 REMOVE EXISTING CMU CONTAINMENT STRUCTURE AND ACCESSORIES - PATCH AND REPAIR SLAB AND ADJACENT SURFACES DUE TO DEMOLITION. F.V. LOCATIONS OF EXISTING SPRINKLERS, ELECTRICAL, AND GAS LINES. RELOCATE OR CAP OFF ACCORDINGLY TO ACCOMMODATE NEW LAYOUT
  - 6 REMOVE AND RELOCATE EXISTING COLUMN/WIND BRACING - SEE STRUCTURAL DRAWINGS



1 DEMO PLAN  
 D1.1 SCALE: 1/16" = 1'-0"

**CONSULTING ENGINEERS**

ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_

MCNEAL ENGINEERING INC.  
 1450 OLIVE COVE ROAD, SUITE 150  
 ST. BILL, MISSOURI, 63199-7310  
 P: 314-982-5715 F: 314-982-4788  
 WWW.ARCOINTERNATIONAL.COM

**CONTRACTOR**

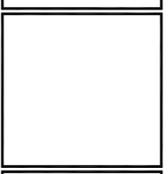
**ARCO**  
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**ARCHITECT**

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 WWW.GMA-ARCHITECTS.COM

PROPOSED WAREHOUSE ADDITION FOR:

**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN



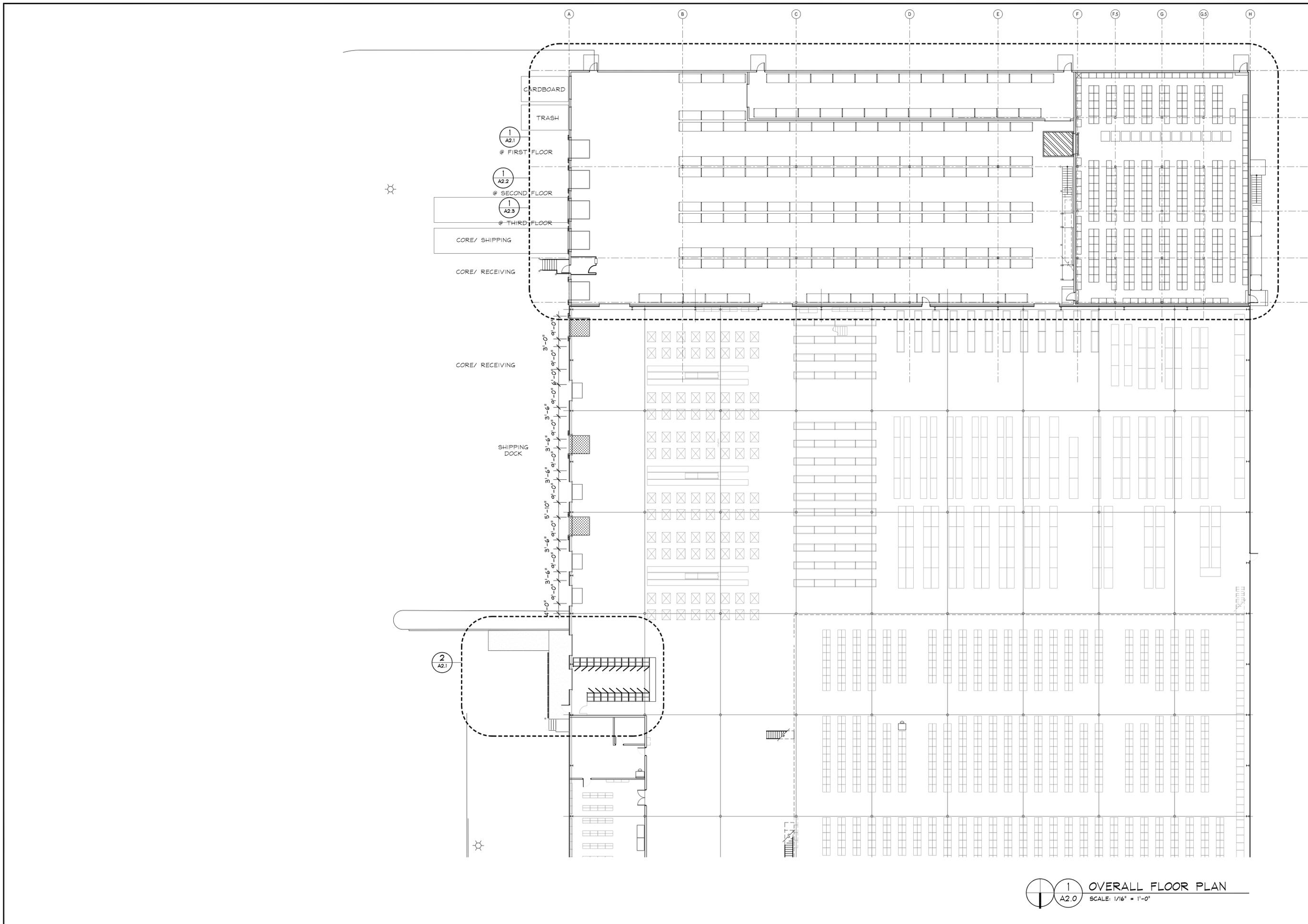
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SHEET NUMBER  
**D1.1**  
 DEMO PLAN



1 OVERALL FLOOR PLAN  
 A2.0 SCALE: 1/16" = 1'-0"

**CONSULTING ENGINEERS**

ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_

MCNEALY ENGINEERING INC.  
 1450 OLDFIELD COACH ROAD, SUITE 350  
 ST. BILL, WISCONSIN 53184-1897-2310

MECHANICAL: \_\_\_\_\_

**CONTRACTOR**

**ARCO**  
 National Construction Company, Inc.  
 900 N. ROCK HILL ROAD  
 ST. LOUIS, MISSOURI 63119  
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PROPOSED WAREHOUSE ADDITION FOR:

**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN

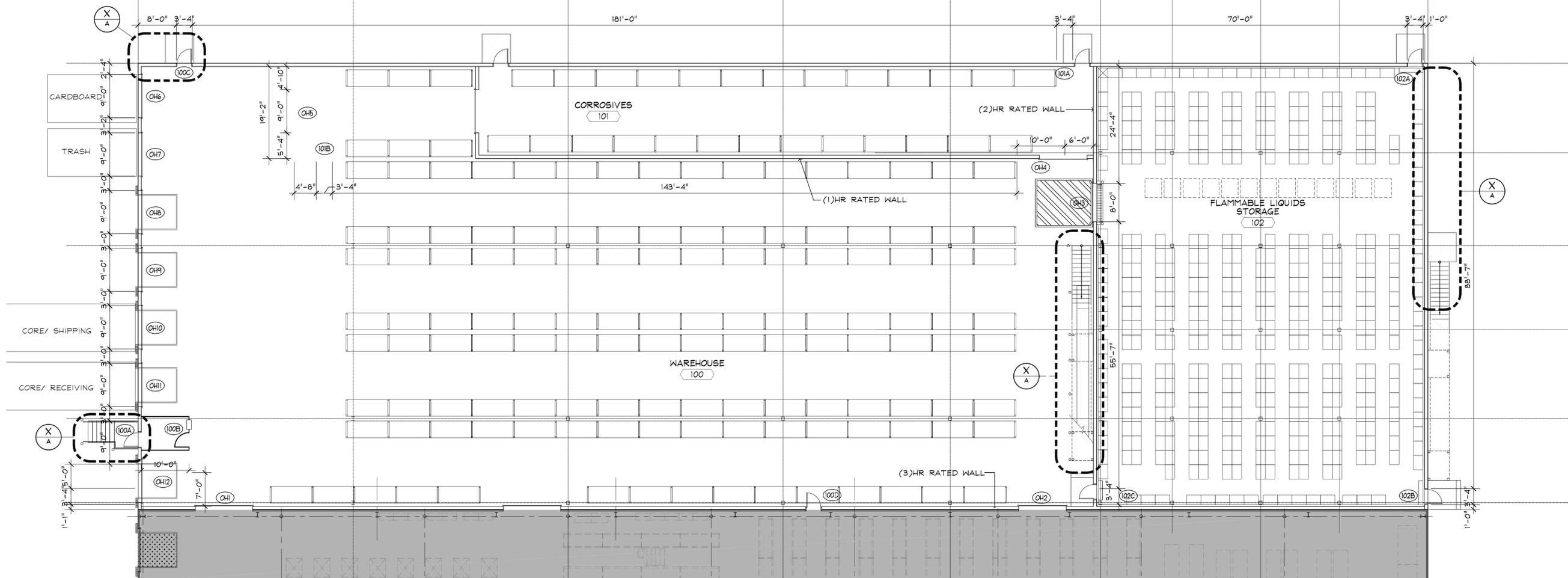
**NAPA**

JOB NO: SJ1208  
 DRAWN BY: RJR  
 PERMIT SET: \_\_\_\_\_  
 CONST. SET: \_\_\_\_\_

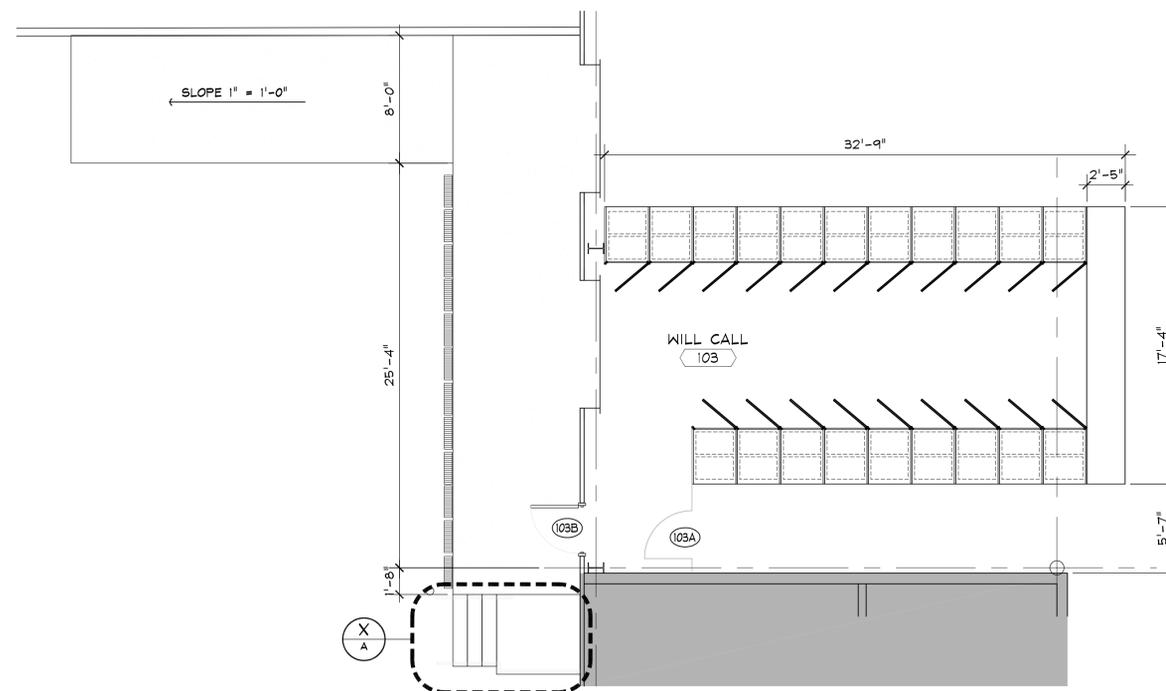
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SHEET NUMBER  
**A2.0**  
 OVERALL FLOOR PLAN



1 FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



2 ENLARGED DOCK PLAN  
SCALE: 3/16" = 1'-0"

**CONSULTING ENGINEERS**  
ELECTRICAL: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
FIRE PROTECTION: \_\_\_\_\_

**CONTRACTOR**  
**ARCO**  
National Construction Company, Inc.  
900 N. ROCK HILL ROAD  
ST. LOUIS, MISSOURI 63119  
(P) 314-868-2715 (F) 314-868-4768  
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PROPOSED WAREHOUSE ADDITION FOR:  
**STEVENS POINT DISTRIBUTION CENTER**  
5101 COYE DRIVE  
STEVENS POINT, WISCONSIN

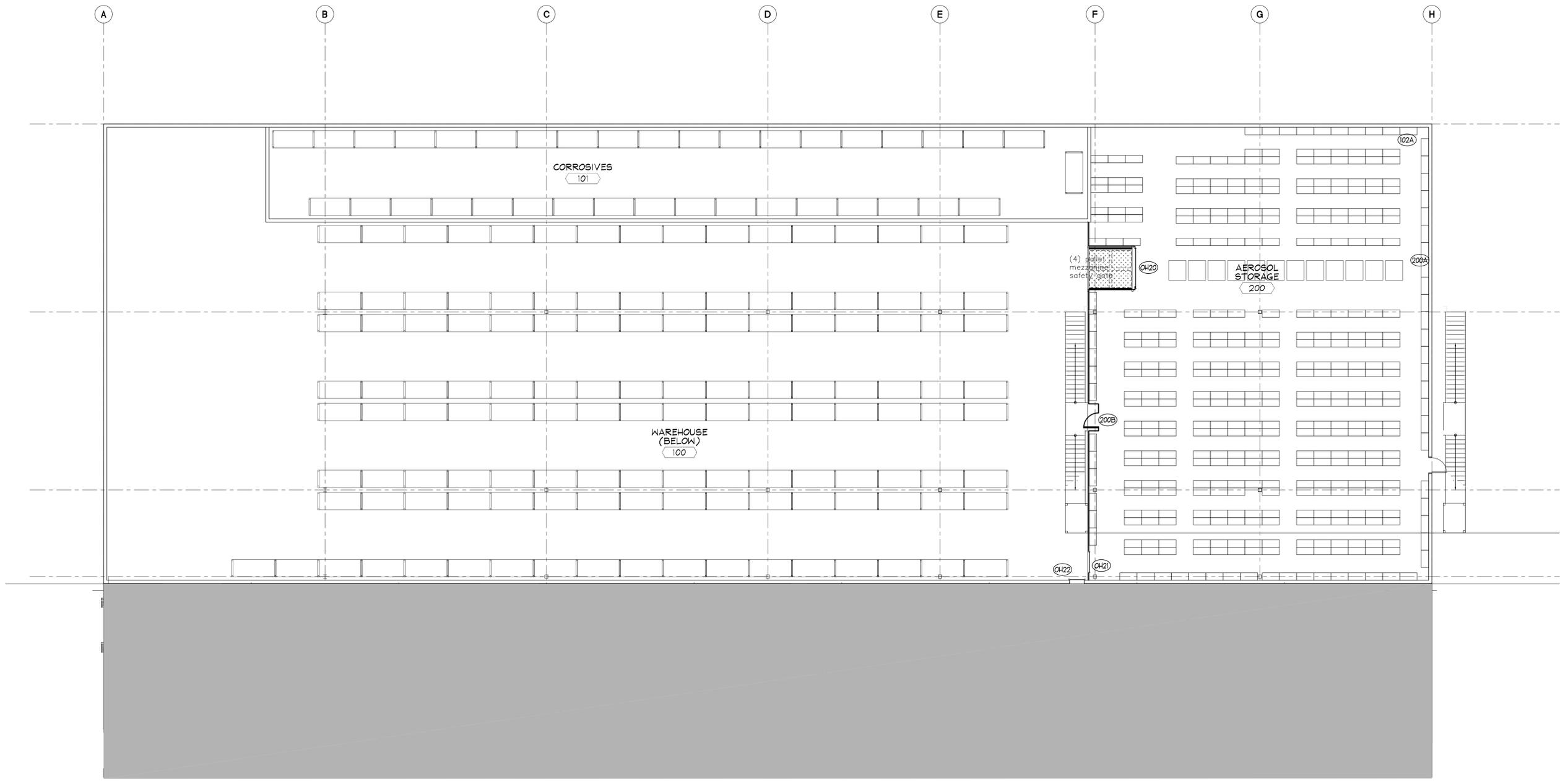
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SHEET NUMBER  
**A2.1**  
FIRST FLOOR PLAN




**SECOND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**CONSULTING ENGINEERS**  
 ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_

SUB: \_\_\_\_\_  
 STRUCTURAL: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_

**CONTRACTOR**  
  
**ARCO**  
 National Construction Company, Inc.  
 900 N. ROCK HILL ROAD  
 ST. LOUIS, MISSOURI 63119  
 (P) 314-862-8715 (F) 314-862-4788  
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**ARCHITECT**  
  
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 (P) 314-862-8715 (F) 314-862-4788  
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PROPOSED WAREHOUSE ADDITION FOR:  
  
**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN

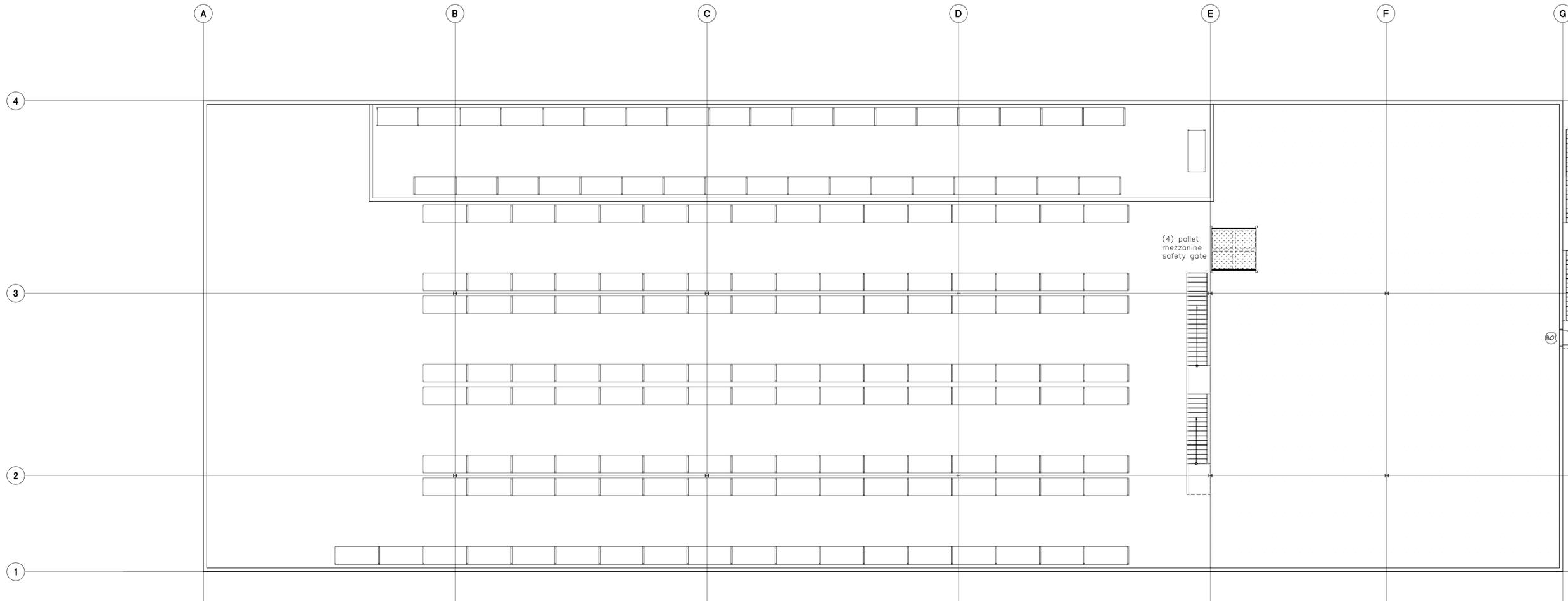
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SHEET NUMBER  
**A2.2**  
 SECOND FLOOR PLAN



MEZZANINE LEVEL PLAN  
SCALE: 3/32" = 1'-0"

PROPOSED WAREHOUSE ADDITION FOR:  
**NAPA**  
**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN

**ARCHITECT**  
**GMA**  
 ARCHITECTS, INC.  
 800 N. ROCK HILL ROAD  
 ST. LOUIS, MISSOURI 63119  
 (P) 314-983-8275 (F) 314-983-4758  
 WWW.GMA-ARCHITECTS.COM

**CONTRACTOR**  
**ARCO**  
 National Construction Company, Inc.  
 900 N. ROCK HILL ROAD  
 ST. LOUIS, MISSOURI 63119  
 (P) 314-983-8275 (F) 314-983-4758  
 WWW.ARCONATIONAL.COM

**CONSULTING ENGINEERS**  
 ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_  
 MCNEALY ENGINEERING INC.  
 1450 OLIVE COBIN ROAD, SUITE 500  
 ST. BILL, MISSOURI, 63197-2310

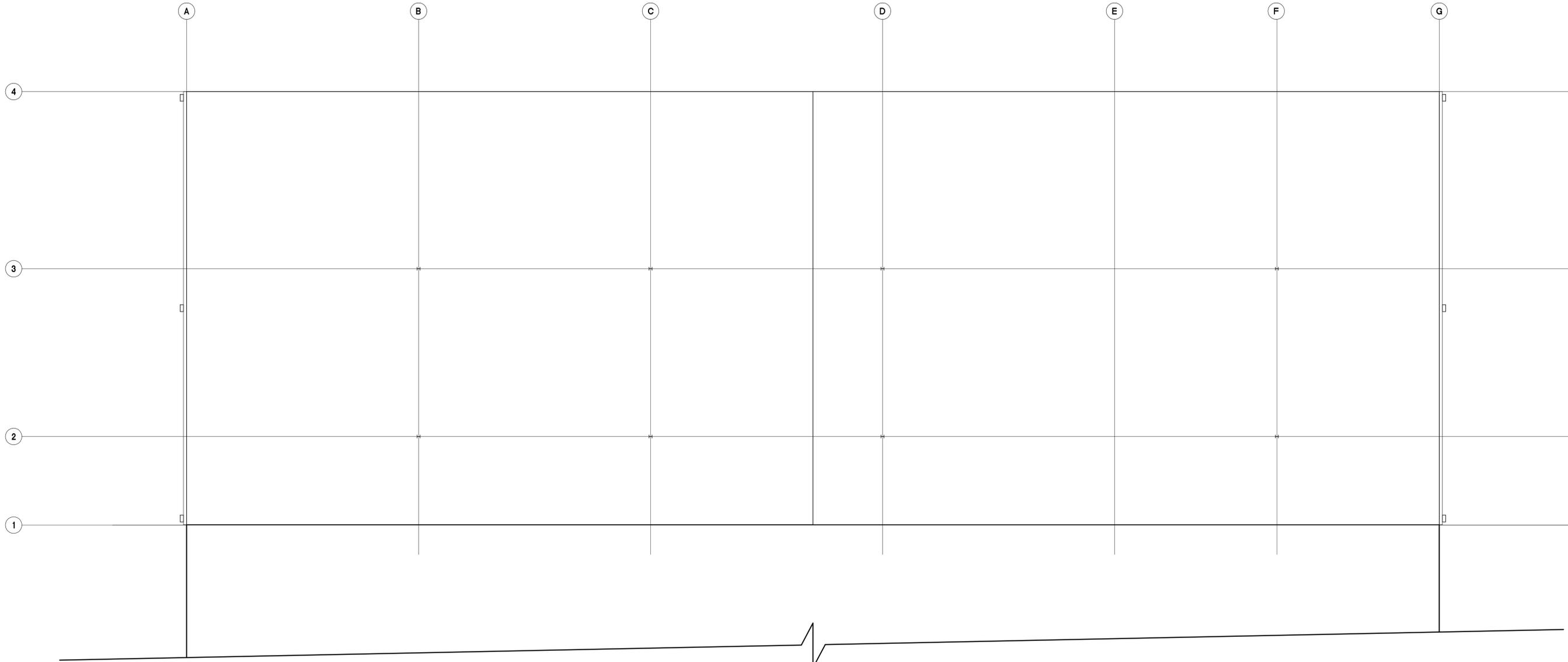
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SHEET NUMBER  
**A2.3**  
 MEZZANINE LEVEL PLAN




**ROOF PLAN**  
 SCALE: 3/32" = 1'-0"

**PROPOSED WAREHOUSE ADDITION FOR:**  

**STEVENS POINT DISTRIBUTION CENTER**  
 5101 COYE DRIVE  
 STEVENS POINT, WISCONSIN

JOB NO : SJ1208  
 DRAWN BY : RJR  
 PERMIT SET :  
 CONST. SET :

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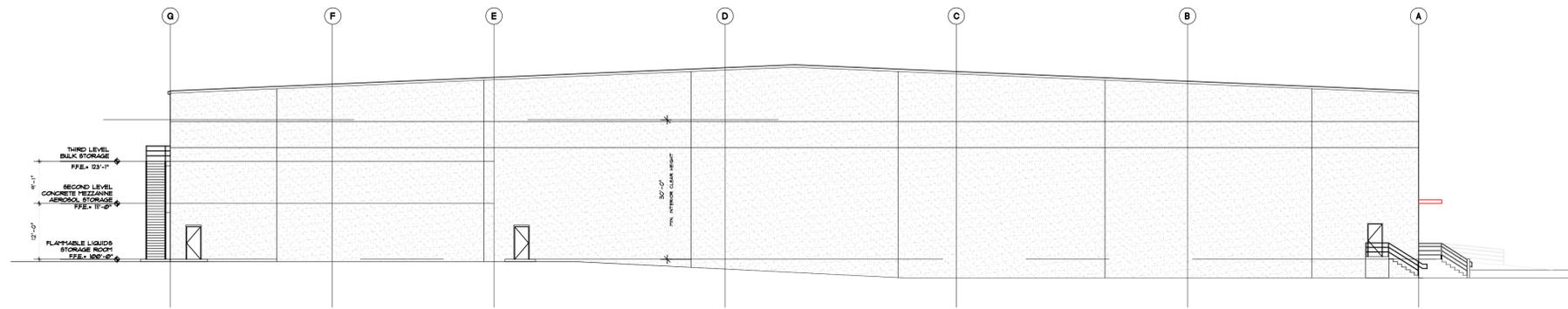
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**SHEET NUMBER**  
**A2.4**  
 ROOF PLAN

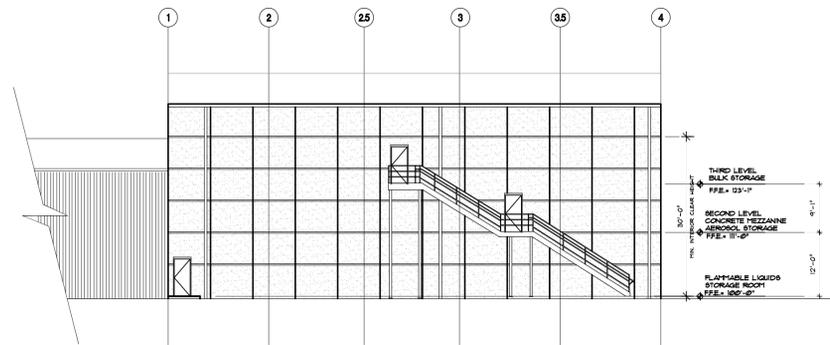
**ARCHITECT**  
  
**GMA**  
 ARCHITECTS, INC.  
 800 N. ROCK HILL ROAD  
 ST. LOUIS, MISSOURI 63119  
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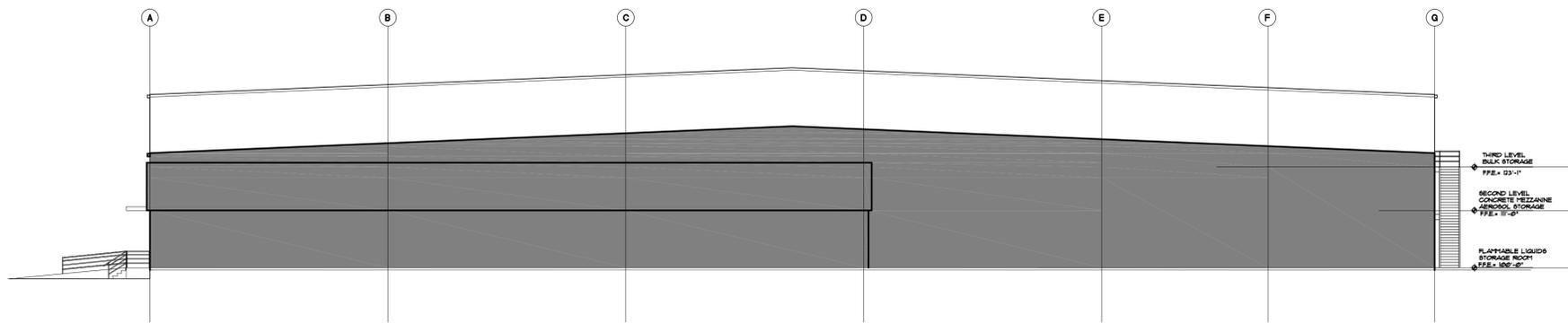
**CONSULTING ENGINEERS**  
 ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 FIRE PROTECTION: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 STRUCTURAL: \_\_\_\_\_  
 MCNEELY ENGINEERING INC.  
 1450 OLIVE COBBIN ROAD, SUITE 350  
 ST. BILL, MISSOURI 63149-1897-2310



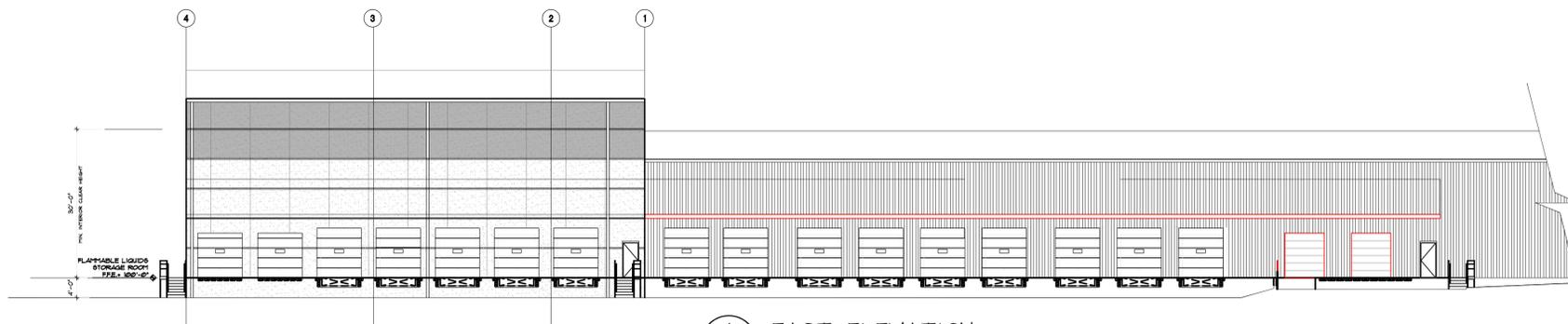
**4 SOUTH ELEVATION**  
A5.1 SCALE: 1/16" = 1'-0"



**3 SOUTH ELEVATION**  
A5.1 SCALE: 1/16" = 1'-0"



**2 NORTH ELEVATION**  
A5.1 SCALE: 1/16" = 1'-0"



**1 EAST ELEVATION**  
A5.1 SCALE: 1/16" = 1'-0"

**CONSULTING ENGINEERS**  
ELECTRICAL: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
FIRE PROTECTION: \_\_\_\_\_

MCNEELY ENGINEERING INC.  
1450 OLIVE COBBIN ROAD, SUITE 180  
ST. BILL, WISCONSIN 53184-1897-2310

**CONTRACTOR**  
**ARCO**  
National Construction Company, Inc.  
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ST. LOUIS, MISSOURI 63119  
(P) 314-882-5275 (F) 314-882-4788  
WWW.GMA-ARCHITECTS.COM

PROPOSED WAREHOUSE ADDITION FOR:  
**STEVENS POINT DISTRIBUTION CENTER**  
5101 COYE DRIVE  
STEVENS POINT, WISCONSIN

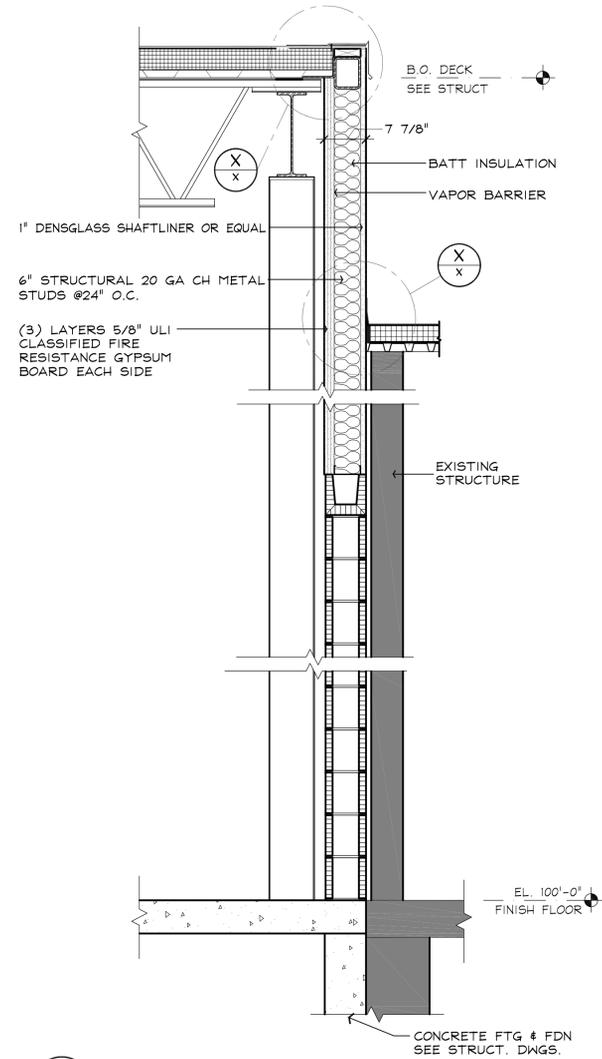
JOB NO: SJ1208  
DRAWN BY: RJR  
PERMIT SET: \_\_\_\_\_  
CONST. SET: \_\_\_\_\_

**REVISIONS**  $\Delta$

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**SHEET NUMBER**  
**A5.1**  
EXTERIOR ELEVATIONS



**2** EXTERIOR WALL SECTION  
A6.1 SCALE: 3/4" = 1'-0"

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**CONSULTING ENGINEERS**  
ELECTRICAL: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
FIRE PROTECTION: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
STRUCTURAL: \_\_\_\_\_  
MCNEELY ENGINEERING INC.  
1450 OLIVE COBBIN ROAD, SUITE 350  
ST. BILLY, MISSOURI, 63149-9973-10

PROPOSED WAREHOUSE ADDITION FOR:  
**STEVENS POINT DISTRIBUTION CENTER**  
5101 COYE DRIVE  
STEVENS POINT, WISCONSIN

**NAPA**

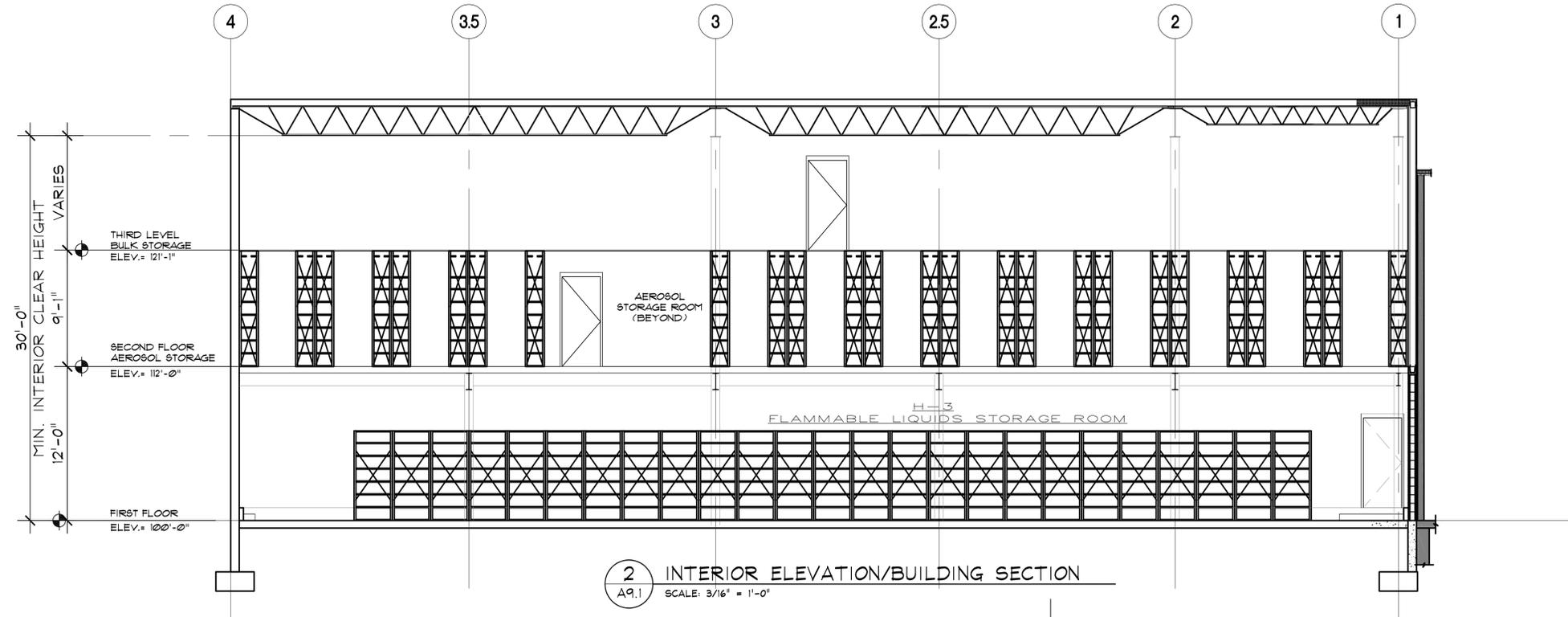
JOB NO: SJ1208  
DRAWN BY: RJR  
PERMIT SET: \_\_\_\_\_  
CONST. SET: \_\_\_\_\_

REVISIONS  $\Delta$

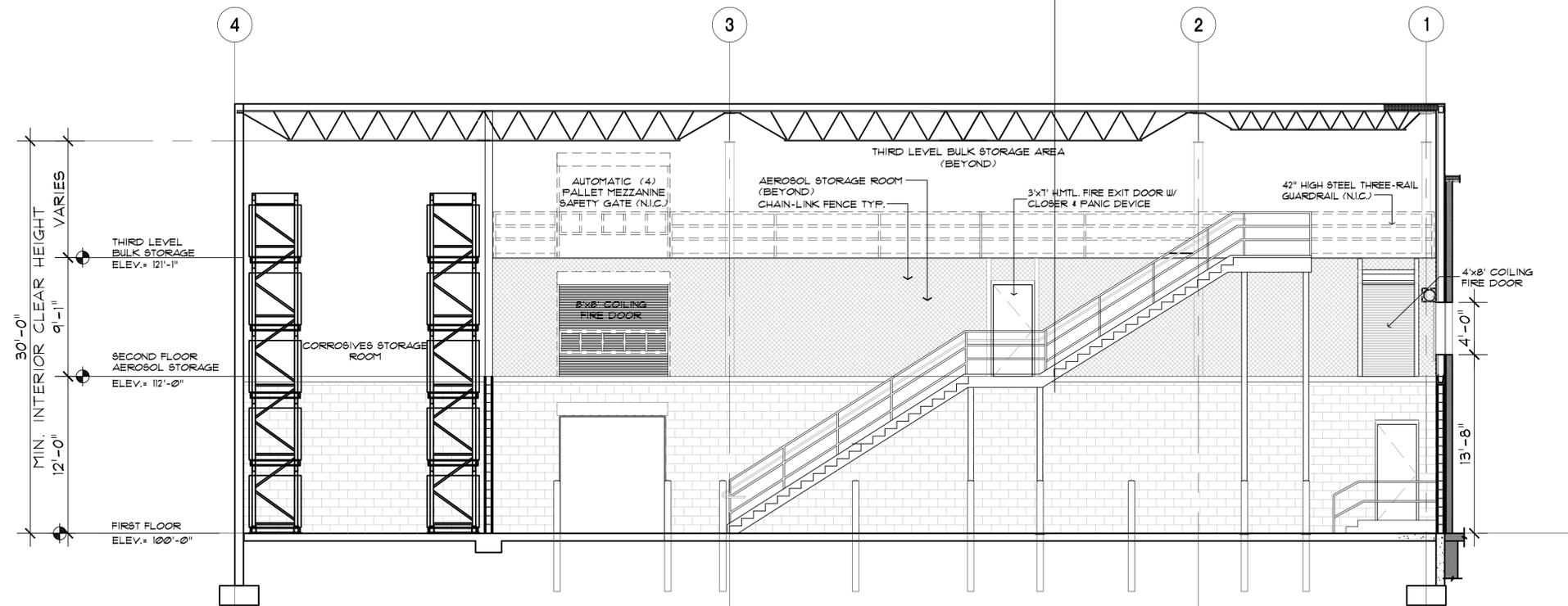
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SHEET NUMBER  
**A6.1**  
WALL SECTIONS



2 INTERIOR ELEVATION/BUILDING SECTION  
A9.1 SCALE: 3/16" = 1'-0"



1 INTERIOR ELEVATION/BUILDING SECTION  
A9.1 SCALE: 3/16" = 1'-0"

CONSULTING ENGINEERS  
ELECTRICAL: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
FIRE PROTECTION: \_\_\_\_\_

STRUCTURAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_

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PROPOSED WAREHOUSE ADDITION FOR:  
**STEVENS POINT DISTRIBUTION CENTER**  
5101 COYE DRIVE  
STEVENS POINT, WISCONSIN

JOB NO.: SJ1208  
DRAWN BY: RJR  
PERMIT SET: \_\_\_\_\_  
CONST. SET: \_\_\_\_\_

REVISIONS	DATE
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SHEET NUMBER  
**A9.1**  
INTERIOR ELEVATIONS